

AGENDA



PLANNING AND ZONING COMMISSION WORK SESSION MEETING
CITY HALL, 385 SOUTH GOLIAD STREET, ROCKWALL, TEXAS
JULY 30, 2024 IN THE CITY COUNCIL CHAMBERS AT 6:00 PM

NOTES: [1] ADDITIONAL CASE INFORMATION CAN BE FOUND AT [HTTPS://SITES.GOOGLE.COM/SITE/ROCKWALLPLANNING/DEVELOPMENT/DEVELOPMENT-CASES](https://sites.google.com/site/rockwallplanning/development/development-cases), AND [2] TO PROVIDE INPUT ON A ZONING OR SPECIFIC USE PERMIT CASE PLEASE [CLICK HERE](#) OR CLICK ON THE LINK ABOVE AND USE THE ZONING AND SPECIFIC USE PERMIT INPUT FORM ON THE CITY'S WEBSITE.

(I) CALL TO ORDER

(II) OPEN FORUM

This is a time for anyone to address the Planning and Zoning Commission on any topic that is not already listed on the agenda for a public hearing. Per the policies of the City of Rockwall, public comments are limited to three (3) minutes out of respect for the time of other citizens. On topics raised during the OPEN FORUM, please know that the Planning and Zoning Commission is not permitted to respond to your comments during the meeting per the Texas Open Meetings Act.

(III) CONSENT AGENDA

These agenda items are administrative in nature or include cases that meet all of the technical requirements stipulated by the Unified Development Code (UDC) and Chapter 38, Subdivisions, of the Municipal Code of Ordinances, and do not involve discretionary approvals.

(1) Approval of Minutes for the July 9, 2024 Planning and Zoning Commission meeting.

(2) **P2024-026 (BETHANY ROSS)**

Consider a request by Brian Berry of PR BBS, LLC for the approval of a Final Plat for Lot 1, Block A, Vigor Way Plaza Addition being a 1.74-acre parcel of land identified as Lot 1, Block A, BW Plus Executive Residency Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the IH-30 Overlay (IH-30 OV) District, addressed as 550 E. IH-30, and take any action necessary.

(IV) ACTION ITEMS

These items are not advertised public hearings and deal with discretionary approvals for the Planning and Zoning Commission related to variances and special exceptions to the technical requirements of the Unified Development Code (UDC) or Chapter 38, Subdivisions, of the Municipal Code of Ordinances.

(3) **SP2024-026 (HENRY LEE)**

Discuss and consider a request by Chris Lewis of Kimley-Horn and Associates, Inc. on behalf of Matthew Bateman of Westcore Bravo Rockwall, LLC for the approval of an Amended Site Plan for a *warehouse/distribution center facility* on a 43.237-acre parcel of land identified as Lot 1, Block A, Stream 549 Addition, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, situated within the FM-549 Overlay (FM-549 OV) District, address as 1351 Corporate Crossing, and take any action necessary.

(4) **SP2024-031 (HENRY LEE)**

Discuss and consider a request by Neda Hosseiny of Kimley-Horn and Associates, Inc. on behalf of Phil Wagner of the Rockwall Economic Development Corporation (REDC) for the approval of a Site Plan for *Heavy Manufacturing Facility (i.e. Ballard)* on a 32.00-acre portion of a larger 70.5969-acre parcel of land identified as Lot 1, Block B, Rockwall Technology Park, Phase V Addition, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, located at the southeast corner of the intersection of Data Drive and Discovery Boulevard, and take any action necessary.

(5) **MIS2024-014 (HENRY LEE)**

Discuss and consider a request by David Lindsay of Tri-Tex Construction for the approval of a Miscellaneous Case for an *Exception* to the roof materials for an office building on a 1.50-acre tract of land identified as Tract 8-3 of the J. D. McFarland Survey, Abstract No. 145, City of Rockwall, Rockwall County, Texas, zoned Heavy Commercial (HC) District, addressed as 955 Sids Road, and take any action necessary.

(6) **MIS2024-016 (ANGELICA GUEVARA)**

Discuss and consider a request by John Hagaman of Sabre Realty for the approval of a Miscellaneous Case for an *Exception* to allow artificial or synthetic plant materials on a 10.104-acre parcel of land identified as Lot 3 of the Carlisle Plaza Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within IH-30 Overlay (IH-30 OV) District and the Scenic Overlay (SOV) District, addressed as 559 E. IH-30, and take any action necessary.

(V) **DISCUSSION ITEMS**

These items are for discussion between staff and the Planning and Zoning Commission and relate to administrative information and/or cases that will come forward for action or public hearing at a future Planning and Zoning Commission meeting. Public comment on these cases can take place when these items are considered for action by the Planning and Zoning Commission. The anticipated Planning and Zoning Commission public hearing and/or action date for the following cases is August 13, 2024.

(7) **Z2024-031 (ANGELICA GUEVARA)**

Hold a public hearing to discuss and consider a request by Paul and Dioselina Curbow for the approval of a Specific Use Permit (SUP) for *Residential Infill Adjacent to an Established Subdivision* on a 0.2753-acre tract of land identified as a portion of Block 20 of the Lowe & Allen Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 10 (SF-10) District, addressed as 510 W. Kaufman Street, and take any action necessary.

(8) **Z2024-032 (RYAN MILLER)**

Hold a public hearing to discuss and consider a request by the City of Rockwall for the approval of a Zoning Change amending Planned Development District 13 (PD-13) [*Ordinance No.'s 81-05, 84-43, & 94-41*] for the purpose of consolidating the regulating ordinances for a 149.97-acre tract of land situated within the James Smith Survey, Abstract No. 200, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 13 (PD-13) for Single-Family 7 (SF-7) District and Neighborhood Services (NS) District land uses, generally located in between W. Ralph Hall Parkway, Horizon Road [*FM-3097*], and Tubbs Road, and take any action necessary.

(9) **Z2024-033 (RYAN MILLER)**

Hold a public hearing to discuss and consider a request by Ryan Joyce of Michael Joyce Properties on behalf of Bill Lofland for the approval of a Zoning Change from an Agricultural (AG) District to a Planned Development District for Single-Family 10 (SF-10) and General Retail (GR) District land uses on a 544.89-acre tract of land identified as Tracts 3 & 3-1 of the A. Johnson Survey, Abstract No. 123 [*355.146-acres*]; Tracts 7 & 7-2 of the W. H. Baird Survey, Abstract No. 25 [*45.744-acres*]; and Tracts 3 & 4 of the J. R. Johnson Survey, Abstract No. 128 [*144.00-acres*], City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, situated within the SH-205 Overlay (SH-205) and SH-205 By-Pass Overlay (SH-205 BY OV) District, generally located on the east and west side of S. Goliad Street [*SH-205*] at the corner of the intersection of John King Boulevard and S. Goliad Street [*SH-205*], and take any action necessary.

(10) **Z2024-034 (BETHANY ROSS)**

Hold a public hearing to discuss and consider a request by Kari J'Layne Mayfield for the approval of a Specific Use Permit (SUP) for a *Short-Term Rental* on a 0.1980-acre parcel of land identified as Lot 28, Block A, Windmill Ridge Estates, Phase 4B, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 13 (PD-13) for Single-Family 7 (SF-7) District land uses, addressed as 161 Walnut Lane, and take any action necessary.

(11) **SP2024-035 (HENRY LEE)**

Discuss and consider a request by Miglena Minkova of Texx Team USA, LLC on behalf of Rick Landrum of the Kroger Co. for the approval of an Amended Site Plan for *Incidental Display* for a *Donation Box* in conjunction with an existing *General Retail Store (i.e. Kroger)* being an 8.724-acre parcel of land identified as Lot 24, Block A, Horizon Ridge Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 9 (PD-9) for General Retail (GR) District land uses, situated within the Scenic Overlay (SOV) District, addressed as 2935 Ridge Road [*FM-740*], and take any action necessary.

(12) **SP2024-036 (HENRY LEE)**

Discuss and consider a request by Miglena Minkova of Texx Team USA, LLC on behalf of Rick Landrum of the Kroger Co. for the approval of an Amended Site Plan for *Incidental Display* for a *Donation Box* in conjunction with an existing *General Retail Store (i.e. Kroger)* being an 11.236-acre parcel of land identified as Lot 1, Block A, Kroger 205 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 5 (PD-5) for General Retail (GR) District land uses, situated within the North SH-205 Overlay (N. SH-205 OV) District, addressed as 1980 N. Goliad Street [*SH-205*], and take any action necessary.

(13) Director's Report of post City Council meeting outcomes for development cases **(RYAN MILLER)**.

- P2024-022: Final Plat for Phase 2 of the Terracina Estates Subdivision **(APPROVED)**
- Z2024-024: Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision* at 9 Amity Lane **(2ND READING; APPROVED)**
- Z2024-025: Specific Use Permit (SUP) for *Solar Energy Collector Panels* at 1290 E. IH-30 **(2ND READING; APPROVED)**
- Z2024-026: Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision* at 711 Lamar Street **(2ND READING; APPROVED)**
- Z2024-028: Zoning Change (PD-44, HC & C to PD-44) for Rayburn Electric Cooperative **(1ST READING; APPROVED)**
- Z2024-029: Specific Use Permit (SUP) for a *Detached Garage* at 911 N. Alamo Street **(1ST READING; APPROVED)**

- Z2024-030: Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision* at 329 Harborview Drive (1ST **READING; APPROVED**)

(VI) ADJOURNMENT

(14) **Capital Improvement Advisory Committee Meeting (CIAC) [7:00 PM]**

The Capital Improvement Advisory Committee Meeting (CIAC) will be meeting directly after the Planning and Zoning Commission Work Session Meeting -- *held in the City Council Conference Room* -- to discuss the 2024 Roadway Impact Fee Update.

The City of Rockwall Planning and Zoning Commission reserves the right to adjourn into executive session at any time to discuss any matters listed on the agenda above, as authorized by Texas Local Government Code §55.071 (Consultation with City Attorney) or any other exception allowed under Chapter 551 of the Texas Local Government Code.

This facility is wheelchair accessible and accessible parking spaces are available. Request for accommodations or interpretive services must be made 48 hours prior to this meeting. Please contact the City Secretary's Office at (972) 772-6406 for further information.

I, Melanie Zavala, Planning and Zoning Coordinator for the City of Rockwall, Texas, do hereby certify that this Agenda was posted at City Hall, in a place readily accessible to the general public at all times, on July 26, 2024 at 5:00 PM, and remained so posted for at least 72 continuous hours preceding the scheduled time of said meeting.

MINUTES

PLANNING AND ZONING COMMISSION MEETING
CITY HALL, 385 SOUTH GOLIAD STREET, ROCKWALL, TEXAS
JULY 9, 2024 IN THE CITY COUNCIL CHAMBERS AT 6:00 PM

2 **NOTES:** [1] ADDITIONAL CASE INFORMATION CAN BE FOUND AT [HTTPS://SITES.GOOGLE.COM/SITE/ROCKWALLPLANNING/DEVELOPMENT/DEVELOPMENT-CASES](https://sites.google.com/site/rockwallplanning/development/development-cases),
3 AND [2] TO PROVIDE INPUT ON A ZONING OR SPECIFIC USE PERMIT CASE PLEASE [CLICK HERE](#) OR CLICK ON THE LINK ABOVE AND USE THE ZONING AND SPECIFIC
4 USE PERMIT INPUT FORM ON THE CITY'S WEBSITE.

I. CALL TO ORDER

8 Commissioner Conway called the meeting to order at 6:00PM. Commissioners present were Jay Odom, Kyle Thompson and Ross Hustings.
9 Commissioners absent were Chairman Deckard and Vice-Chairman Womble. Staff members present were Director of Planning and Zoning Ryan
10 Miller, Senior Planner Henry Lee, Planning Technician Angelica Guevara, Planning Coordinator Melanie Zavala, City Engineer Amy Williams,
11 Assistant City Engineer Jonathan Browning and Civil Engineer Madelyn Price.

II. APPOINTMENTS

13
14
15 1. Appointment with the Architectural Review Board (ARB) Chairman to receive the Architectural Review Board's recommendations and comments
16 for items on the agenda requiring architectural review.

17
18 A representative from the Architectural Review Board gave a brief explanation concerning the agenda items that were discussed at the architectural
19 review board meeting.

III. OPEN FORUM

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22
23 *This is a time for anyone to address the Planning and Zoning Commission on any topic that is not already listed on the agenda for a public*
24 *hearing. Per the policies of the City of Rockwall, public comments are limited to three (3) minutes out of respect for the time of other citizens.*
25 *On topics raised during the OPEN FORUM, please know that the Planning and Zoning Commission is not permitted to respond to your comments*
26 *during the meeting per the Texas Open Meetings Act.*

27
28 Commissioner Conway explained how the open forum is conducted and asked if anyone who wished to speak to come forward at this time; there
29 being no one indicating such Commissioner Conway closed the open forum.

IV. CONSENT AGENDA

31
32
33 *These agenda items are administrative in nature or include cases that meet all of the technical requirements stipulated by the Unified*
34 *Development Code (UDC) and Chapter 38, Subdivisions, of the Municipal Code of Ordinances, and do not involve discretionary approvals.*

35
36 2. Approval of Minutes for the May 28, 2024 Planning and Zoning Commission meeting.

37
38 3. Approval of Minutes for the June 25, 2024 Planning and Zoning Commission meeting.

4. P2024-022 (HENRY LEE)

40
41 Discuss and consider a request by Chuck Lamping of Engineering Concepts & Design, LP on behalf of Clint Vincent of Bloomfield Homes, LP
42 for the approval of a Final Plat for Phase 2 of the Terracina Estates Subdivision consisting of 94 single-family residential lots on a 31.331-acre
43 tract of land identified as Tract 16 of the J. A. Ramsey Survey, Abstract No. 186, City of Rockwall, Rockwall County, Texas, zoned Planned
44 Development District 82 (PD-82) [*Ordinance No. 18-08*] for Single-Family 10 (SF-10) District land uses, generally located at the terminus of
45 Guadalupe Drive, Mesa Verde Drive and Oakcrest Drive, and take any action necessary.

5. SP2024-033 (HENRY LEE)

46
47
48 Discuss and consider a request by Cody Johnson of Johnson Volk Consulting on behalf of TM Terraces, LLC for the approval of a Site Plan for
49 an amenity center on a 0.52-acre parcel of land identified as Lot 18, Block A, Terraces, Phase 1, City of Rockwall, Rockwall County, Texas,
50 zoned Planned Development District 93 (PD-93) for Single-Family 10 (SF-10) District land uses, addressed as 1845 Terraces Boulevard, and
51 take any action necessary.

6. SP2024-028 (HENRY LEE)

52
53
54 Discuss and consider a request by Chuck Lamping of Engineering Concepts & Design, LP on behalf of Clint Vincent of Bloomfield Homes, LP
55 for the approval of a Site Plan for Phase 2 of the Terracina Estates Subdivision consisting of 94 single-family residential lots on a 31.331-acre
56 tract of land identified as Tract 16 of the J. A. Ramsey Survey, Abstract No. 186, City of Rockwall, Rockwall County, Texas, zoned Planned
57 Development District 82 (PD-82) [*Ordinance No. 18-08*] for Single-Family 10 (SF-10) District land uses, generally located at the terminus of
58 Guadalupe Drive, Mesa Verde Drive and Oakcrest Drive, and take any action necessary.

60 Commissioner Hustings made a motion to approve the Consent Agenda. Commissioner Thompson seconded the motion which passed by a vote of
61 4-0.
62

63 V. PUBLIC HEARING ITEMS
64

65 *This is a time for anyone to speak concerning their issues with a public hearing case. If you would like to speak regarding an item listed in this*
66 *section, please submit a Request to Address the Planning and Zoning Commission (i.e. the yellow forms available at the podium or from staff).*
67 *The Planning and Zoning Commission Chairman will call upon you to come forward at the proper time or will ask if anyone in the audience would*
68 *like to speak. Please limit all comments to three (3) minutes out of respect for the time of other citizens.*
69

70 7. **Z2024-028 (RYAN MILLER)**

71 Hold a public hearing to discuss and consider a request by David Naylor of Rayburn Electric Cooperative for the approval of a Zoning Change
72 from Planned Development District 44 (PD-44), Commercial (C) District, and Heavy Commercial (HC) District to Planned Development District
73 44 (PD-44) for Commercial (C) District and Heavy Commercial (HC) District land uses for a 95.00-acre tract of land identified as Tract 3 of the
74 W. H. Barnes Survey, Abstract No. 26; Lots 6, 7, 8, & 9, Block A, Rayburn Country Addition; Lot 1, Block 1, Helwig Addition; and Lot 1, Block A,
75 Estep Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, Heavy Commercial (HC) District, and Planned
76 Development District 44 (PD-44) for Commercial (C) District land uses, situated within the SH-205 Overlay (SH-205 OV) District, generally
77 located in between Mims Road, Sids Road, and S. Goliad Street [*SH-205*], and take any action necessary.
78

79 Director of Planning and Zoning Ryan Miller provided a brief summary in regards to the applicants request. The applicant is requesting a zoning
80 change from Planned Development District 44 (PD-44), Heavy Commercial (HC) District and Commercial (C) District to Planned Development District
81 44 (PD-44) for Limited Commercial and Heavy Commercial District Land Uses. Looking at the concept plan they're wanting to break it down to three
82 different areas. The first tract would contain the campus part of the portion would have an indoor gun range by right in land use. Tract two would be
83 banquet facility/event hall as by right land use. Tract three would be Limited Commercial Land Use standards for a soccer complex in the future.
84 This being a zoning case staff mailed out notices on June 18 to 128 property owners or occupants within 500 feet of the subject property. As of now
85 staff had not received any notices.
86

87 David Naylor
88 956 Sid Rd
89 Rockwall, TX 75032
90

91 Mr. Naylor came forward and provided additional details in regards to the applicants request.
92

93 Commissioner Conway opened the public hearing and asked if anyone who wished to speak to come forward at this time.
94

95 Brad Bassett
96 1592 Sunset Hill,
97 Rockwall, TX 75087
98

99 Mr. Bassett came forward and expressed he was in favor of the applicants request.
100

101 Commissioner Conway asked if anyone else who wished to speak to come forward at this time, there being no one indicating such; Commissioner
102 Conway closed the Public Hearing and brought the item back to the commission for discussion or action.
103

104 Commissioner Hustings made a motion to approve Z2024-028. Commissioner Thompson seconded the motion which passed by a vote of 4-0.
105

106 8. **Z2024-029 (HENRY LEE)**

107 Hold a public hearing to discuss and consider a request by Ben Lewis for the approval of a Specific Use Permit (SUP) for a *Detached Garage*
108 that exceeds the maximum size and height on a 0.3168-acre parcel of land identified as Lot 3, Block 5, Garner Addition, City of Rockwall,
109 Rockwall County, Texas, zoned Single-Family 10 (SF-10) District, situated within the North SH-205 Overlay (N. SH-205 OV) District, addressed
110 as 911 N. Alamo Street, and take any action necessary.
111

112 Senior Planner Henry Lee provided a brief summary in regards to the applicants request. The applicant is requesting a Specific Use Permit (SUP) for
113 the purpose of constructing a detached garage that exceeds the maximum size and height. There is currently a building on the property and per the
114 applicants request they will be removing it and building the new building if this gets approved. Since this is a zoning case staff mailed out 103 notices
115 to property owners and occupants within 500 feet of the subject property.
116

117 Commissioner Conway opened the Public Hearing and asked if anyone who wished to speak to come forward at this time, there being no one
118 indicating such, Commissioner Conway closed the Public Hearing and brought the item back to the commission for discussion or action.
119

120 Commissioner Odom made a motion to approve Z2024-029. Commissioner Hustings seconded the motion which passed by a vote of 4-0.
121

122 9. **Z2024-030 (ANGELICA GUEVARA)**

123 Hold a public hearing to discuss and consider a request by David Bohorquez for the approval of a Specific Use Permit (SUP) for *Residential*
124 *Infill Adjacent to an Established Subdivision* on a 0.2273-acre parcel of land identified as Lot 5, Block B, Harbor Landing, Phase 2, City of

125 Rockwall, Rockwall County, Texas, zoned Planned Development District 8 (PD-8) for Single-Family 10 (SF-10) District land uses, addressed as
126 329 Harborview Drive, and take any action necessary.

127
128 Planning Technician Angelica Guevara provided a brief summary in regards to the applicants request. The applicant is requesting a Specific Use
129 Permit (SUP) for the purpose of constructing a Single-Family home at 329 Harborview Drive. The proposed home meets all the density and
130 dimensional requirements for a property in phase two of the Harbor Landing subdivision with the exception of the garage orientation and roof pitch
131 requirements. The UDC states that the parking garage must be at least 20 feet behind the front façade of the home. In this case, the proposed garage
132 will be approximately 4-feet in front of the front façade of the home. In regards to the roof pitch, the proposed home indicates roof pitch of 2:12 as
133 opposed to the 3:12 requirement. Staff should note that its not atypical of the surrounding properties located within the subdivision; however, this
134 will require waivers to the garage orientation and roof pitch.

135
136 David Bohorquez
137 1397 Glenwood Drive
138 Rockwall, TX 75087

139
140 Mr. Bohorquez came forward and provided additional details in regards to his request.

141
142 Commissioner Conway opened the Public Hearing and asked if anyone who wished to speak to come forward at this time, there being no one
143 indicating such , Commissioner Conway closed the Public Hearing and brought the item back to the commission for discussion or action.

144
145 Commissioner Thompson asked if it was a metal roof.

146
147 Commissioner Thompson made a motion to approve Z2024-030. Commissioner Hustings seconded the motion which passed by a vote of 4-0.

148

149 VI. ACTION ITEMS

150
151 *These items are not advertised public hearings and deal with discretionary approvals for the Planning and Zoning Commission related to*
152 *variances and special exceptions to the technical requirements of the Unified Development Code (UDC) or Chapter 38, Subdivisions, of the*
153 *Municipal Code of Ordinances.*

154 10. SP2024-025 (ANGELICA GUEVARA)

155 Discuss and consider a request by Keaton Mai of the Dimension Group on behalf of Michael Hampton of Creekside Commons Crossing, LP for
156 the approval of a Site Plan for a *Restaurant, 2,000 SF or More, with Drive-Through or Drive-In (i.e. HteaO)* on a 0.676-acre parcel of land
157 identified a portion of Lot 3, Block A, Creekside Commons Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District,
158 situated within the SH-205 Overlay (SH-205 OV) District, generally located north of the intersection of S. Goliad Street [SH-205] and FM-549,
159 and take any action necessary.

160
161
162 Planning Technician Angelica Guevara provided a brief summary in regards to the applicants request. At the last meeting, the commission approved
163 a motion to table to allow the applicant time to receive authorization from HTeaO's corporate office to change the stucco color on the building as
164 was recommended by ARB. The applicants have since then changed the elevations which are being presented today. Based on this, ARB did make
165 a recommendation to approve the variances on this case as requested.

166
167 Michael Hampton
168 10755 Sandhill Rd,
169 Dallas, TX 75238

170
171 Mr. Hampton came forward and provided additional details in regards to the request.

172
173 Commissioner Conway made a motion to approve SP2024-025. Commissioner Hustings seconded the motion which passed by a vote of 4-0.

174

175 11. SP2024-026 (HENRY LEE) [POSTPONED TO THE JULY 30, 2024 PLANNING AND ZONING COMMISSION AGENDA]

176 Discuss and consider a request by Chris Lewis of Kimley-Horn and Associates, Inc. on behalf of Matthew Bateman of Westcore Bravo Rockwall,
177 LLC for the approval of an Amended Site Plan for a *warehouse/distribution center facility* on a 43.237-acre parcel of land identified as Lot 1,
178 Block A, Stream 549 Addition, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, situated within the FM-549 Overlay
179 (FM-549 OV) District, address as 1351 Corporate Crossing, and take any action necessary.

180 12. SP2024-031 (HENRY LEE)

181 Discuss and consider a request by Neda Hosseiny of Kimley-Horn and Associates, Inc. on behalf of Phil Wagner of the Rockwall Economic
182 Development Corporation (REDC) for the approval of a Site Plan for *Heavy Manufacturing Facility (i.e. Ballard)* on a 32.00-acre portion of a
183 larger 70.5969-acre parcel of land identified as Lot 1, Block B, Rockwall Technology Park, Phase V Addition, City of Rockwall, Rockwall County,
184 Texas, zoned Light Industrial (LI) District, located at the southeast corner of the intersection of Data Drive and Discovery Boulevard, and take
185 any action necessary.

186
187
188 Senior Planner Henry Lee provided a brief summary in regards tot the applicants request. The applicant is requesting a site plan for a heavy
189 manufacturing facility. It generally meets our requirements for general light industrial standards. However, they are requesting variances to the

190 building. The variances will be for the masonry requirements, the stone requirements and the primary and secondary articulation requirements, the
191 roof design standard. Related to the site design there will be variances to the screening and parking requirements. They did recommend approval of
192 building elevations with the variances with the condition of wrapping the stone on north and south sides. The screening requirements are related
193 to above ground storage tanks that were discussed in the last meeting. The parking variance is for how it is calculated. They identified 13
194 compensatory measures for their variances.

195
196 Phil Wagner
197 2610 Observation Trail
198 Rockwall, TX 75087

199
200 Mr. Wagner came forward and provided additional details in regards to the applicants request.

201
202 John Testa
203 122 S Michigan Ave
204 Chicago, IL 60603

205
206 Mr. Testa came forward and provided additional details in regards to the request.

207
208 Commissioner Thompson asked if anything would be difficult to be put out if there was a fire.

209
210 Neda Hosseiny
211 2600 N Central Expressway
212 Richardson, TX 75080

213
214 Mrs. Hosseiny came forward and provided additional details in regards to the applicants request.

215
216 Mr. Wagner came forward and said Texas Instruments has IMP.

217
218 Commissioner Thompson asked about the parking lot.

219
220 Commissioner Odom asked if this would be the first building to use true IMP.

221
222 John Webb
223 13511 Noel Road
224 Dallas TX 75240

225
226 Mr. Webb came forward and provided additional details in regards to the applicants request.

227
228 Commissioner Odom made a motion to table SP2024-031 for the July 30th meeting. Commissioner Conway seconded the motion which passed by a
229 vote of 4-0.

230
231 13. **SP2024-032 (HENRY LEE)**

232 Discuss and consider a request by Salvador Salcedo for the approval of a *Site Plan* for an *Office/Warehouse Building* on a 0.45- acre parcel of
233 land identified as Lot 10, Block A, Municipal Industrial Park Addition, City of Rockwall, Rockwall County, Texas, being zoned Light Industrial (LI)
234 District, addressed as 855 Whitmore Drive, and take any action necessary.

235
236 Senior Planner Henry Lee provided a brief summary in regards to the applicants request. The applicant is requesting approval of a site plan. ARB
237 wanted a color rendering and wanted to provide architectural development. They did provide renderings however, they were out of date with the
238 current elevations. They have two bay doors facing Whitmore. ARB did make a recommendation for denial.

239
240 Commissioner Hustings made a motion to deny SP2024-032. Commissioner Thompson seconded the motion to deny which passed by a vote of 4-0.

241
242 14. *Director's Report* of post City Council meeting outcomes for development cases (RYAN MILLER).

- 243
244
- 245 • P2024-020: Final Plat for Lots 1, 2, 3, & 4, Block A, Lee Acres Addition (APPROVED)
 - 246 • P2024-021: Final Plat for Lots 1 & 2, Block A, Borjas Addition (APPROVED)
 - 247 • P2024-023: Replat for Lots 14 & 15, Block A, Stone Creek Retail Addition (APPROVED)
 - 248 • P2024-024: Replat for Lots 8-10, Block A, Walmart Supercenter Addition (APPROVED)
 - 249 • Z2024-024: Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision* at 9 Amity Lane (1ST READING; APPROVED)
 - 250 • Z2024-025: Specific Use Permit (SUP) for *Solar Energy Collector Panels* at 1290 E. IH-30 (1ST READING; APPROVED)
 - 251 • Z2024-026: Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision* at 711 Lamar Street (1ST READING; APPROVED)

252 Director of Planning and Zoning Ryan Miller provided a brief summary in regards to the outcomes of the cases listed above.

253

254 VII.ADJOURNMENT

255
256 **Commissioner Conway adjourned the meeting at 7:39PM**

257
258 PASSED AND APPROVED BY THE PLANNING & ZONING COMMISSION OF THE CITY OF ROCKWALL, Texas, this _____ day of _____
259 _____, 2024.

260
261 _____
262 Dr. Jean Conway, Commissioner

263 Attest:
264 _____
265 Melanie Zavala, Planning Coordinator

266
267 **15. Capital Improvement Advisory Committee Meeting (CIAC) [7:00 PM]**
268 The Capital Improvement Advisory Committee Meeting (CIAC) will be meeting directly after the Planning and Zoning Commission Work
269 Session Meeting to discuss the 2024 Impact Fee Update of Roadway, Water, Wastewater Impact Fees.



CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION CASE MEMO

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission
DATE: July 30, 2024
APPLICANT: Brian Berry; PR BBS, LLC
CASE NUMBER: P2024-026; *Final Plat for Lot 1, Block A, Vigor Way Plaza Addition*

SUMMARY

Consider a request by Brian Berry of PR BBS, LLC for the approval of a Final Plat for Lot 1, Block A, Vigor Way Plaza Addition being a 1.74-acre parcel of land identified as Lot 1, Block A, BW Plus Executive Residency Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the IH-30 Overlay (IH-30 OV) District, addressed as 550 E. IH-30, and take any action necessary.

PLAT INFORMATION

- Purpose. The applicant is requesting approval of a Final Plat for a 1.74-acre parcel of land (*i.e. Lot 1, Block A, Vigor Way Plaza Addition*) for the purpose of establishing the required easements for the development of a two (2)-story *Office Building* on the subject property.
- Background. The subject property was annexed on November 7, 1960 by *Ordinance No. 60-04 [Case No A1960-004]*. At the time of annexation, the subject property was zoned Agricultural (AG) District. According to the January 3, 1972 *Historic Zoning Map*, at some point between the time of annexation and January 3, 1972, the subject property was rezoned from Agricultural (AG) District to a Commercial (C) District. On August 4 2008, the City Council approved a Specific Use Permit (SUP) by *Ordinance No. 08-37 [Case No. Z2008-013]* to allow a *Hotel* in a Commercial (C) District and to allow a *Building Greater than 36-feet in Height* within the Scenic Overlay (SO) District. On October 14, 2008, the Planning and Zoning Commission approved a site plan [*Case No. SP2008-029*] for a four (4)-story hotel on the subject property. On July 6, 2009, the City Council approved a replat [*Case No. P2009-013*] to establish the necessary easements for the four (4)-story hotel. Ultimately, this Specific Use Permit (SUP) and site plan expired in accordance with the requirements of the Unified Development Code (UDC). On March 3, 2017, the City Council approved another Specific Use Permit (SUP) [*Ordinance No. 17-12; S-163*] to allow for a *Hotel/Residency Hotel* in a Commercial (C) District and to allow a *Building Greater than 36-feet in Height* within the Scenic Overlay (SO) District. Following this approval, the Planning and Zoning Commission approved a site plan [*Case No. SP2017-019*] for the *Hotel* on August 25, 2017; however, the *Hotel* was never constructed, and the Specific Use Permit (SUP) and site plan expired on August 25, 2019. On March 12, 2024, the Planning and Zoning Commission approved a site plan [*Case No. SP2024-004*] for a two (2)-story *Office Building* on the subject property.
- Conformance to the Subdivision Ordinance. The surveyor has completed the majority of the technical revisions requested by staff, and this Final Plat -- conforming to the requirements for plats as stipulated by the Subdivision Ordinance in the Municipal Code of Ordinances -- is recommended for conditional approval pending the completion of final technical modifications and submittal requirements.
- Conditional Approval. Conditional approval of this Final Plat by the City Council shall constitute approval subject to the conditions stipulated in the *Conditions of Approval* section below.
- With the exception of the items listed in the *Conditions of Approval* section of this case memo, this plat is in substantial compliance with the requirements of the *Subdivision Ordinance* in the Municipal Code of Ordinances.

CONDITIONS OF APPROVAL

If the Planning and Zoning Commission chooses to recommend approval of the Final Plat for Lot 1, Block A, Vigor Way Plaza Addition, staff would propose the following conditions of approval:

- (1) All technical comments from City Staff (*i.e. Engineering, Planning and Fire Department*) shall be addressed prior to the filing of this Final Plat; and,
- (2) Any construction resulting from the approval of this Final Plat shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

PROJECT COMMENTS



CITY OF ROCKWALL
385 S. GOLIAD STREET
ROCKWALL, TEXAS 75087
PHONE: (972) 771-7700

DATE: 7/24/2024

PROJECT NUMBER: P2024-026
PROJECT NAME: Replat for Lot 1, Block A, Vigor Way Plaza
SITE ADDRESS/LOCATIONS: 550 VIGOR WAY

CASE CAPTION: Consider a request by Brian Berry of PR BBS, LLC for the approval of a Final Plat for Lot 1, Block A, Vigor Way Plaza Addition being a 1.74-acre parcel of land identified as Lot 1, Block A, BW Plus Executive Residency Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the IH-30 Overlay (IH-30 OV) District, addressed as 550 E. IH-30, and take any action necessary.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PLANNING	Bethany Ross	07/24/2024	Approved w/ Comments

07/24/2024: P2024-026: Final Plat for Lot 1, Block A, Vigor Way Plaza Addition

Please address the following comments (M= Mandatory Comments; I = Informational Comments)

I.1 This is a request for the approval of a Final Plat for Lot 1, Block A, Vigor Way Plaza Addition being a 1.74-acre parcel of land identified as Lot 1, Block A, BW Plus Executive Residency Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the IH-30 Overlay (IH-30 OV) District, addressed as 550 E. IH-30, and take any action necessary.

I.2 For questions or comments concerning this case please contact Bethany Ross in the Planning Department at (972) 772-6488 or email bross@rockwall.com.

M.3 For reference, include the case number (P2024-026) in the lower right-hand corner of all pages on future submittals.

M.4 Please correct the Title Block (Section 38-7, Subdivision and Platting Procedures, of the Municipal Code of Ordinances):

FINAL PLAT
LOT 1, BLOCK A,
VIGOR WAY PLAZA ADDITION
BEING A REPLAT OF
LOT 1, BLOCK A
BW PLUS EXECUTIVE RESIDENCY ADDITION
1.74-ACRES OR 75,987 SF
SITUATED IN THE E.P. GAINES CHISUM SURVEY, ABSTRACT NO. 64
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

M.5 Please remove the Planning and Zoning Commission recommendation from the signature block. (Section 38-7, Subdivision and Platting Procedures, of the Municipal Code of Ordinances)

M.6 Please provide the General Notes listed in the plat wording document attached. (Section 38-7, Subdivision and Platting Procedures, of the Municipal Code of Ordinances)

I.7 Staff has identified the aforementioned items necessary to continue the submittal process. Please make all revisions and corrections and return to staff as soon as possible for a subsequent review prior to approval.

I.8 The projected meeting dates for this case are as follows:

Planning and Zoning Commission: July 30, 2024
 City Council: August 5, 2024

I.9 Please note that once the Final Plat has been approved by the Planning and Zoning Commission and City Council, the case will be considered to be conditionally approved pending all of staff's comments from all City Departments and any applicable conditions of approval contained in staff's case memo are addressed prior to the subdivision plat being filed.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
ENGINEERING	Madelyn Price	07/24/2024	Approved w/ Comments

- 07/24/2024: 1. Please show the utility easement lines on the plat.
 2. All easements need to tie off/connect in order to access it.
 3. Need a separate sheet showing the easements to be abandoned.
 4. Remove curbs, pavement, fire hydrants, etc.
 5. Call out which easement line is for new easement and which is for abandoned.
 6. What is this line?
 7. Remove retaining wall.
 8. Add Note: Property owner to maintain, repair, and replace all drainage systems in easements.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
BUILDING	Craig Foshee	07/22/2024	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
FIRE	Ariana Kistner	07/24/2024	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
GIS	Lance Singleton	07/22/2024	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
POLICE	Chris Cleveland	07/23/2024	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PARKS	Bethany Ross	07/24/2024	Approved

No Comments



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY
PLANNING & ZONING CASE NO.

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- REPLAT (\$300.00 + \$20.00 ACRE) ¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ^{1 & 2}
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) ²

NOTES:

¹ IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
² A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS: Vigora Way
 SUBDIVISION: COMFORT Inn & Suites LOT: 1 BLOCK: A
 GENERAL LOCATION: Vigora Way

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING: C2 CURRENT USE: VACANT
 PROPOSED ZONING: _____ PROPOSED USE: OFFICE
 ACREAGE: 1.74 LOTS [CURRENT]: 1 LOTS [PROPOSED]: 1

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB316Z THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER: PRBBS, LLC APPLICANT: _____
 CONTACT PERSON: Brian Berry CONTACT PERSON: _____
 ADDRESS: 2 ESSEX CT ADDRESS: _____
 CITY, STATE & ZIP: Heath, Tx 75032 CITY, STATE & ZIP: _____
 PHONE: 469-583-5976 PHONE: _____
 E-MAIL: bberry@lonefirm.com E-MAIL: _____

NOTARY VERIFICATION [REQUIRED]

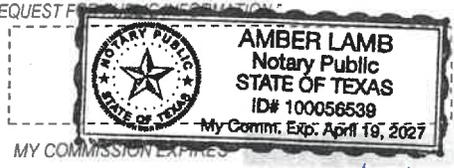
BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Brian Berry [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 334.80 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 19th DAY OF July, 2024 BY SIGNING THIS APPLICATION. I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 19th DAY OF July, 2024

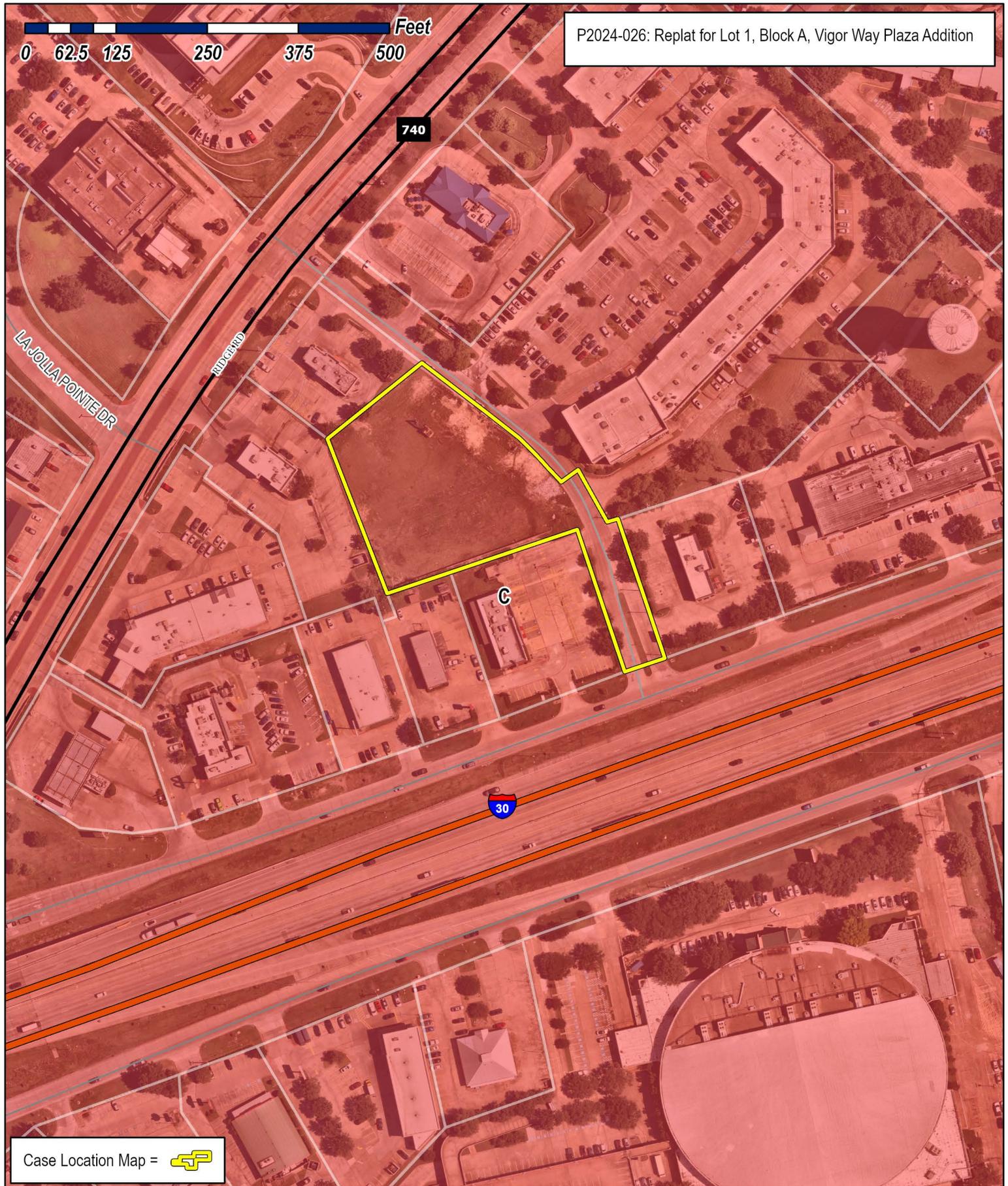
OWNER'S SIGNATURE: Brian Berry

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS: Amber Lamb



4/19/2027

P2024-026: Replat for Lot 1, Block A, Vigor Way Plaza Addition



Case Location Map = 



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



OWNER'S CERTIFICATE
(Public Dedication)

STATE OF TEXAS
COUNTY OF ROCKWALL

WHEREAS, PRBBS, LLC BEING the Owners of a tract of land in the County of Rockwall, State of Texas, said tract being described as follows:

All that certain lot, tract or parcel of land situated in the E.P. GAINES CHISUM SURVEY, ABSTRACT NO. 64, City of Rockwall, Rockwall County, Texas, and being Lot 1, Block A, COMFORT INN & SUITES, ROCKWALL TOWN CENTRE, an Addition to the City of Rockwall, Texas, according to the Plat thereof recorded in Cabinet H, Slide 25 of the Plat Records of Rockwall County, Texas and being more particularly described as follows:

BEGINNING at a 1/2" iron rod found for corner at the West most Southwest corner of said Lot 1, Block A, and being at the East Southeast corner of Lot 3R, Block A of SECOND REPLAT ROCKWALL TOWNE CENTRE, an Addition to the City of Rockwall, Texas, according to the Plat thereof recorded in Cabinet C, Slide 299 of the Plat Records of Rockwall County, Texas;

THENCE N. 18 deg. 31 min. 06 sec. W. along the northeast line of Lot 3R, Block A, a distance of 225.07 feet to a 1/2" iron rod with yellow plastic cap stamped "R.S.C.I. RPLS 5034" found for corner at an angle point at the South most corner of Lot 1, Block A, POPEYE'S ADDITION, an Addition to the City of Rockwall, Texas, according to the plat thereof recorded in Cabinet E, Slide 204, of the Plat Records of Rockwall County, Texas;

THENCE N. 53 deg. 19 min. 09 sec. E. a distance of 162.49 feet to a 1/2" iron rod with yellow plastic cap stamped "R.S.C.I. RPLS 5034" found for corner in the Southwest line of a 15' access easement per plat recorded in Cabinet C, Slide 274;

THENCE S. 52 deg. 10 min. 10 sec. E. along the Southwest line of said 15' access easement, a distance of 168.12 feet to a 1/2" iron rod with yellow plastic cap stamped "R.S.C.I. RPLS 5034" found for corner;

THENCE in a Southeasterly direction along a curve to the right having a central angle of 16 deg. 24 min. 46 sec. , a radius of 285.00 feet, a tangent of 41.10 feet, a chord of S. 43 deg. 57 min. 45 sec. E., 81.36 feet, along said 15' access easement, an arc distance of 81.64 feet to a 1/2" iron rod with yellow plastic cap stamped "R.S.C.I. RPLS 5034" found for corner;

THENCE N. 54 deg. 14 min. 35 sec. E. a distance of 30.00 feet to an "X" chisled in concrete for corner;

THENCE in a Southeasterly direction along a curve to the right having a central angle of 14 deg. 57 min. 35 sec. , a radius of 315.00 feet, a tangent of 41.36 feet, a chord of S. 28 deg. 16 min. 34 sec. E., 82.01 feet, along said 15' access easement, an arc distance of 82.25 feet to an "X" chisled in concrete for corner;

THENCE N. 71 deg. 21 min. 19 sec. E. a distance of 14.36 feet to a 1/2" iron rod found for corner;

THENCE S. 18 deg. 35 min. 57 sec. E. a distance of 291.58 feet to a P-K nail found in concrete for corner in the Northwest right-of-way line of Interstate Highway 30;

THENCE S. 71 deg. 21 min. 22 sec. W. along said right-of-way line, a distance of 58.00 feet to an "X" found in concrete for corner;

THENCE N. 18 deg. 35 min. 57 sec. W. a distance of 212.44 feet to a "X" found in concrete for corner;

THENCE S. 71 deg. 21 min. 19 sec. W. at 13.12 feet pass a 1/2" iron rod found for corner at an inner corner of said Lot 1, Block A, and continuing along the Southeast line of said Lot 1, a total distance of 281.28 feet to the POINT OF BEGINNING and containing 1.74 acres or 75,987 square feet of land.

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

STATE OF TEXAS
COUNTY OF ROCKWALL

We the undersigned owner of the land shown on this plat, and designated herein as VIGOR WAY PLAZA ADDITION, LOT 1, BLOCK A, an Addition to the City of Rockwall, Texas, and whose name is subscribed hereto, hereby dedicate to the use of the public forever all streets, alleys, parks, water courses, easements and public places thereon shown on the purpose and consideration therein expressed. I further certify that all other parties who have a mortgage or lien interest in the subdivision have been notified and signed this plat.

We understand and do hereby reserve the easement strips shown on this plat for the purposes stated and for the mutual use and accommodation of all utilities desiring to use or using same.

We also understand the following:

- No buildings shall be constructed or placed upon, over, or across the utility easements as described herein.
- Any public utility shall have the right to remove and keep removed all or part of any buildings, fences, trees, shrubs, or other growths or improvements which in any way endanger or interfere with construction, maintenance or efficiency of their respective system on any of these easement strips; and any public utility shall at all times have the right of ingress or egress to, from and upon the said easement strips for purpose of construction, reconstruction, inspecting, patrolling, maint aining, and either adding to or removing all or part of their respective system without the necessity of, at any time, procuring the permission of anyone.
- The City of Rockwall will not be responsible for any claims of any nature resulting from or occasioned by the establishment of grade of streets in the subdivision.
- The developer and subdivision engineer shall bear total responsibility for storm drain improvements.
- The developer shall be responsible for the necessary facilities to provide drainage patterns and drainage controls such that properties within the drainage area are not adversely affected by storm drainage from the development.

No house dwelling unit, or other structure shall be constructed on any lot in this addition by the owner or any other person until the developer and/or owner has complied with all requirements of the Subdivision Regulations of the City of Rockwall regarding improvements with respect to the entire block on the street or streets on which property abuts, including the actual installation of streets with the required base and paving, curb and gutter, water and sewer, drainage structures, storm structures, storm sewers, and alleys, all according to the specifications of the City of Rockwall; or

Until an escrow deposit, sufficient to pay for the cost of such improvements, as determined by the city's engineer and/or city administrator, computed on a private commercial rate basis, has been made with the city secretary, accompanied by an agreement signed by the developer and/or owner, authorizing the city to make such improvements at prevailing private commercial rates, or have the same made by a contractor and pay for the same out of the escrow deposit, should the developer an d/or owner fail or refuse to install the required improvements within the time stated in such written agreement, but in no case shall the City be obligated to make such improvements itself. Such deposit may be used by the owner and/or developer as p rogress payments as the work progresses in making such improvements by making certified requisitions to the city secretary, supported by evidence of work done; or

Until the developer and/or owner files a corporate surety bond with the city secretary in a sum equal to the cost of such improvements for the designated area, guaranteeing the installation thereof within the time stated in the bond, which time shall be fixed by the city council of the City of Rockwall.

We further acknowledge that the dedications and/or exaction's made herein are proportional to the impact of the subdivision upon the public services required in order that the development will comport with the present and future growth needs of the City; We, our successors and assigns hereby waive any claim, damage, or cause of action that we may have as a result of the dedication of exaction's made herein.

PRBBS, LLC

By: BRIAN BERRY

STATE OF TEXAS
COUNTY OF ROCKWALL

Before me, the undersigned authority, on this day personally appeared BRIAN BERRY known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purpose and consideration therein stated.

Given upon my hand and seal of office this _____ day of _____, _____.

Notary Public in and for the State of Texas

My Commission Expires: _____

RECOMMENDED FOR FINAL APPROVAL

Planning and Zoning Commission Date _____

APPROVED

I hereby certify that the above and foregoing plat of VIGOR WAY PLAZA ADDITION, LOT 1, BLOCK A, an addition to the City of Rockwall, Texas, an addition to the City of Rockwall, Texas, was approved by the City Council of the City of Rockwall on the ____ day of _____, 2024.

This approval shall be invalid unless the approved plat for such addition is recorded in the office of the County Clerk of Rockwall, County, Texas, within one hundred eighty (180) days from said date of final approval.

Said addition shall be subject to all the requirements of the Subdivision Regulations of the City of Rockwall.

WITNESS OUR HANDS, this _____ day of _____, _____.

Mayor, City of Rockwall

City Secretary City of Rockwall

City Engineer

Date

FINAL PLAT VIGOR WAY PLAZA ADDITION LOT 1, BLOCK A

BEING A REPLAT OF
COMFORT INN & SUITES
ROCKWALL TOWNE CENTRE
LOT 1, BLOCK A

E.P.G. CHISUM SURVEY, A- 64
CITY OF ROCKWALL
ROCKWALL COUNTY, TEXAS

SHEET 2 OF 2

OWNER:
PRBBS, LLC
2 ESSEX COURT
HEATH, TEXAS 75032

H.D. Fetty Land Surveyor, LLC
Firm Registration no. 10150900

SYMBOL LEGEND

TV	GAS	TEL	SH	PP
TELEVISION	SAS	PHONE	HYDRANT	POWER
CABLE BOND	METER	POLE	WATER	POLE
ELEC.	ELECC	WV	LP	2" BF
ELECTRIC	BOX	WATER	LIGHT	IRON ROD FOUND
METER	JUNCTION BOX	SUBSURFACE	PETER	CORNER
-X-	EASEMENT LINE	ATL	PROPRY	OWNERS
FENCE	PROPERTY LINES	AR COND.	SWFT	PROPRY
		TRAIL	PROPRY	TOOK

SURVEY DATE JUNE 20, 2024
SCALE 1" = 40' FILE # 20011293-12RP
CLIENT PRBBS, LLC

SURVEYOR'S CERTIFICATE

NOW, THEREFORE KNOW ALL MEN BY THESE PRESENTS:

THAT I, Harold D. Fetty, III, R.P.L.S. No. 5034, do hereby certify that I prepared this plat from an actual and accurate survey of the land, and that the corner monuments shown thereon were properly placed under my personal supervision.

Harold D. Fetty, III
Registered Professional Land Surveyor No. 5034



NOTE: It shall be the policy of the City of Rockwall to withhold issuing building permits until all streets, water, sewer and storm drainage systems have been accepted by the City. The approval of a plat by the City does not constitute any representation, assurance or guarantee that any building within such plat shall be approved, authorized or permit therefore issued, nor shall such approval constitute any representation, assurance or guarantee by the City of the adequacy and availability for water for personal use and fire protection within such plat, as required under Ordinance 83-54.



TO: Planning and Zoning Commission
DATE: July 30, 2024
APPLICANT: Chris Lewis; *Kimley-Horn and Associates, Inc.*
CASE NUMBER: SP2024-026; *Amended Site Plan for 1351 Corporate Crossing (SCP Distribution Center)*

On June 25, 2024, the Planning and Zoning Commission approved a motion to table case SP2024-026 until the July 9, 2024 Planning and Zoning Commission meeting to allow the applicant time to revise the plans to further meet the intent of the Unified Development Code (UDC). This motion was approved by a vote of 6-0, with one (1) vacancy. During this meeting the applicant provided a letter clarifying that the "...outside storage area will consist of palletized crates of stone, pavers, bagged sand, PVC pipe (3" or less), and pre-cast concrete equipment pads. There will be no chemicals stored in the yard." In addition, the applicant committed to having the outside storage "...not exceed 8' in height ..." per the letter. Regardless of these assurances, the Planning and Zoning Commission expressed concerns about visibility of the outside storage areas from Corporate Crossing [FM-549], and recommended that the applicant work with staff to better curtail the request to meet the intent of the Unified Development Code (UDC). Prior to the June 25, 2024 Planning and Zoning Commission meeting, the applicant was tabled at the May 28, 2024 Planning and Zoning Commission meeting due concerns about the visibility of the outside storage areas from Corporate Crossing [FM-549].

The applicant is now returning to the Planning and Zoning Commission, for the third presentation for this case, with an updated site plan and fence exhibit. In lieu of the wrought iron fence that was originally requested, the applicant is requesting the use of a decorative metal fence that is similar in design to louvers. The proposed product is not considered opaque and will not fully screen the outside storage; however, it will limit the visibility from Corporate Crossing [FM-549]. According to Subsection 01.05(E), *Screening Standards*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC), the screening for outside storage "...must be at least one (1) foot taller than the material or vehicles being stored and shall be achieved using a masonry wall (excluding tilt wall or concrete masonry units [CMU] unless otherwise approved by the Planning and Zoning Commission) and Canopy Trees on 20-foot centers..."; however, the Planning and Zoning Commission may approve alternative landscape screening methods. In this case, the applicant does not meet the requirements or alternatives of the Unified Development Code (UDC), and is requesting an exception.



FIGURE 1. APPROXIMATE LOCATION AND VISIBILITY OF THE PROPOSED OUTSIDE STORAGE AREA FROM CORPORATE CROSSING.

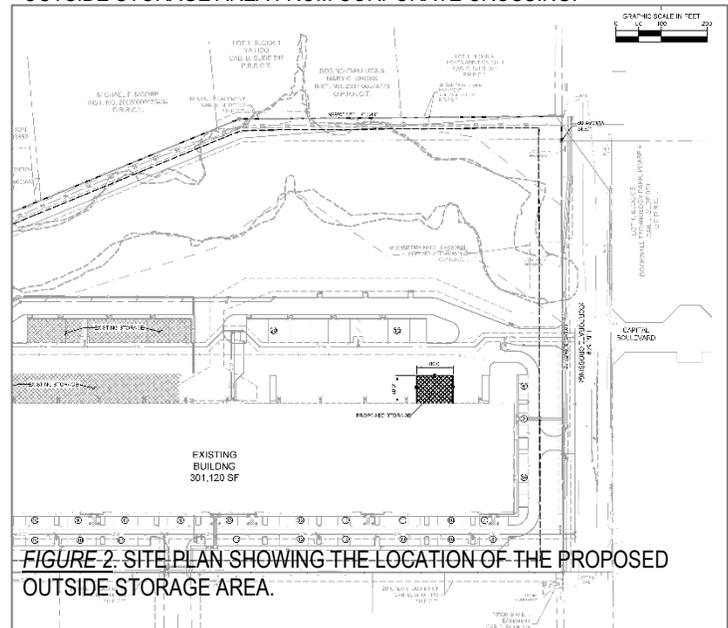


FIGURE 2. SITE PLAN SHOWING THE LOCATION OF THE PROPOSED OUTSIDE STORAGE AREA.

According to Subsection 09.01, *Exceptions to the General Standards*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC), "...an applicant may request the Planning and Zoning Commission grant an exception to the provisions contained in the Unified Development Code (UDC), where unique or extraordinary conditions exist or where strict adherence to the technical requirements of the Unified Development Code (UDC) would create an undue hardship." In addition, the code requires that applicants provide compensatory measures that directly offset the requested exception. In this case, the applicant is not providing any compensatory measures to offset the requested exception to the outside storage screening requirements. With this being said, requests for exceptions to the general standards are discretionary decisions for the Planning and Zoning Commission. Staff should also note that a supermajority vote (*e.g. six [6] out of the seven [7] commissioners*) -- *with a minimum of four (4) votes in the affirmative* -- is required for the approval of an exception. If the Planning and Zoning Commission chooses to approve the applicant's Amended Site Plan to allow outside storage on the *subject property* as delineated on the site plan, then staff would propose the following conditions of approval:

- (1) All outside storage may not exceed eight (8) feet in total height and/or extend above the eight (8) foot decorative metal fence; and,
- (2) All decorative metal fencing must be installed in such a manner that the outside storage visibility from Corporate Crossing [FM-549] is minimized; and,
- (3) Any construction resulting from the approval of this Site Plan shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

Should the Planning and Zoning Commission have any questions concerning the applicant's request, staff and the applicant will be available at the July 30, 2024 Planning and Zoning Commission meeting.



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. _____

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- REPLAT (\$300.00 + \$20.00 ACRE) ¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ^{1 & 2}
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) ²

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.

²: A **\$1,000.00** FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS **1351 Corporate Crossing Rockwall, TX 75032**

SUBDIVISION **Platted - John Lockhard Survey Abstract No. 134** LOT **1** BLOCK **A**

GENERAL LOCATION **West of the intersection of Corporate Crossing and Capital Blvd**

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING **LI** CURRENT USE **Warehouse**

PROPOSED ZONING _____ PROPOSED USE **Warehouse**

ACREAGE **43.237 AC** LOTS [CURRENT] **1** LOTS [PROPOSED] **N/A**

- SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER **Westcore Bravo Rockwall, LLC** APPLICANT **Kimley-Horn and Associates, Inc.**

CONTACT PERSON **Matthew Bateman** CONTACT PERSON **Chris Lewis**

ADDRESS **4350 La Jolla Village Drive, Suite 900** ADDRESS **2600 N Central Expressway
Suite 400**

CITY, STATE & ZIP **San Diego, CA 92122** CITY, STATE & ZIP **Richardson, Texas**

PHONE **(858) 625-4100** PHONE **(469)-445-2780**

E-MAIL **mbateman@westcore.net** E-MAIL **chris.lewis@kimley-horn.com**

NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED _____ [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ _____ TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE _____ DAY OF _____, 20____. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE _____ DAY OF _____, 20____.

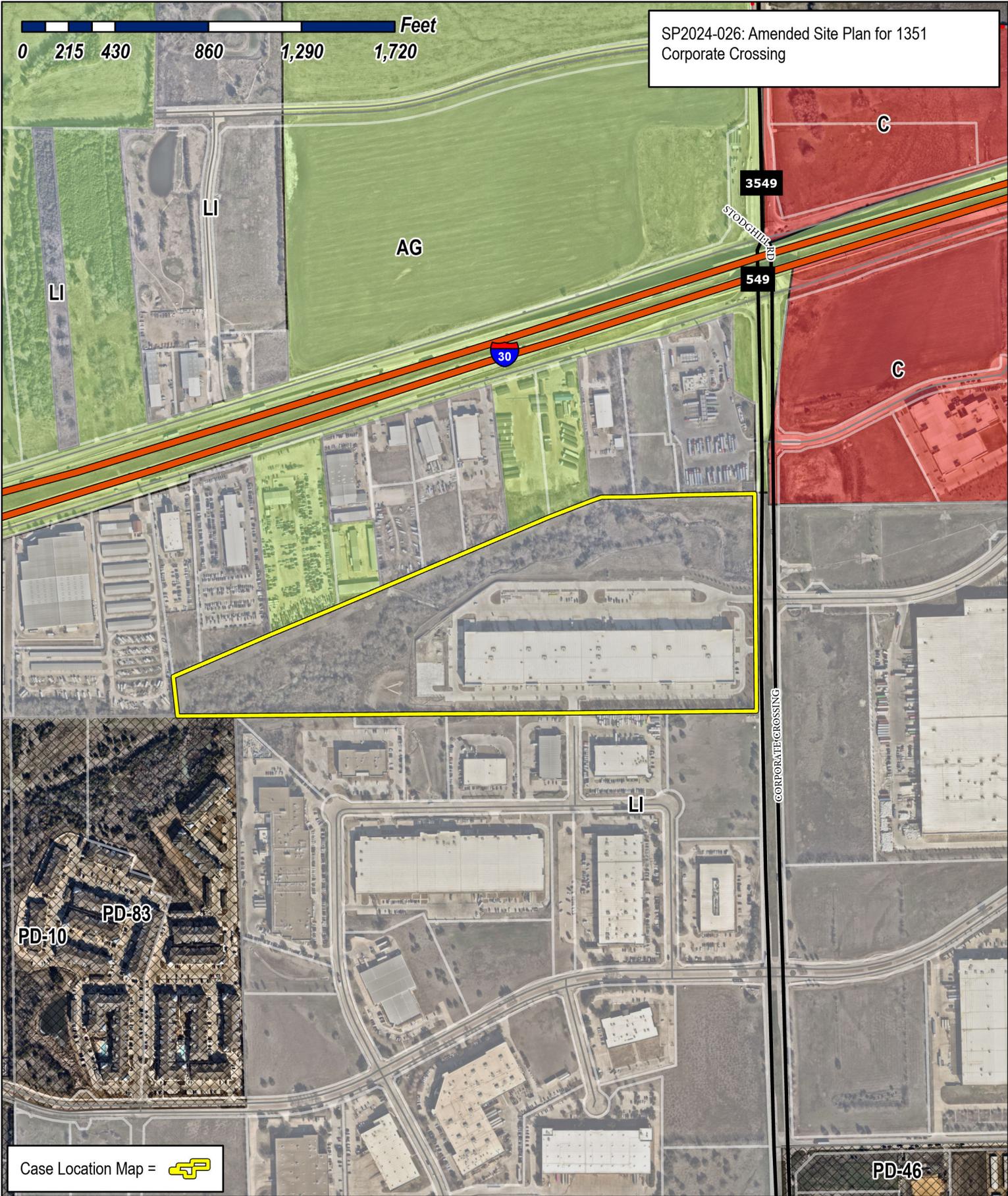
OWNER'S SIGNATURE _____

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS _____

MY COMMISSION EXPIRES _____

0 215 430 860 1,290 1,720 Feet

SP2024-026: Amended Site Plan for 1351 Corporate Crossing



Case Location Map = 



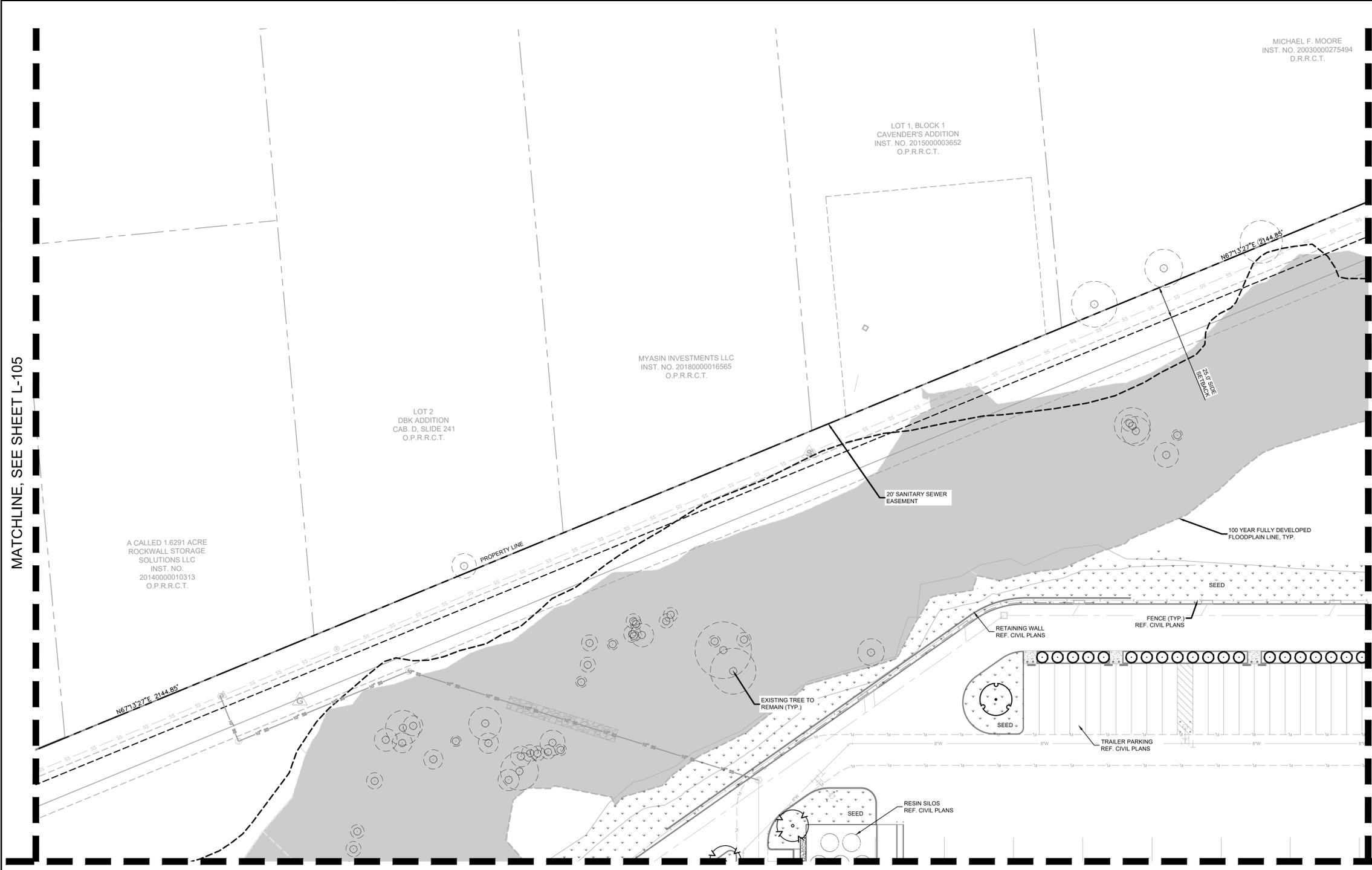
City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

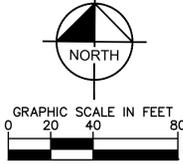
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IMAGES: XREFS AND PLOTTED BY: DWG NAME: LPT-001 LANDSCAPE PLAN_NEW.DWG
 PLOTTED BY: FLETCHER, MEGAN 3/20/23 2:24 PM
 XREFS AND PLOTTED BY: FLETCHER, MEGAN 3/20/23 2:24 PM
 DWG NAME: LPT-001 LANDSCAPE PLAN_NEW.DWG
 The document, together with the concepts and design presented herein, is an instrument of service, it is intended only for the specific purpose and client for which it was prepared. House of and proper reliance on this document without written authorization and adaptation by Kinley Horn and Associates, Inc. shall be without liability to Kinley Horn and Associates, Inc.



MICHAEL F. MOORE
INST. NO. 20030000275494
D.R.R.C.T.



MATCHLINE, SEE SHEET L-105

MATCHLINE, SEE SHEET L-101

MATCHLINE, SEE SHEET L-104

REF. SHEET L-100 FOR FULL PLANT SCHEDULE

PLANT SCHEDULE

TREES	CODE	BOTANICAL / COMMON NAME
	UA	ULMUS PARVIFOLIA 'ALLEE' / ALLEE LACEBARK ELM
	TD	TAXODIUM DISTICHUM / BALD CYPRESS
	QC	QUERCUS MUEHLENBERGII / CHINKAPIN OAK
	CL	CHILOPSIS LINEARIS / DESERT WILLOW
	JE	JUNIPERUS VIRGINIANA / EASTERN RED CEDAR
	US	UNGNADIA SPECIOSA / MEXICAN BUCKEYE
	QS	QUERCUS SHUMARDII / SHUMARD RED OAK
	CC	CERDIS CANADENSIS 'TEXENSIS' / TEXAS REDBUD
SHRUBS	CODE	BOTANICAL / COMMON NAME
	HP	HESPERALOE PARVIFLORA 'BRAKELIGHTS' TM / BRAKELIGHTS RED YUCCA
	IC	ILEX CORNUTA 'DWARF BURFORD' / DWARF BURFORD HOLLY
	LC	LOROPETALUM CHINENSE / LOROPETALUM
	LF	LEUCOPHYLLUM FRUTESCENS / TEXAS SAGE
GROUND COVERS	CODE	BOTANICAL / COMMON NAME
	SEED	CYNODON DACTYLON / BERMUDA GRASS
	SOD	CYNODON DACTYLON / COMMON BERMUDA GRASS
	DM	DRAINFIELD MIX / DRAINFIELD MIX
AGGREGATE	CODE	BOTANICAL / COMMON NAME
	BE	BLACK EAGLE GRAVEL

WARNING: EXISTING UTILITIES SHOWN ARE BASED ON AVAILABLE RECORD DRAWINGS AND ABOVE GROUND FIELD SURVEY DATA, THEREFORE THERE MAY BE UTILITIES PRESENT THAT ARE NOT SHOWN ON THESE CONSTRUCTION PLANS. CONTRACTOR TO FIELD VERIFY PRESENCE AND EXACT LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION AND USE CAUTION DURING CONSTRUCTION. NOTIFY ENGINEER AND OWNER OF ANY DISCREPANCIES.

SITE PLAN SIGNATURE BLOCK

APPROVED:
I HEREBY CERTIFY THAT THE ABOVE FOREGOING SITE PLAN FOR DEVELOPEMENT IN THE CITY, OF ROCKWALL, TEXAS WAS APPROVED BY THE PLANNING AND ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE ___ DAY OF ___, ___.

WITNESS OUR HANDS, THIS ___ DAY OF ___, ___.

PLANNING & ZONING COMMISSION, CHAIRMAN DIRECTOR OF PLANNING AND ZONING



No.	REVISIONS	DATE

Kimley **Horn**

13455 NOEL ROAD, TWO GALLERIA OFFICE TOWER,
SUITE 700, DALLAS, TX 75240
PHONE: 972-770-1300 FAX: 972-239-3820
WWW.KIMLEY-HORN.COM TX F-928
© 2023 KIMLEY-HORN AND ASSOCIATES, INC.



KHA PROJECT	068213100
DATE	MARCH 2023
SCALE	AS SHOWN
DESIGNED BY	AMP
DRAWN BY	MLF
CHECKED BY	BDW

STREAM ROCKWALL

PREPARED FOR
STREAM REALTY ACQUISITION, LLC,
ROCKWALL, TEXAS

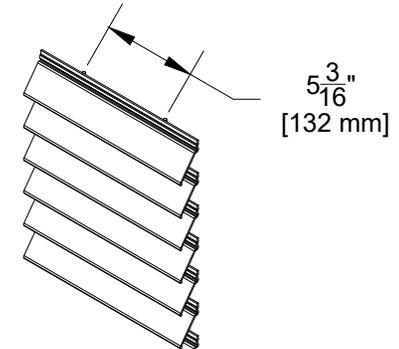
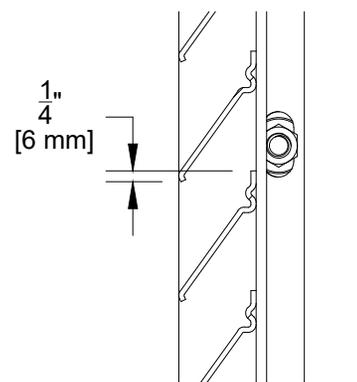
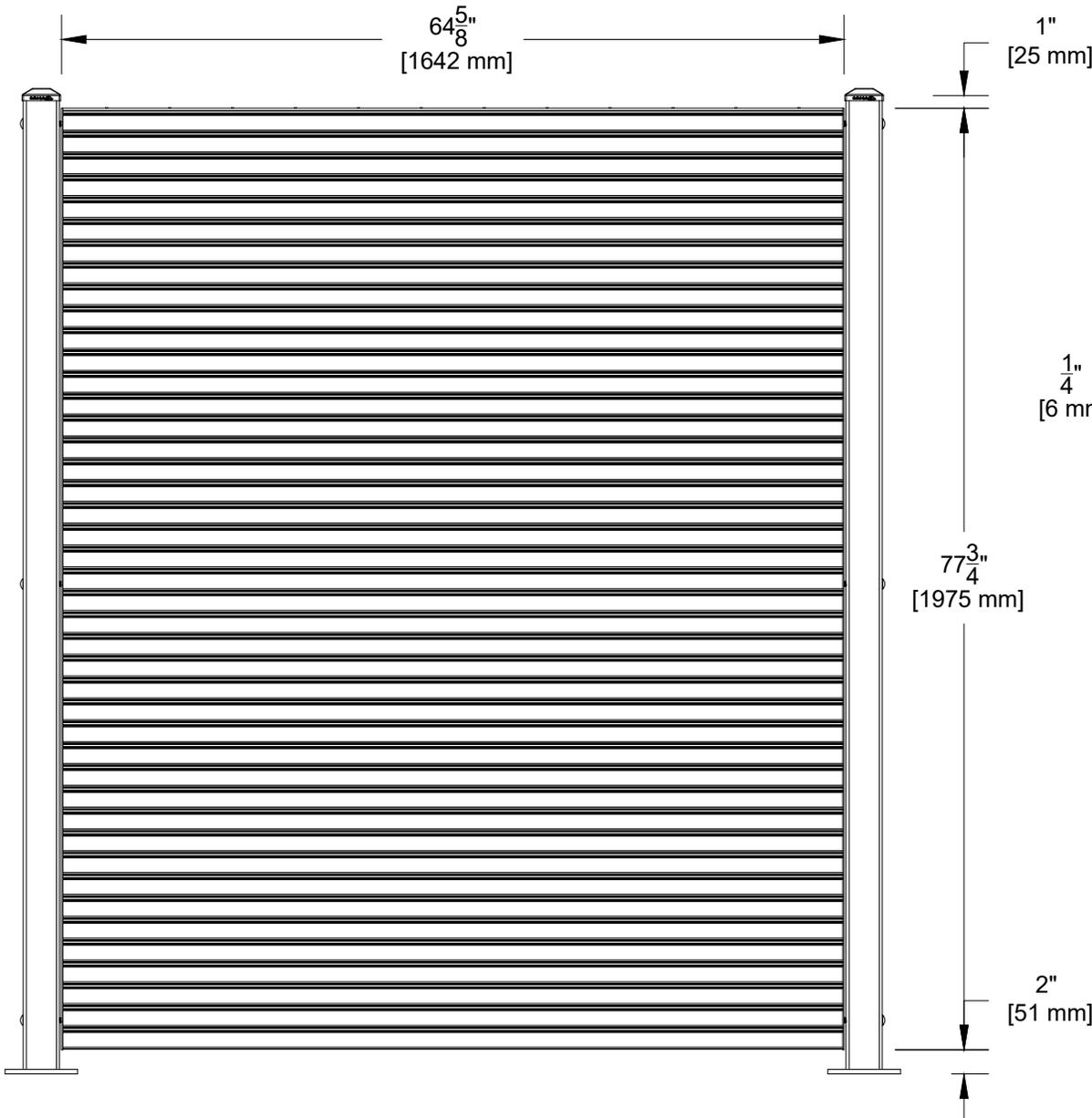
LANDSCAPE PLAN

(3 OF 5)

SHEET NUMBER
L-103

OMEGA 100 PANEL ON SQUARE POST

6'-6" PANEL (149 lb / 67.6 kg)



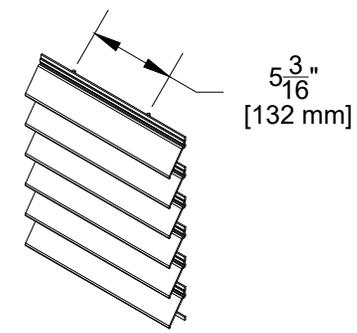
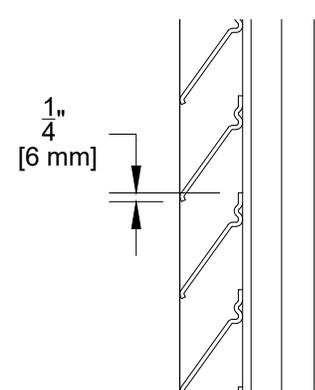
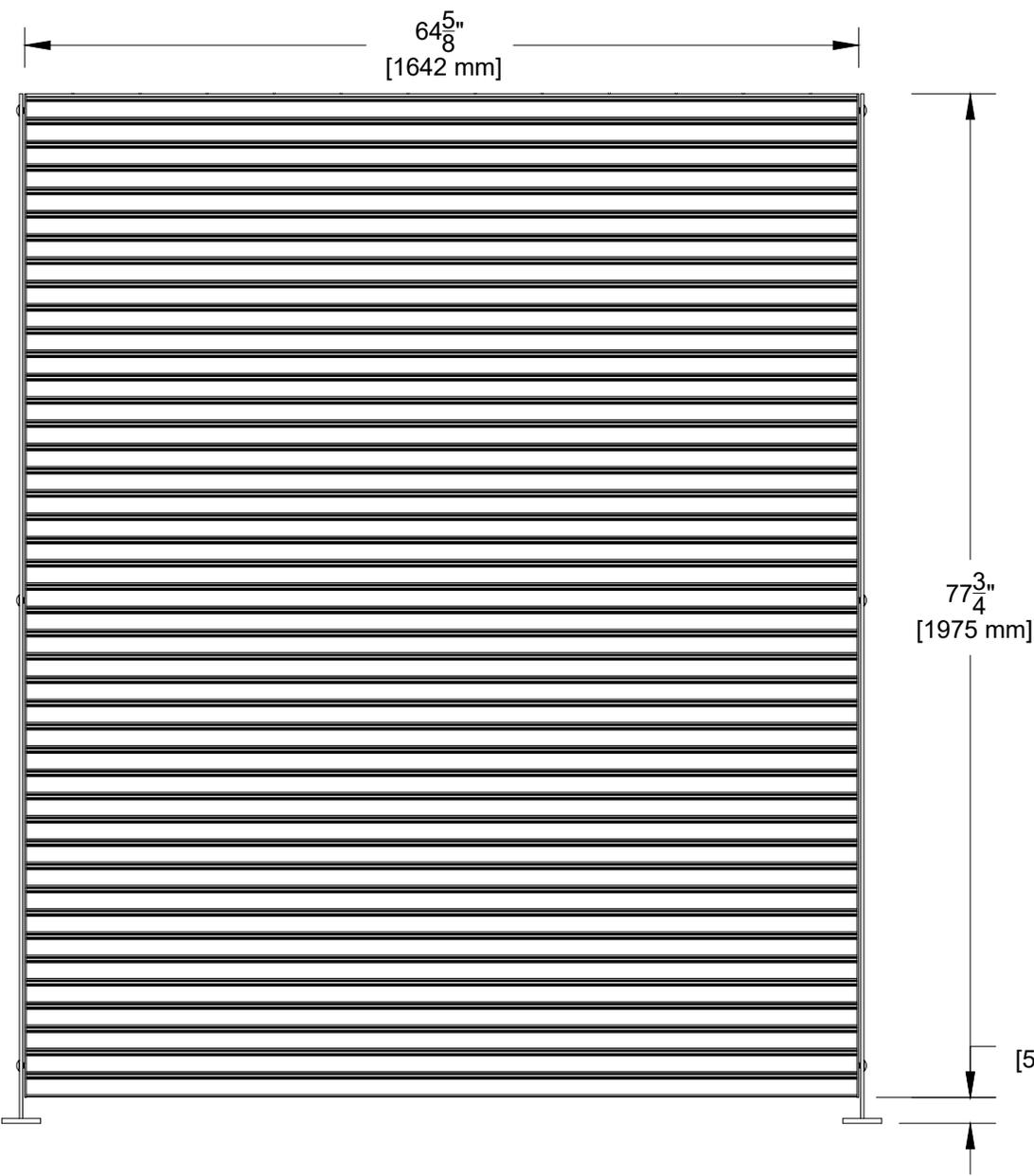
HORIZONTAL LOUVERS : 0.08" THICKNESS (2 mm)
 FRAME : 2" x 11GA (50 mm x 3.13 mm)
 VERTICAL WIRES : 8GA (Ø4.06 mm)

HAUTEUR PANNEAU	NOMBRE D'ENSEMBLES D'ATTACHES PAR POTEAU
6'-6" (2.0 m)	3

Pour plus d'information sur les panneaux, veuillez vous référer aux spécifications

OMEGA 100 PANEL ON FLAT POST

PANNEAU 6'-6" (149 lb / 67.6 kg)



HORIZONTAL LOUVERS : 0.08" THICKNESS (2 mm)
 FRAME : 2" x 11GA (50 mm x 3.13 mm)
 VERTICAL WIRES : 8GA (Ø4.06 mm)

2"
[51 mm]

HAUTEUR PANNEAU	NOMBRE D'ENSEMBLES D'ATTACHES PAR POTEAU
6'-6" (2.0 m)	3

Pour plus d'information sur les panneaux, veuillez vous référer aux spécifications



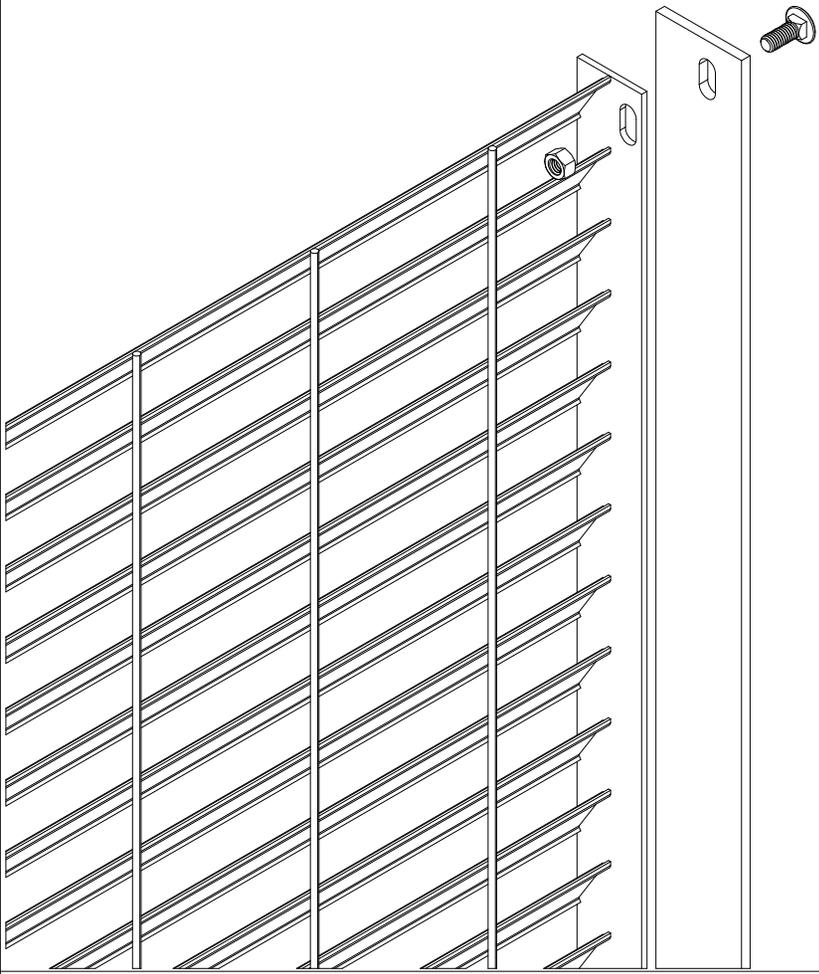
Omega II Fence Systems
 1735, Blvd. St-Elzéar West
 Laval, Quebec
 H7L 3N6

Tel: 450-686-9600
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 Fax: 450-681-5318
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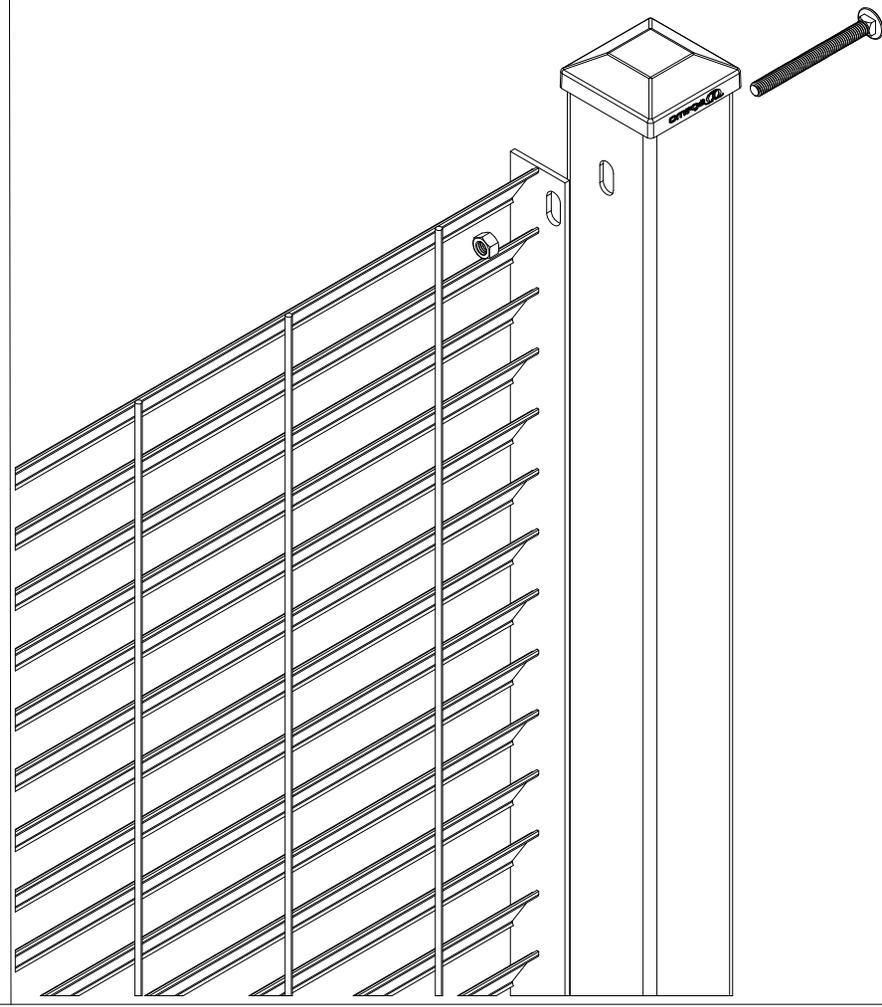
LF00-02

REVISION : 12/21

STANDARD BRACKET INSTALLATION ON FLAT POST



STANDARD BRACKET INSTALLATION ON SQUARE POST



NOTES : FOR COLORS OTHER THAN BLACK, ALL PARTS ARE POLYESTER POWDER COATED EXCEPT NUTS & BOLTS.

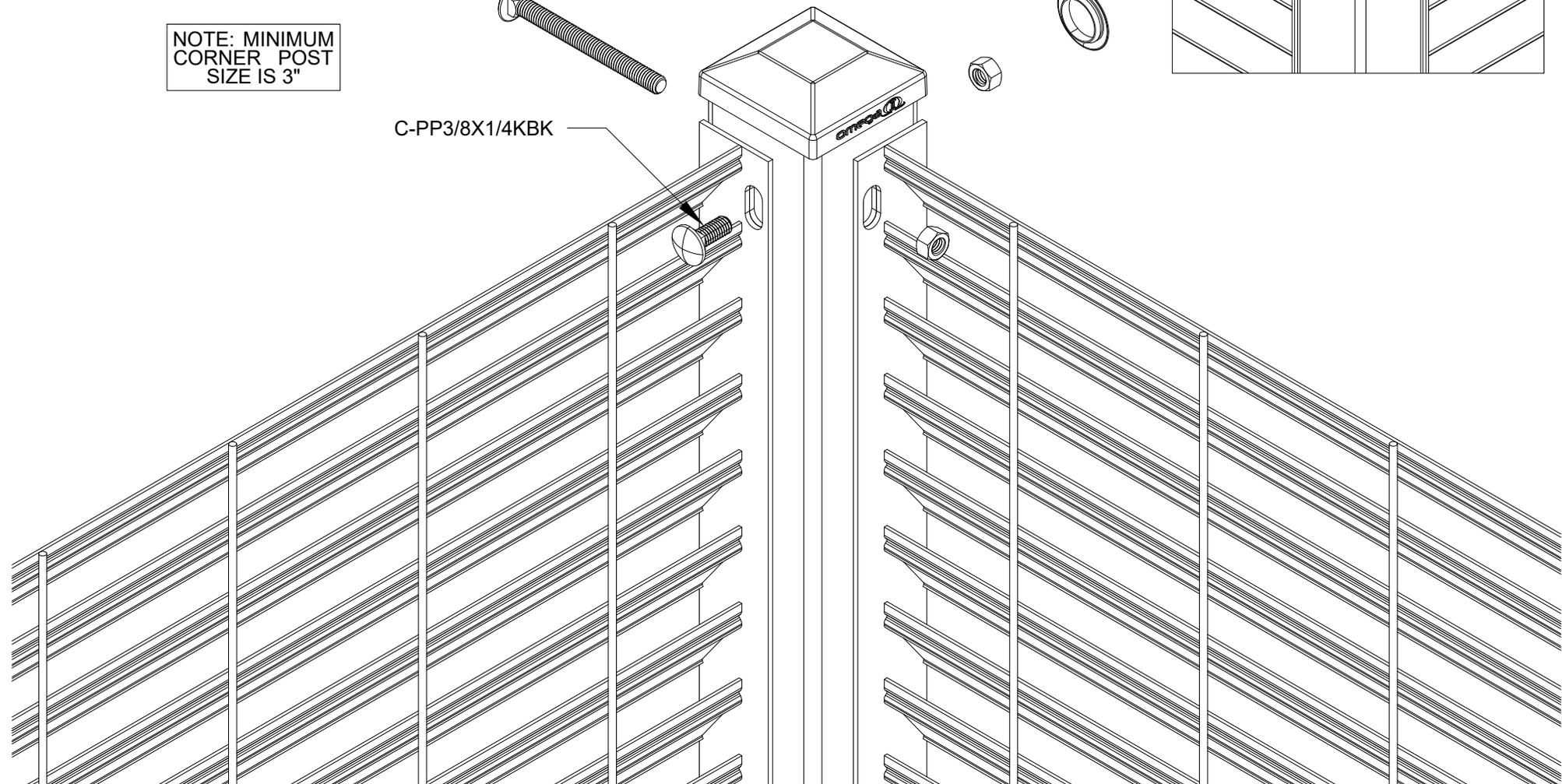
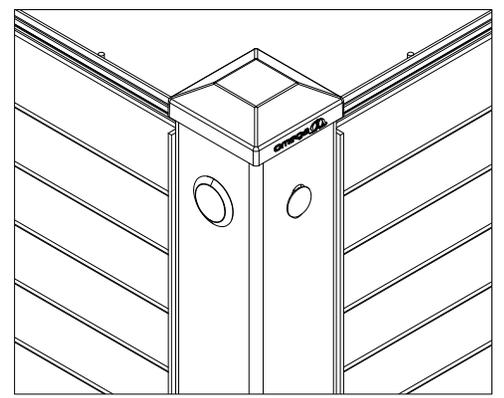
OMEGA 100 PANEL INSTALLATION ON CORNER POST

CARRIAGE BOLT AND NUTS (C-PC3/8X3K BK)

C-PPLUG1BK

NOTE: MINIMUM CORNER POST SIZE IS 3"

C-PP3/8X1/4K BK



OMEGA 100 PANEL INSTALLATION ON SQUARE POST

SQUARE POST INSTALLATION WITH STANDARD BOLT KIT

GRADING

THE GROUND SHALL BE GRADED TO AN EASY EVEN SLOPE ALL ALONG THE LENGTH OF THE AREA WHERE THE FENCE IS TO BE INSTALLED.

INSTALLATION

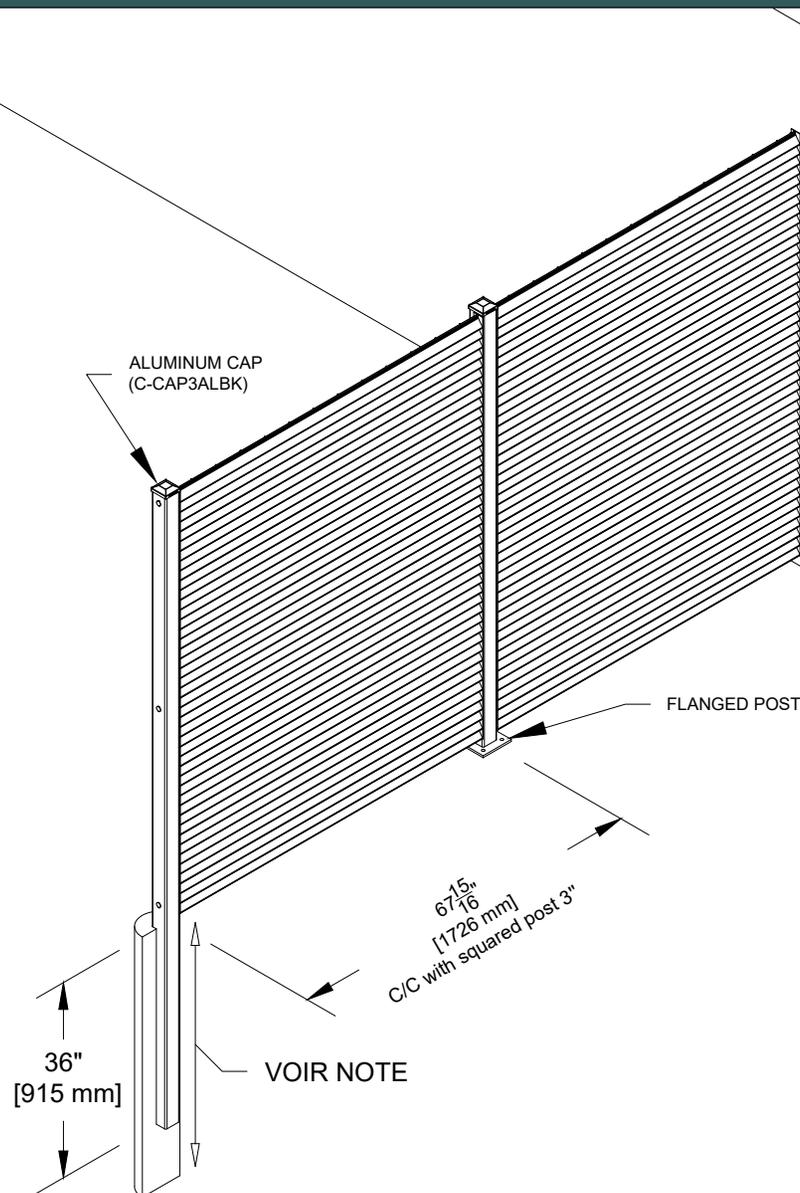
INSTALL THE FENCE ALONG THE SPECIFIED AREA. THE FENCE SHALL BE INSTALLED AT A DISTANCE OF 2" (50.8 mm) ABOVE THE GROUND SURFACE. THE RECOMMENDED MINIMUM IS 1" (25 mm) AND MAXIMUM IS 3" (76.2 mm).

INSTALL ALL THE POSTS VERTICALLY AT PROPER HEIGHT IN CONCRETE. ONCE THE CONCRETE HAS SET AND THE BRACKETS ARE SECURELY ANCHORED, THE PANELS SHALL BE INSTALLED. CENTER TO CENTER SHOWN IN PICTURE INCLUDES A $\pm\frac{5}{32}$ " ADJUSTMENT. (± 4 mm) ON EACH SIDE.

THE PANELS SHALL BE INSTALLED ACCORDING TO OWNERS INSTRUCTIONS WITH THE FOLLOWING OPTIONS:

- CHOSEN BRACKET MODEL
- PANEL WIRE SIDES FACING INWARDS OR OUTWARDS.

FOR MORE FENCE DETAILS, VISIT OUR WEB SITE'S TECHNICAL PAGE



NOTE:

THE DEPTH OF THE CONCRETE FOUNDATIONS MUST BE ESTABLISHED ACCORDING TO REGULATIONS IN THE REGION WHERE THE INSTALLATION IS CARRIED OUT. A MINIMUM DEPTH OF 42 in. (1070 mm) IS RECOMMENDED. THE RECOMMENDED FOUNDATION DIAMETER IS 8 in. (200 mm) FOR A COMMERCIAL SITE AND 6 in. (152 mm) FOR RESIDENTIAL INSTALLATION. REGULATIONS OF THE REGION TAKES PRECEDENCE OVER THE SPECIFICATIONS MENTIONED ABOVE.

OMEGA 100 PANEL INSTALLATION ON FLAT POST

FLAT POST INSTALLATION WITH STANDARD BOLT KIT

GRADING

THE GROUND SHALL BE GRADED TO AN EASY EVEN SLOPE ALL ALONG THE LENGTH OF THE AREA WHERE THE FENCE IS TO BE INSTALLED.

INSTALLATION

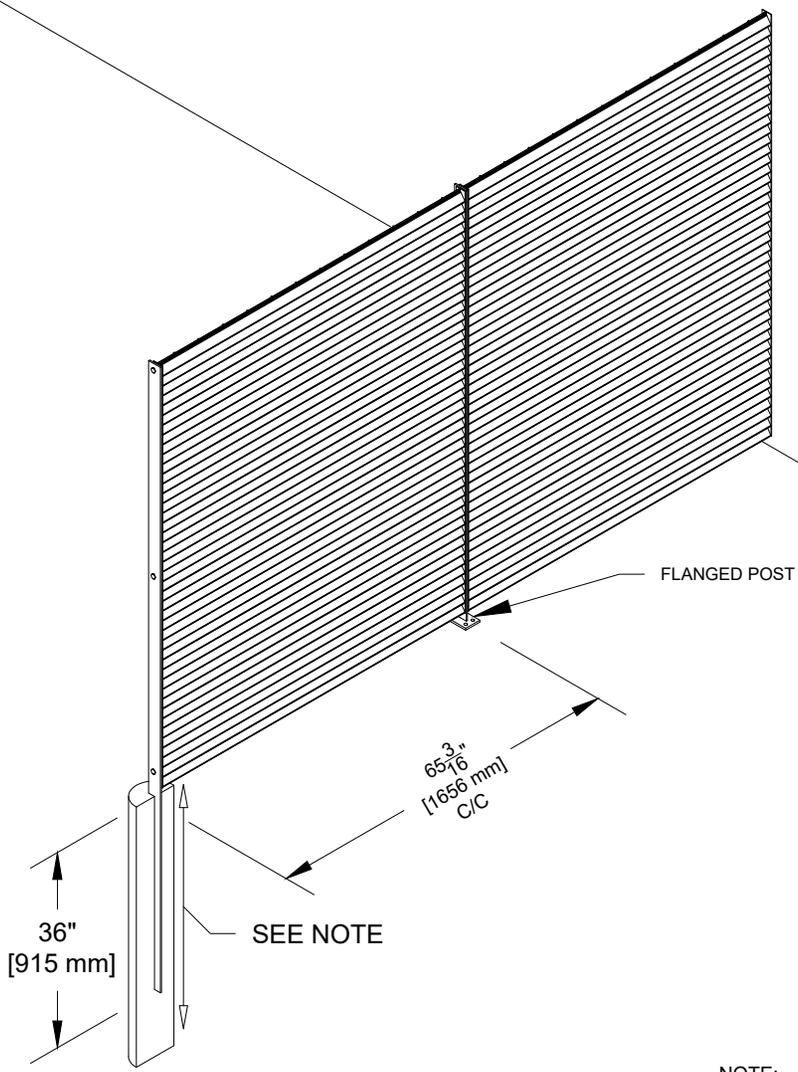
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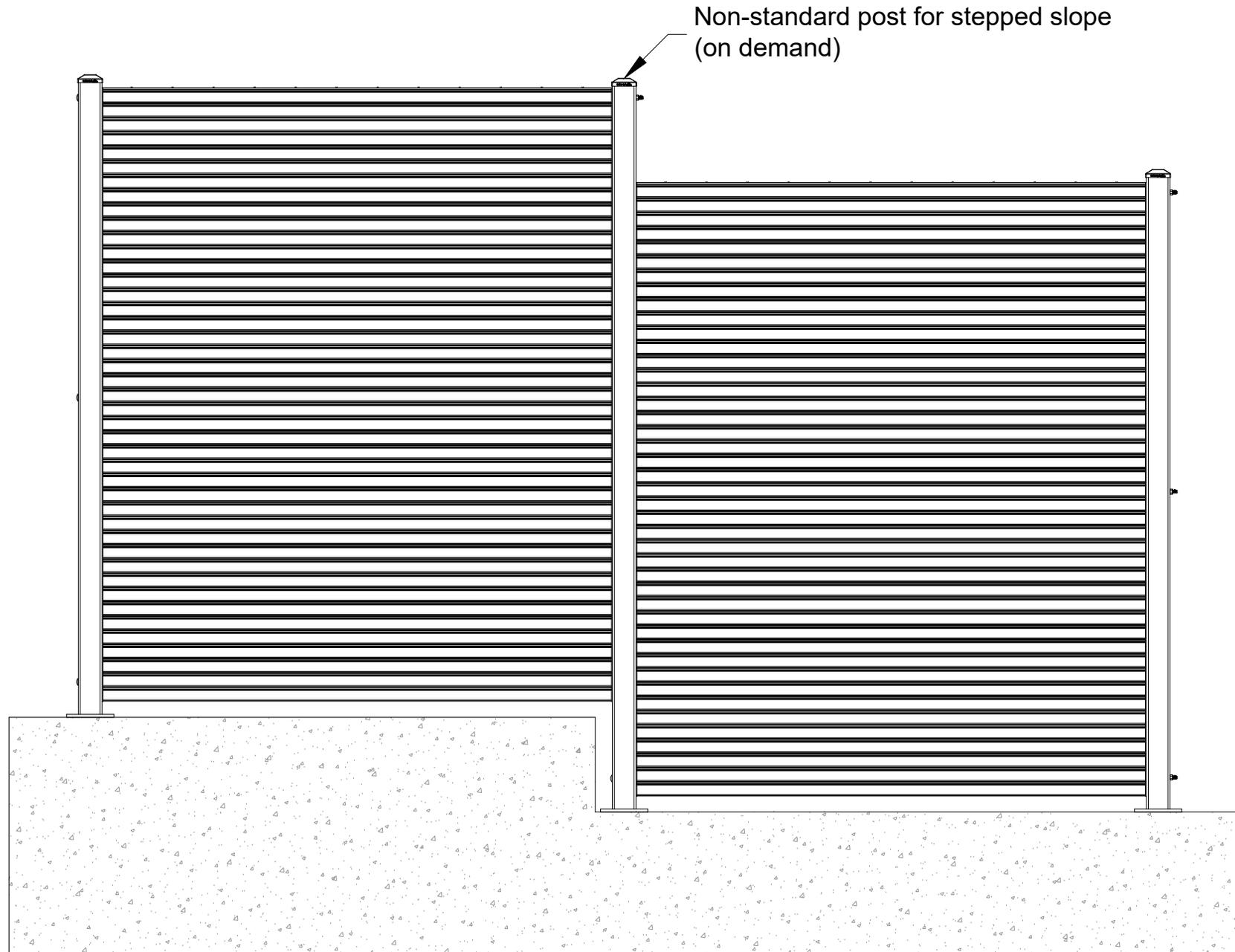
- 1) CHOSEN BRACKET MODEL
- 2) PANEL WIRE SIDES FACING INWARDS OR OUTWARDS.

FOR MORE FENCE DETAILS, VISIT OUR WEB SITE'S TECHNICAL PAGE

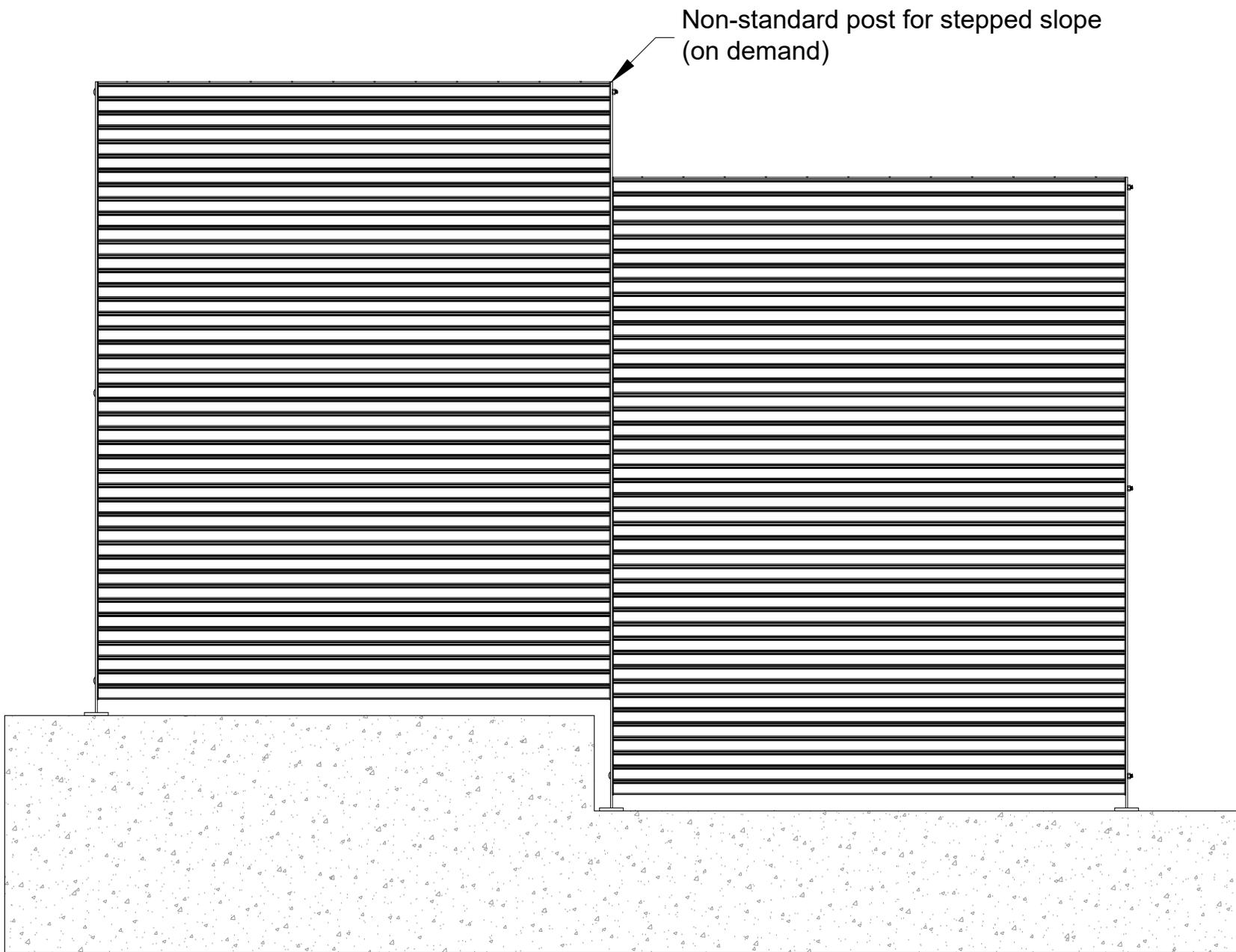


NOTE:
THE DEPTH OF THE CONCRETE FOUNDATIONS MUST BE ESTABLISHED ACCORDING TO REGULATIONS IN THE REGION WHERE THE INSTALLATION IS CARRIED OUT. A MINIMUM DEPTH OF 42 in. (1070 mm) IS RECOMMENDED. THE RECOMMENDED FOUNDATION DIAMETER IS 8 in. (200 mm) FOR A COMMERCIAL SITE AND 6 in. (152 mm) FOR RESIDENTIAL INSTALLATION. REGULATIONS OF THE REGION TAKES PRECEDENCE OVER THE SPECIFICATIONS MENTIONED ABOVE.

OMEGA 100 PANEL INSTALLATION ON SQUARE POST SLOPED GROUND



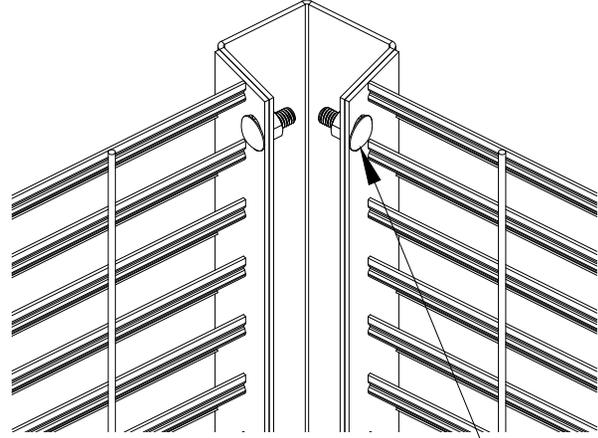
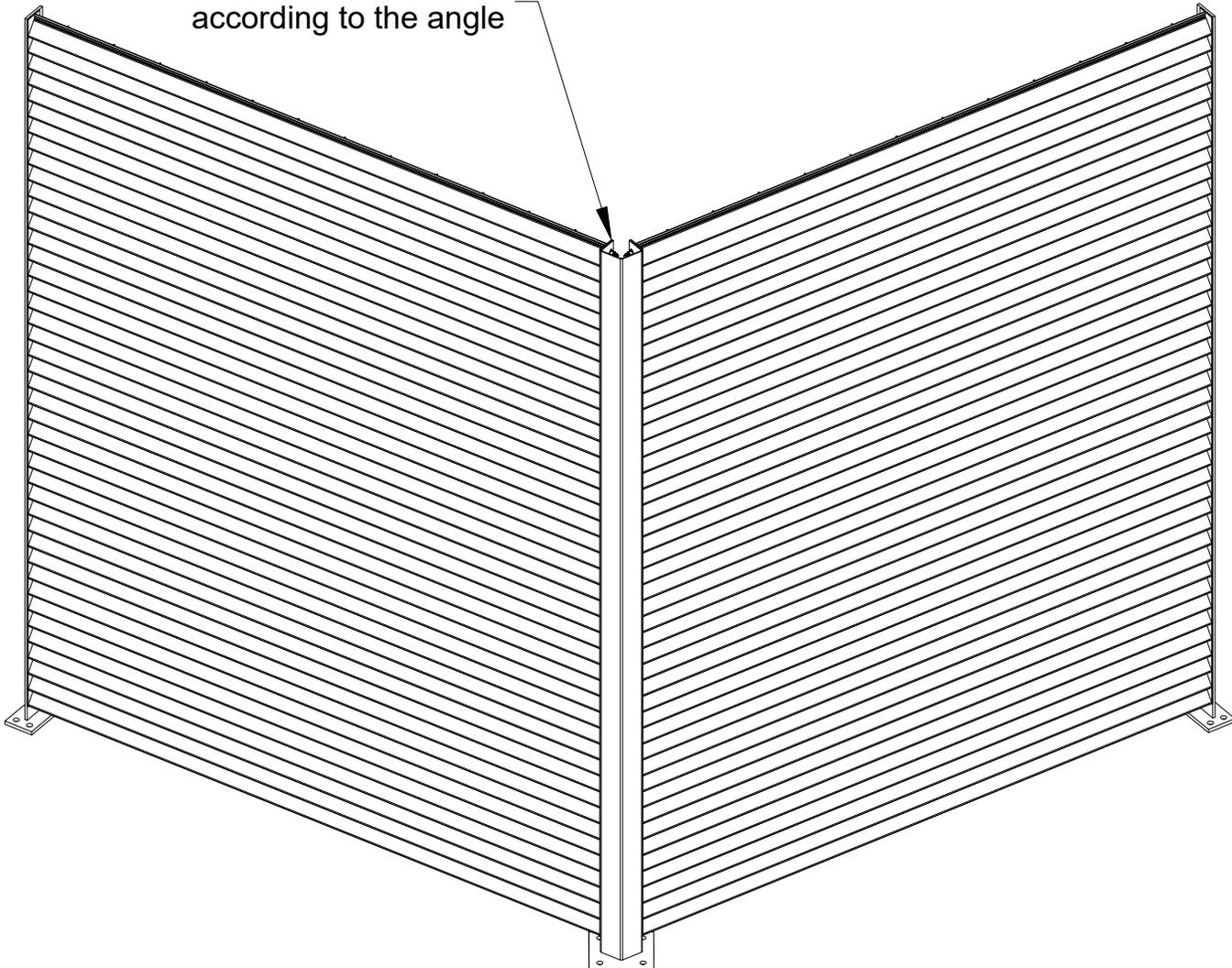
OMEGA 100 PANEL INSTALLATION ON FLAT POST SLOPED GROUND



Non-standard post for stepped slope
(on demand)

OMEGA 100 CORNER FOLDED POST

Custom folded post according to the angle



CARRIAGE BOLT AND NUTS
(C-PP3/8X1/4KBK)

FINI DE SURFACE

LES BARRIÈRES À BATTANT OMEGA 80 SONT FABRIQUÉES EN ACIER GALVANISÉ DE PREMIÈRE QUALITÉ. LE FINI POLYESTER APPLIQUÉ EST OFFERT EN PLUSIEURS COULEURS. POUR PLUS D'INFORMATION, VEUILLEZ VOUS RÉFÉRER AUX SPÉCIFICATIONS.

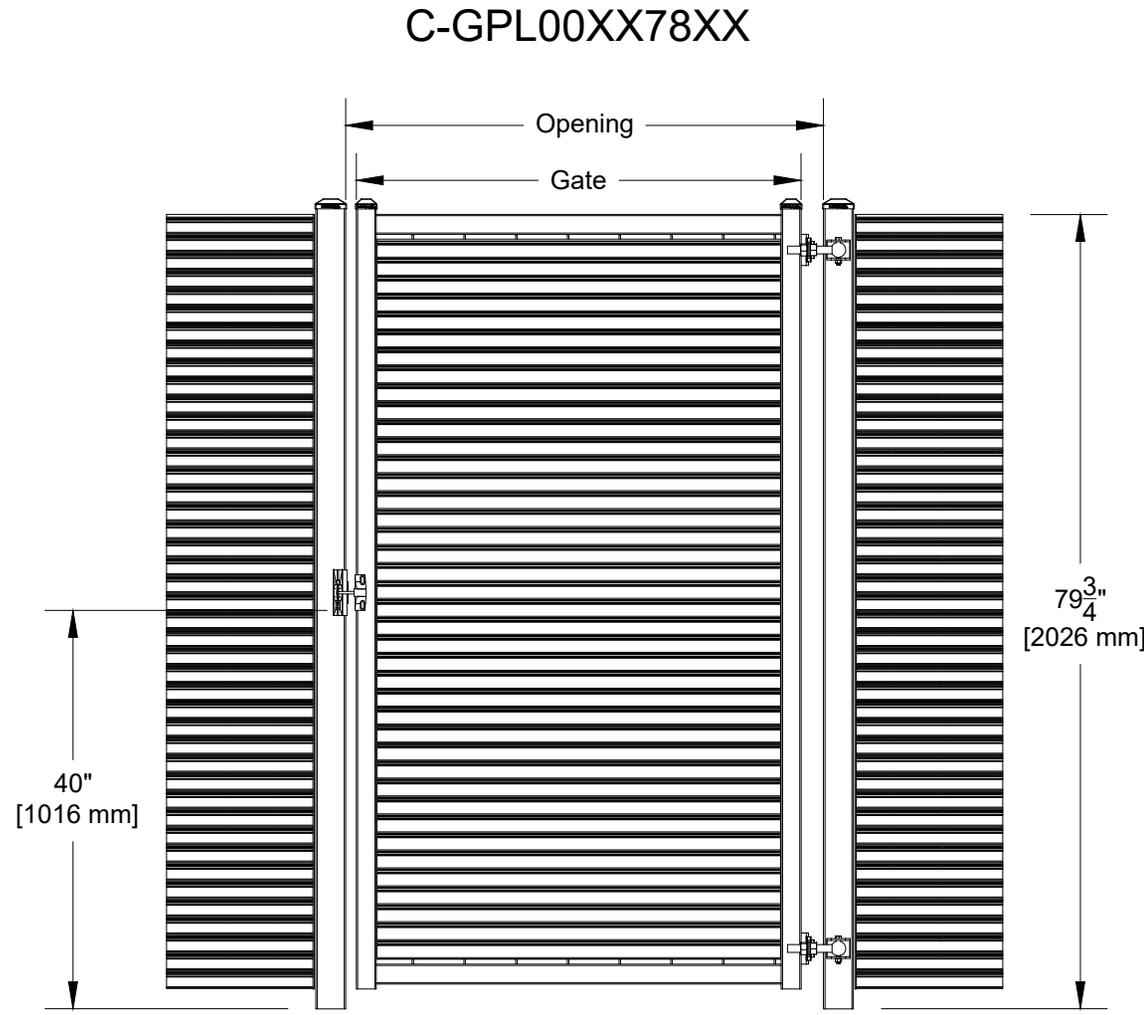
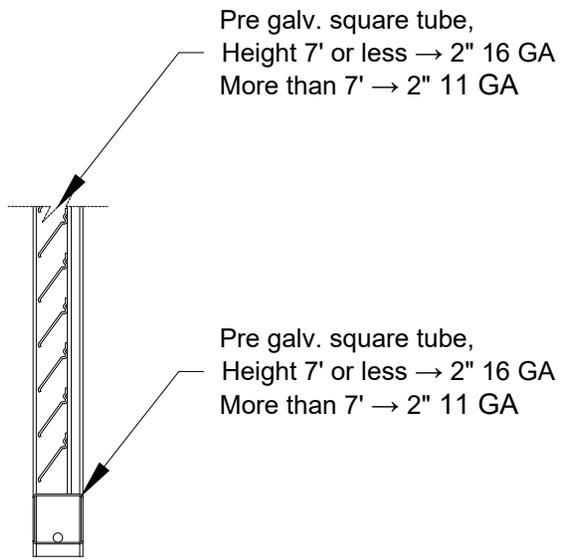


Omega II Fence Systems
1735, Blvd. St-Elzéar West
Laval, Quebec
H7L 3N6

Tel: 450-686-9600
1-800-836-6342
Fax: 450-681-5318
www.omegafence.com

LF00-09

REVISION : 12/21



GATE POST DIMENSIONS		
PANEL	OPENING	POST
77"	3' à 8'	3" x 3" 11 GA
77"	9' à 16'	4" x 4" 11 GA

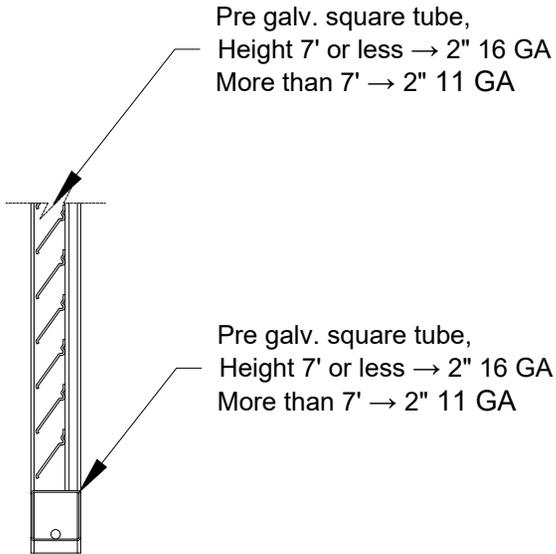
SURFACE FINISH
 ALL OMEGA 80 GATES ARE COATED WITH POLYESTER POWDER COATING.
 FOR MORE INFORMATION, PLEASE REFER TO SPECIFICATIONS.



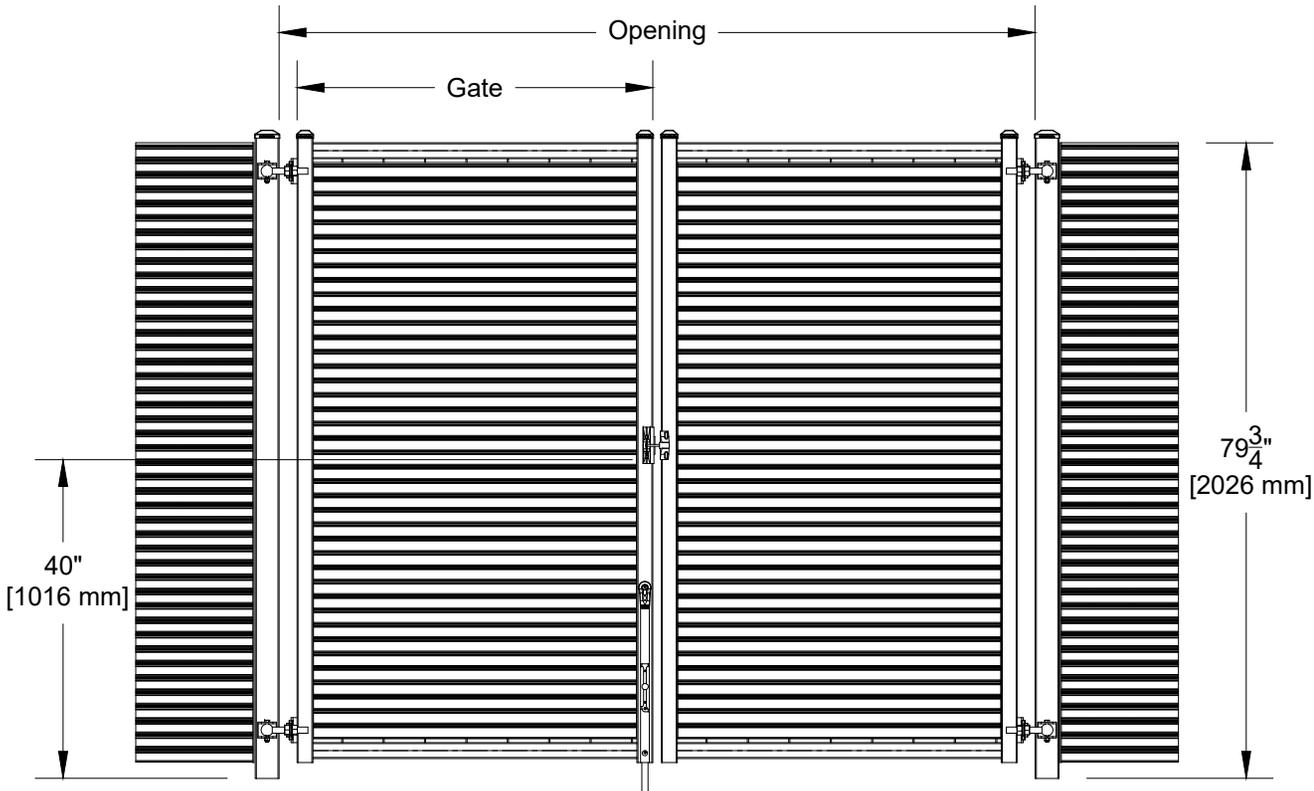
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LF00-10
 REVISION : 12/21



C-GPL00DXX78XX



GATE POST DIMENSIONS		
PANEL	OPENING*	POST
77"	3' à 8'	3" x 3" 11 GA
77"	9' à 16'	4" x 4" 11 GA

*OPENING IS BASED ON A SINGLE LEAF

SURFACE FINISH

ALL OMEGA 80 GATES ARE COATED WITH POLYESTER POWDER COATING.
FOR MORE INFORMATION, PLEASE REFER TO SPECIFICATIONS.



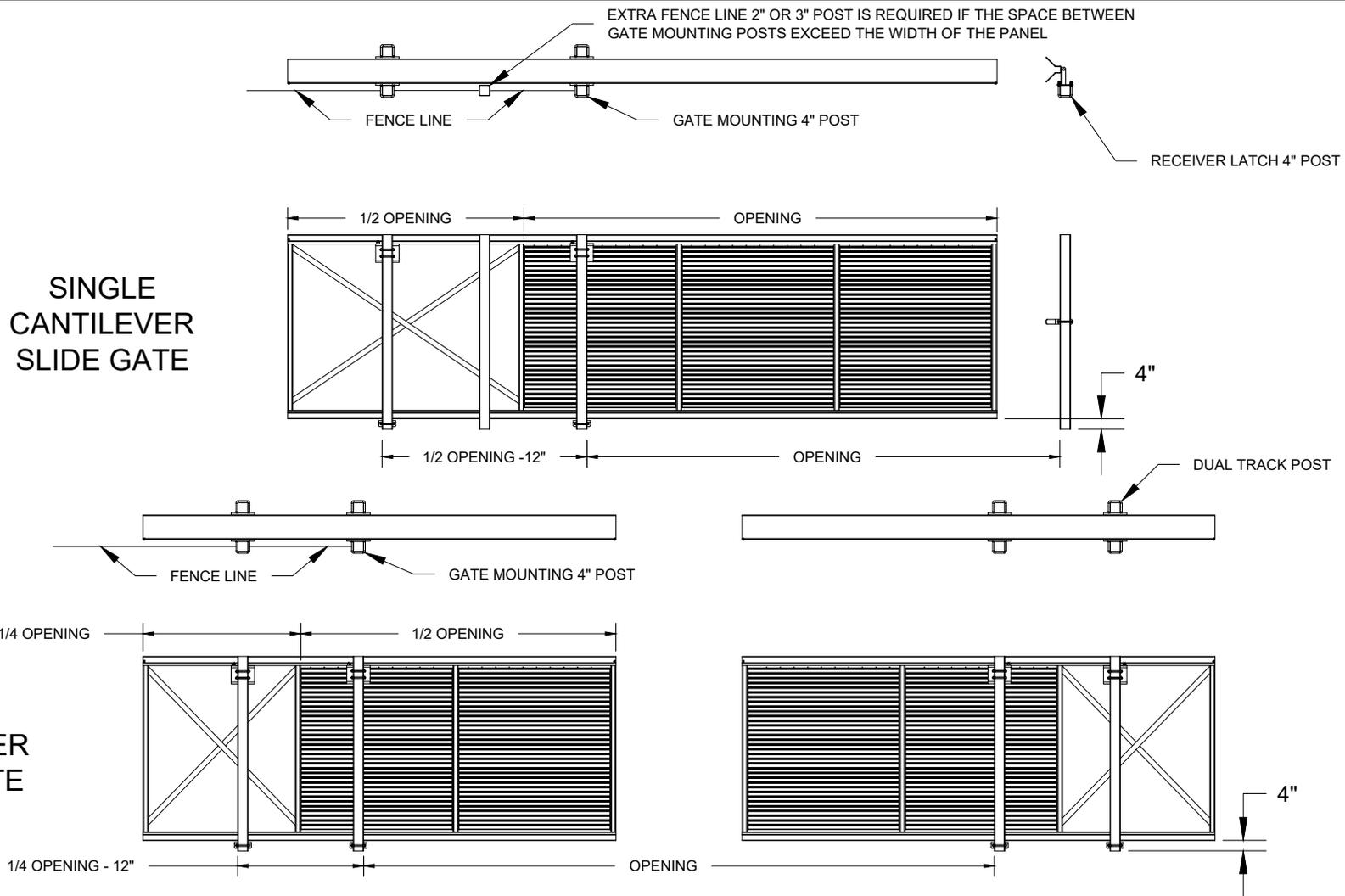
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LF00-11

REVISION : 12/21

OMEGA 100 CANTILEVER SLIDE ALUMINIUM GATE



TUBE BRACED CANTILEVER SLIDE:

THE ALUMINUM CANTILEVER GATES ARE CONSTRUCTED WITH AN UPPER AND LOWER TRACK, FABRICATED FROM OF 6061-T6 ALUMINIUM ALLOY EXTRUSIONS. THE UPPER AND LOWER TRACKS SHALL BE WELDED AND/OR BOLTED TO 2"X2"X.125". EACH FRONT SECTION SHALL HAVE ONE DIAGONAL BRACE OF 1"X2"X.125 WALL ALUMINUM TUBE. EACH TAIL SECTION OF THE GATE SHALL BE X-BRACED WITH TWO 1"X2"X.125 WALL ALUMINUM TUBE. OUR STANDARD COLORS UTILIZED AN EPOXY-VINYL PAINT PRIMER WITH AN ACRYLIC SURFACE COATING. BOTH COATINGS ARE APPLIED IN ONE LAYER BY SPRAY PAINT PROCESS. THE FABRIC SHALL BE HELD IN PLACE BY CARRIAGE BOLTS & NUTS.. GATES WITH BARBWIRE SHALL USE BRACE BANDS AND BOLTS TO HOLD THE WIRE IN PLACE. ALUMINUM CANTILEVER GATES ARE AVAILABLE IN ALUMINUM ONLY AND CAN BE ORDERED AS MODULAR/KNOCK-DOWN GATES, IDEAL FOR TRANSPORTING TALL GATES. THESE COME READY TO ASSEMBLE WITH ALL HOLES PREDRILLED FOR 1/2" BOLTS, WHICH ARE SUPPLIED FOR ASSEMBLY.

GATE POSTS:

THE 4" POSTS ARE MADE OF GALVANIZED STEEL. PROVIDE 1 LATCH POST AND 2 SUPPORT POSTS FOR SINGLE SLIDE GATE AND 4 SUPPORT POSTS FOR DOUBLE SLIDE GATES.



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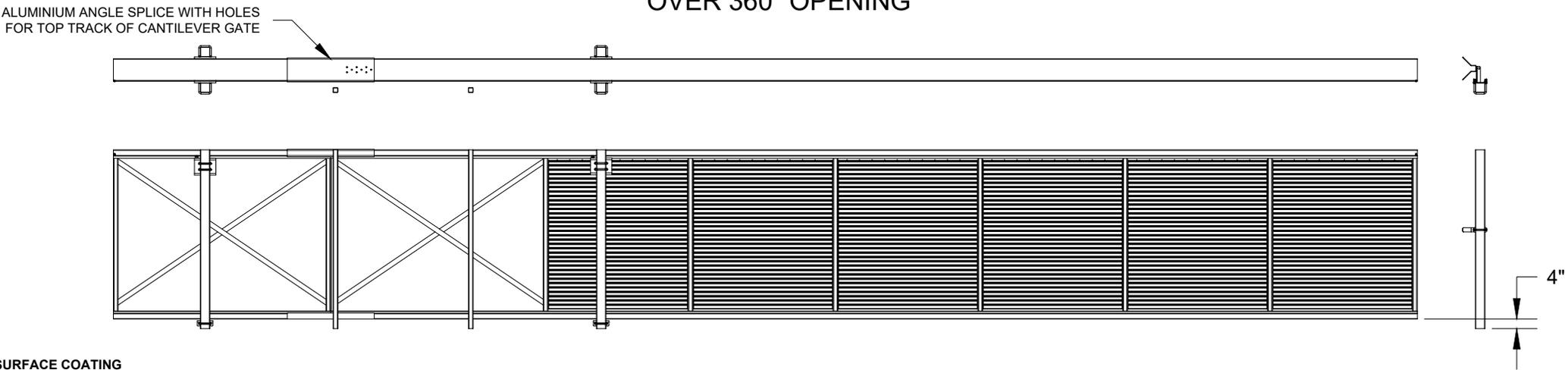
LF00-12

REVISION : 12/21

CANTILEVER DOUBLE SLIDE GATE OVER 8' HIGH



CANTILEVER SLIDE GATE OVER 360" OPENING



SURFACE COATING
 ALL GATES HAVE A PAINT PRIMER APPLIED TO THE FRAME. AFTERWARDS AN ACRYLIC SURFACE COATING (STANDARD BLACK OR ANY OPTIONAL COLOR) IS APPLIED IN ONE LAYER BY SPRAY PAINT PROCESS. POLYESTER COATING IS APPLIED BY AN ELECTROSTATIC METHOD AND AVAILABLE IN SEVERAL COLORS. FOR MORE INFORMATION, PLEASE REFER TO SPECIFICATIONS.



CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION MEMORANDUM

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission
DATE: July 30, 2024
APPLICANT: Neda Hosseiny; *Kimley-Horn and Associates, Inc.*
CASE NUMBER: SP2024-031; *Site Plan for a Heavy Manufacturing Facility for Ballard*

On July 9, 2024, the Planning and Zoning Commission approved a motion to table *Case No. SP2024-031* to the July 30, 2024 Planning and Zoning Commission meeting to allow the applicant to provide additional information about the proposed building materials. This motion was approved by a vote of 4-0, with Commissioners Deckard and Womble absent, and one (1) vacancy. At the July 9, 2024 Planning and Zoning Commission meeting, the Commissioners had concerns about the proposed building materials (*i.e. Insulated Metal Panel*) and requested the applicant provide additional information related to the quality, durability, and potential issues related to the product. Staff should note that the Architectural Review Board (ARB) provided a recommendation of approval of the building elevations, with the condition that a minimum of 20.00% stone be provided on the northern and southern building facades in addition to the western building façade, which currently conforms to the 20.00% stone requirement. The applicant has informed staff that they will *not* be conforming to the ARB recommendation, and will be bringing the building elevations forward as was originally submitted. If the Planning and Zoning Commission chooses to approve the applicant's *Site Plan for a Heavy Manufacturing Facility* on the *subject property*, then staff would propose the following conditions of approval:

- (1) All staff comments provided by the Planning, Engineering and Fire Department must be addressed prior to the submittal of engineering plans; and,
- (2) The applicant conform to the recommendation made by the Architectural Review Board (ARB); and,
- (3) The applicant shall provide staff with an updated landscape plan that provides a row of evergreen shrubs along the eastern property line adjacent to the utility equipment; and,
- (4) Any construction resulting from the approval of this *Site Plan* shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

Should the Planning and Zoning Commission have any questions concerning the applicant's request, staff and the applicant will be available at the July 30, 2024 Planning and Zoning Commission meeting.



CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION CASE MEMO

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission
DATE: July 9, 2024
APPLICANT: Neda Hosseiny; *Kimley-Horn and Associates, Inc.*
CASE NUMBER: SP2024-031; *Site Plan for Heavy Manufacturing Facility (Ballard)*

SUMMARY

Discuss and consider a request by Neda Hosseiny of Kimley-Horn and Associates, Inc. on behalf of Phil Wagner of the Rockwall Economic Development Corporation (REDC) for the approval of a *Site Plan for Heavy Manufacturing Facility (i.e. Ballard)* on a 32.00-acre portion of a larger 70.5969-acre parcel of land identified as Lot 1, Block B, Rockwall Technology Park, Phase V Addition, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, located at the southeast corner of the intersection of Data Drive and Discovery Boulevard, and take any action necessary.

BACKGROUND

The subject property was annexed by the City Council on June 15, 1998 by *Ordinance No. 98-20 [Case No. A1998-002]*. At the time of annexation, the subject property was zoned Agricultural (AG) District. On July 5, 2005, -- *at the request of the Rockwall Economic Development Corporation (REDC)* -- the City Council approved *Ordinance No. 05-29 [Case No. Z2005-021]*, which changed the zoning of the subject property from an Agricultural (AG) District to a Light Industrial (LI) District. Following this approval, the City Council approved a final plat (*Case No. P2021-062*) establishing the subject property as a portion of Lot 1, Block B, Rockwall Technology Park, Phase V on December 6, 2021. On December 4, 2023, the City Council approved a Specific Use Permit (SUP) [*Case No. Z2023-049; Ordinance No. 23-64*] to allow a *Heavy Manufacturing Facility* on the subject property. The subject property has remained vacant since annexation.

PURPOSE

On June 14, 2024, the applicant -- *Neda Hosseiny of Kimley-Horn and Associates, Inc.* -- submitted an application requesting the approval of a *Site Plan* for the purpose of constructing an ~174,128 SF *Heavy Manufacturing Facility* on the subject property.

ADJACENT LAND USES AND ACCESS

The subject property is located at the southeast corner of the intersection of Data Drive and Discovery Boulevard. The land uses adjacent to the subject property are as follows:

North: Directly north of the subject property is Discovery Boulevard, which is identified as a M4U (*i.e. major arterial, four [4] lane, divided roadway*) on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this is a 76.6881-acre parcel of land (*i.e. Lot 1, Block A, Rockwall Technology Park, Phase V Addition*), which is vacant and is zoned Light Industrial (LI) District. Beyond this are the corporate limits of the City of Rockwall followed by *Phase 1* of the Carrington Farms Subdivision, which is situated within the City of Fate. Also, north of this tract is a 6.4470-acre vacant tract of land (*i.e. Tract 3 of the J H B Jones Survey, Abstract No. 125*), which is zoned Light Industrial (LI) District and also owned by the Rockwall Economic Development Corporation (REDC).

South: Directly south of the subject property is Springer Road, which is identified as a M4U (*i.e. major arterial, four [4] lane, divided roadway*) on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. South of this roadway is the *Springer Water Tower*, which is owned by the City of Rockwall

and is zoned Light Industrial (LI) District. Beyond this is a 7.571-acre parcel of land (i.e. Lot 1, Block 1, Highway 276 Self Storage) that is developed with a Mini-Warehouse Facility (i.e. Highway 276 Self Storage) and is zoned Light Industrial (LI) District.

East: Directly east of the subject property is the remainder of Lot 1, Block B, Rockwall Technology Park, Phase V Addition (i.e. Tract 5, of the J H B Jones Survey, Abstract No. 125), which is zoned Light Industrial (LI) District. Beyond this is Rochell Road, which is classified as an A4D (i.e. major arterial, four [4] lane, divided roadway) on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. East of this is a 174.5990-acre vacant tract of land (i.e. Tract 1, of the M E Hawkins Survey, Abstract No. 100), which is zoned Planned Development District 78 (PD-78) for Single-Family 10 (SF-10) District and General Retail (GR) District land uses (i.e. Discovery Lakes Subdivision).

West: Directly west of the subject property is Data Drive, which is identified as a Minor Collector on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this is a 38.9320-acre parcel of land (i.e. Lot 2, Block B, Rockwall Technology Park, Phase III Addition) that is developed with a Light Manufacturing Facility (i.e. Bimbo Bakery). This property is zoned Light Industrial (LI) District. Following this is a 12.00-acre parcel of land (i.e. Lot 3, Block B, Rockwall Technology Park, Phase II Addition) that is developed with a Light Manufacturing Facility (i.e. RTT Engineered Solutions). This property is also zoned Light Industrial (LI) District. West of this is a 10.649-acre vacant parcel of land (i.e. Lot 1, Block B, Rockwall Technology Park Phase II Addition), which is zoned Light Industrial (LI) District. Beyond this is Corporate Crossing, which is identified as an A4D (i.e. major arterial, four [4] lane, divided roadway) on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

DENSITY AND DIMENSIONAL REQUIREMENTS

According to Section 01, Land Use Schedule, of Article 04, Permissible Uses, of the Unified Development Code (UDC), a Heavy Manufacturing Facility requires a Specific Use Permit (SUP) within the Light Industrial (LI) District. In this case, the applicant received approval of a Specific Use Permit (SUP) for the Heavy Manufacturing Facility from the City Council on December 4, 2023 [Case No. Z2023-049; Ordinance No. 23-64; S-320]. The submitted site plan, landscape plan, treescape plan, photometric plan, and building elevations generally conform to the technical requirements contained within the Unified Development Code (UDC) for a property located within a Light Industrial (LI) District with the exception of the items noted in the Variances and Exceptions Requested by the Applicant section of this case memo. A summary of the density and dimensional requirements for the subject property are as follows:

<i>Ordinance Provisions</i>	<i>Zoning District Standards</i>	<i>Conformance to the Standards</i>
<i>Minimum Lot Area</i>	12,500 SF	X=22.0-Acres; In Conformance
<i>Minimum Lot Frontage</i>	100-Feet	X= 521.91-feet; In Conformance
<i>Minimum Lot Depth</i>	125-Feet	X=521.91-feet; In Conformance
<i>Minimum Front Yard Setback</i>	25-Feet	X>25-feet; In Conformance
<i>Minimum Rear Yard Setback</i>	20-Feet	X>20-feet; In Conformance
<i>Minimum Side Yard Setback</i>	20-Feet	X>20-feet; In Conformance
<i>Maximum Building Height</i>	60-Feet	X=46-feet; In Conformance
<i>Max Building/Lot Coverage</i>	60%	X=25%; In Conformance
<i>Minimum Number of Parking Spaces</i>	Warehousing 1 Parking Space/1,000 SF Heavy Manufacturing 1 Parking Space/500 SF Office 1 Parking Space/300SF 328 Required Spaces	X=151; In Conformance
<i>Minimum Landscaping Percentage</i>	15%	X>27%; In Conformance
<i>Maximum Impervious Coverage</i>	90-95%	X=73%; In Conformance

TREESCAPE PLAN

The treescape plan provided by the applicant indicates that the development will result in the mitigation balance of 160.3 caliper inches. Based on the landscape plan provided by the applicant, 328 caliper inches are being planted on site, which satisfies the mitigation balance and no fee is required.

CONFORMANCE WITH THE CITY'S CODES

According to Article 13, *Definitions*, of the Unified Development Code (UDC), a *Heavy Manufacturing Facility* is defined as “(a) facility or area for generally mass-producing goods usually for sale to wholesalers or other industrial or manufacturing uses...” This definition goes on to state that “(a) heavy manufacturing use is one which employs the following or similar types of processes: ... [3] production of large durable goods such as but not limited to motorcycles, cars, manufactured homes, or airplanes ...” In this case, the proposed facility will be used for the production of hydrogen fuel cells and hydrogen fuel cell engines that are incorporated into busses, trains, trucks, boats, and heavy machinery. According to the *Permissible Use Charts* contained in Article 04, *Permissible Uses*, of the Unified Development Code (UDC), a *Heavy Manufacturing Facility* requires a Specific Use Permit (SUP) in a Light Industrial (LI) District, which the applicant received approval of a Specific Use Permit (SUP) for these uses from the City Council on December 4, 2023 [Case No. Z2023-049; Ordinance No. 23-64; S-320].

When reviewing the parking requirements, the Unified Development Code (UDC) breaks down the land uses for this site plan into the following, *Office* (i.e. one [1] parking space per 300 SF), *Heavy Manufacturing* (i.e. one [1] parking space per 500 SF), and *Warehousing* (i.e. one [1] parking space per 1,000 SF). Based on the floor plan provided by the applicant, a total of 328 parking spaces are required. With that being said, the parking for the *Heavy Manufacturing* land use land use may also be calculated at one (1) parking space per 0.75 employees. In this case, the applicant has indicated that 198 employees will be employed; therefore requiring 149 parking spaces (i.e. $198 \text{ employees} \times 0.75 \text{ parking spaces} = 149 \text{ parking spaces}$). The UDC more specifically states that either the square footage or the employee count may be used for a *Heavy Manufacturing Facility*, but the calculation that requires more parking must be used. In this case, the applicant is requesting to provide parking based on the employee count (i.e. 149 parking spaces) in lieu of by the square footage (i.e. 328 parking spaces). Staff should note that this has posed an issue in other industrial developments in the City (i.e. *as the business grows and adds employees the parking does not increase with this growth and creates issues*). To help alleviate this problem, staff requested that the applicant dedicate open space and provide a schematic demonstrating how the parking requirement could be met in the future; however, the applicant has chosen not to provide this information. In lieu of providing this information, the applicant has shown the future parking areas for the expansion of the site, and -- *when taking into account the future square footages of these expansion sites* -- the property will be well below the required parking count at buildout. Regardless of this, the applicant is requesting an exception to the parking requirements contained in the Unified Development Code (UDC), which is detailed in the *Variances and Exceptions Requested by the Applicant* section of this case memo.

The proposed site plan indicates that there will be two (2) silos (i.e. *nitrogen and hydrogen storage*) and a pad mounted utility equipment yard (i.e. *transformers and generator*). According to Subsection 01.05, *Screening Standards*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC), all equipment shall be screened from all rights-of-way and adjacent properties. In this case, the equipment will have visibility from Discovery Boulevard, Springer Road, and the adjacent property to the east. Based on the landscape plan provided by the applicant they are providing [1] a ten (10) foot decorative screening fence around the equipment, and [2] a row of canopy trees and evergreen shrubs just north of the equipment. The applicant has indicated that the transparent fencing is required for the equipment yard for security and safety purposes. The provided landscaping will screen the equipment from Discovery Boulevard; however, it will still have visibility from Springer Road and the adjacent property. Given this, staff included a condition of approval that the applicant provide a row of evergreen shrubs along the eastern property line adjacent to the equipment yard.

The proposed site plan generally conforms to the requirements of the *General Industrial District Standards* stipulated by Article 05, *District Development Standards*, of the Unified Development Code (UDC), with the exception of the variance(s) and exception(s) being requested as outlined in the *Variances and Exceptions Requested by the Applicant* section of this case memo.

VARIANCES AND EXCEPTIONS BY THE APPLICANT

As stated above, the applicant's request conforms to the majority of the City's codes; however, staff has identified the following variance(s) and exception(s):

- (1) *Architectural Standards.*

- (a) Materials and Masonry Materials. According to Subsection 05.01(A)(1), *Materials and Masonry Composition*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC), “(e)ach exterior wall of a building’s façade shall consist of a minimum of 90% Primary Materials and/or a maximum of 10% Secondary Materials -- *excluding doors and windows* -- ...” This section of the ordinance goes on to define a *Primary Material* as “...stone, brick, glass curtain wall, glass block, tile, and custom Concrete Masonry Units (CMU) (*i.e. CMU’s that have been sandblasted, burnished or that have a spilt face* -- *light weight block or smooth faced CMU shall be prohibited*).” In this case, the applicant is primarily using Insulated Metal Panel (IMP), which is not a permitted primary material. According to the building elevations IMP will be used in the following percentages: [1] 71% on the western building façade, [2] 93% on the northern building façade, [3] 100% on the eastern building façade, and [4] 98% on the southern building façade. Staff should note that this is not characteristic of any other building in the Rockwall Technology Park, and that all of the buildings are tilt wall construction or similar construction. This will require an exception from the Planning and Zoning Commission.
- (b) Stone. According to Subsection 05.01(A), *Materials and Masonry Composition*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC), “(a) minimum of 20% natural or quarried stone is required on all building façades...” In this case, the material sample board provided by the applicant show the use of a stone tile, which is not considered to be a natural or quarried stone. In addition, the building elevations show that the stone tile will be less than 20.00% on three (3) of the four (4) building facades (*i.e. 7.00% on the northern facade, 2.00% on the southern façade, and 0.00% on the eastern façade*). Based on this, the applicant will require an exception from the Planning and Zoning Commission.
- (c) Primary Articulation. According to Subsection 05.01(C)(1), *Primary Building Articulation*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC), “(a) primary building façade is any building facade that has a primary entryway for a business or that has an adjacency to a public right-of-way, open space/green space, public/private park, and/or a residential zoning district or residential used property.” In this case, the only façade that would be classified as a *Primary Building Façade* would be the western building façade. This section of the code goes on to state that these facades “...shall meet the standards for articulation on primary building facades as depicted in Figure 13.” In this case, the western building façade does not meet the articulation requirements for a *Primary Building Façade*, and will require an exception from the Planning and Zoning Commission.
- (d) Secondary Articulation. According to Subsection 05.01(C)(2), *Secondary Building Articulation*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC), “(a) secondary building façade is any building facade that does not have a primary entryway or an adjacency to a public right-of-way, open space/green space, public/private park, and/or a residential zoning district or residential used property.” In this case, the northern, southern and eastern building façades are classified as a *Secondary Building Façades*. This section of the code goes on to state that these facades “...shall meet the standards for articulation on secondary building facades as depicted in Figure 13.” In this case, these building façades do not meet the articulation requirements for *Secondary Building Façades*, and will require an exception from the Planning and Zoning Commission.
- (2) Screening. According to Subsection 01.05, *Screening Standards*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC), “(a)boveground storage tanks shall be screened utilizing walls matching the main structure. Screening plans for above ground storage tanks shall generally conform...” to Figure 4, *Aboveground Storage Tanks*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC). Figure 4 indicates that aboveground storage tanks shall be screened with a masonry wall to match the building and canopy trees on 20-foot centers. In this case, the applicant is providing a ten (10) foot decorative metal fence and a row of canopy trees and evergreen shrubs. This will require an exception from the Planning and Zoning Commission.
- (3) Parking. According to Table 05, *Parking Requirement Schedule*, of Article 06, *Parking and Loading*, of the Unified Development Code (UDC), the applicant is required to provide 328 parking spaces based on the square footage of each land use within the proposed *Heavy Manufacturing Facility*. In this case the applicant is requesting to provide parking based on the employee count, for a total of 151 parking spaces. As previously noted, staff has requested that an open space area with a future parking layout be provided showing how the parking could be met in the future; however, the applicant has failed to provide this information. This will require an exception from the Planning and Zoning Commission.

According to Subsection 09, *Exceptions and Variances*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC), an applicant may request the Planning and Zoning Commission grant variances and exceptions to the provisions contained in the Unified Development Code (UDC), where unique or extraordinary conditions exist or where strict adherence to the technical requirements of the Unified Development Code (UDC) would create an undue hardship. In this case, the applicant has stated that they are attempting to meet LEED Gold Certified; however, some of the variances don't appear to be justified by this rationale (*i.e. articulation, parking, screening, stone, etc.*). In addition, the code requires that the applicant provide compensatory measures that directly offset the requested variances and exceptions. At this time the applicant is proposing the following compensatory measures:

- (1) 29-foot landscape buffer along Data Drive,
- (2) +/- 35 landscape buffer against the building and future phases to the south,
- (3) improved hardscape entrance,
- (4) patio/plaza space,
- (5) EV charging stations,
- (6) increased vegetation screening north of silos,
- (7) LEED Gold Certified Building,
- (8) internalized roof access,
- (9) feature canopy on west elevation,
- (10) vertical solar shading devices on west elevation,
- (11) high performance curtain wall and glazing systems,
- (12) projecting mechanical screening to create visual interest, and
- (13) high performance and warranted coatings on the insulated metal panels for longevity and pleasing appearance.

In reviewing the proposed compensatory measures staff determined that, [1] items 1-5 and 7-8 are compensatory in nature, [2] item 6 is tied to the screening exception and does not currently meet the minimum requirements, is the reason they are requesting the exception, and therefore is not compensatory measure, [3] items 9, 10, and 12 are architectural elements that are required for all industrial buildings of this size and therefore are not compensatory measures, [4] item 11 does not appear to provide an offsetting measure for the requested exceptions, and [5] 13 is related to the use of a non-permitted building material (*i.e. IMP*) that is associated with an exception request. With that being said, requests for exceptions and variances to the *General Standards* and *Engineering Standards of Design and Construction* are discretionary decisions for the Planning and Zoning Commission. Staff should note that a supermajority vote (*e.g. six [6] out of the seven [7] commissioners*) -- with a minimum of four (4) votes in the affirmative -- is required for the approval of a variance or exception.

CONFORMANCE WITH OURHOMETOWN VISION 2040 COMPREHENSIVE PLAN

Based on the goals and policies outlined in Chapter 09, *Non-Residential*, of the OURHometown Vision 2040 Comprehensive Plan, the proposed site plan does not conform with this Chapter. More specifically, the site plan does not conform with Goal 03, *Visual Impacts*, Policies 3 & 4, and Goal 04, *Commercial Building Design*, Policies 1 & 2. Policies 3 & 4, of Goal 03, detail that "...outside storage and loading dock areas should be screened with berms, landscaping, and wrought iron fences..." and "(l)ong, blank wall facades on all nonresidential buildings should be subdivided with vertical breaks -- or "articulated" in architectural terms..." In this case, the applicant is requesting exceptions (*detailed in Variances and Exceptions Requested by the Applicant section of the case memo*) related to the outside storage screening and articulation requirements within the Unified Development Code (UDC). Policies 1 & 2, of Goal 4, indicate that "(n)on-residential buildings should be constructed of masonry materials and contain a minimum of 20% stone on every façade..." and "(n)on-residential buildings should be architecturally finished on all four (4) sides with the same materials, detailing and features." Again, the applicant is requesting an exception related to the material requirements (*detailed in Variances and Exceptions Requested by the Applicant section of the case memo*) within the UDC. All that being said, the proposed site plan appears to conform to Chapter 01, *Land Use and Growth Management*, District Strategy 1, and Chapter 06, *Economic Development*, Goal 07, *Workforce*, of the OURHometown Visions 2040 Comprehensive Plan. More specifically, District Strategy 1 indicates that Technology/Employment Center land uses "...should be designated for larger clean industrial businesses that can help diversify the City's tax base..." In this case, the applicant is proposing a *Heavy Manufacturing Facility* that specializes in the construction of hydrogen fuel cells and hydrogen fuel cell engines. This type of business is characterized as a clean industrial business, and should further diversify the City's tax base by adding another industrial land use that involves a high initial investment in the community. In addition, this type of business can "(d)velop, maintain and recruit a highly skilled workforce...", which directly satisfies Goal 07, of Chapter 06. In summary, the proposed *Heavy Manufacturing Facility* conforms to the clean industrial land use and skilled

workforce policies, but does not meet many of the non-residential design guidelines associated with the building design as outlined within the OURHometown Vision 2040 Comprehensive Plan.

ARCHITECTURAL REVIEW BOARD (ARB) RECOMMENDATION

On June 25, 2024, the Architectural Review Board (ARB) reviewed the proposed building elevations. The ARB made the recommendation to reduce the amount of insulated metal panel on the building and utilize more traditional building materials (*i.e. tilt wall*). The applicant has chosen not to change the building elevations to meet ARB's recommendation. The ARB will review the revised building elevations at the July 9, 2024 Planning and Zoning Commission meeting.

CONDITIONS OF APPROVAL

If the Planning and Zoning Commission chooses to approve the applicant's Site Plan for the construction of an ~174,128 SF *Heavy Manufacturing Facility* on the *subject property*, then staff would propose the following conditions of approval:

- (1) All staff comments provided by the Planning, Engineering and Fire Department must be addressed prior to the submittal of engineering plans; and,
- (2) The applicant shall provide staff with an updated landscape plan that provides a row of evergreen shrubs along the eastern property line adjacent to the utility equipment; and,
- (3) Any construction resulting from the approval of this Site Plan shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. _____

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- REPLAT (\$300.00 + \$20.00 ACRE) ¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ^{1 & 2}
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) ²

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
²: A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS	Northeast corner of Data Drive and Springer Road			
SUBDIVISION	Rockwall Technology Park Phase V	LOT	Part of 1	BLOCK B
GENERAL LOCATION	Northeast corner of Data Drive and Springer Road			

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING	Light Industrial - SUP No. S-320	CURRENT USE	Undeveloped
PROPOSED ZONING	No Change	PROPOSED USE	Heavy Manufacturing
ACREAGE	22	LOTS [CURRENT]	Part of Larger Lot
		LOTS [PROPOSED]	1 New Lot

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

<input type="checkbox"/> OWNER	Rockwall EDC	<input checked="" type="checkbox"/> APPLICANT	Kimley-Horn and Associates, Inc.
CONTACT PERSON	Phil Wagner	CONTACT PERSON	Neda Hosseiny
ADDRESS	2610 Observation Suite 104	ADDRESS	13455 Noel Road, Two Galleria Office Tower Suite 700
CITY, STATE & ZIP	Rockwall, Texas 75032	CITY, STATE & ZIP	Dallas, Texas 75240
PHONE	972.772.0025	PHONE	972.770.1300
E-MAIL	pwagner@rockwalledc.com	E-MAIL	neda.hosseiny@kimley-horn.com

NOTARY VERIFICATION [REQUIRED]

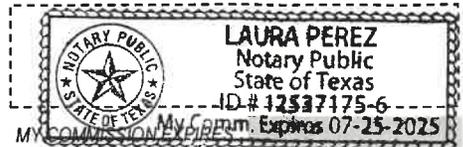
BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Phil Wagner [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 740.00 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 14th DAY OF June, 2024. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 14th DAY OF June, 2024.

OWNER'S SIGNATURE

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS



0 80 160 320 480 640 Feet

SP2024-031: Site Plan for Ballard Facility



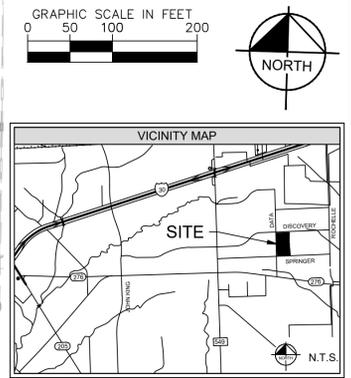
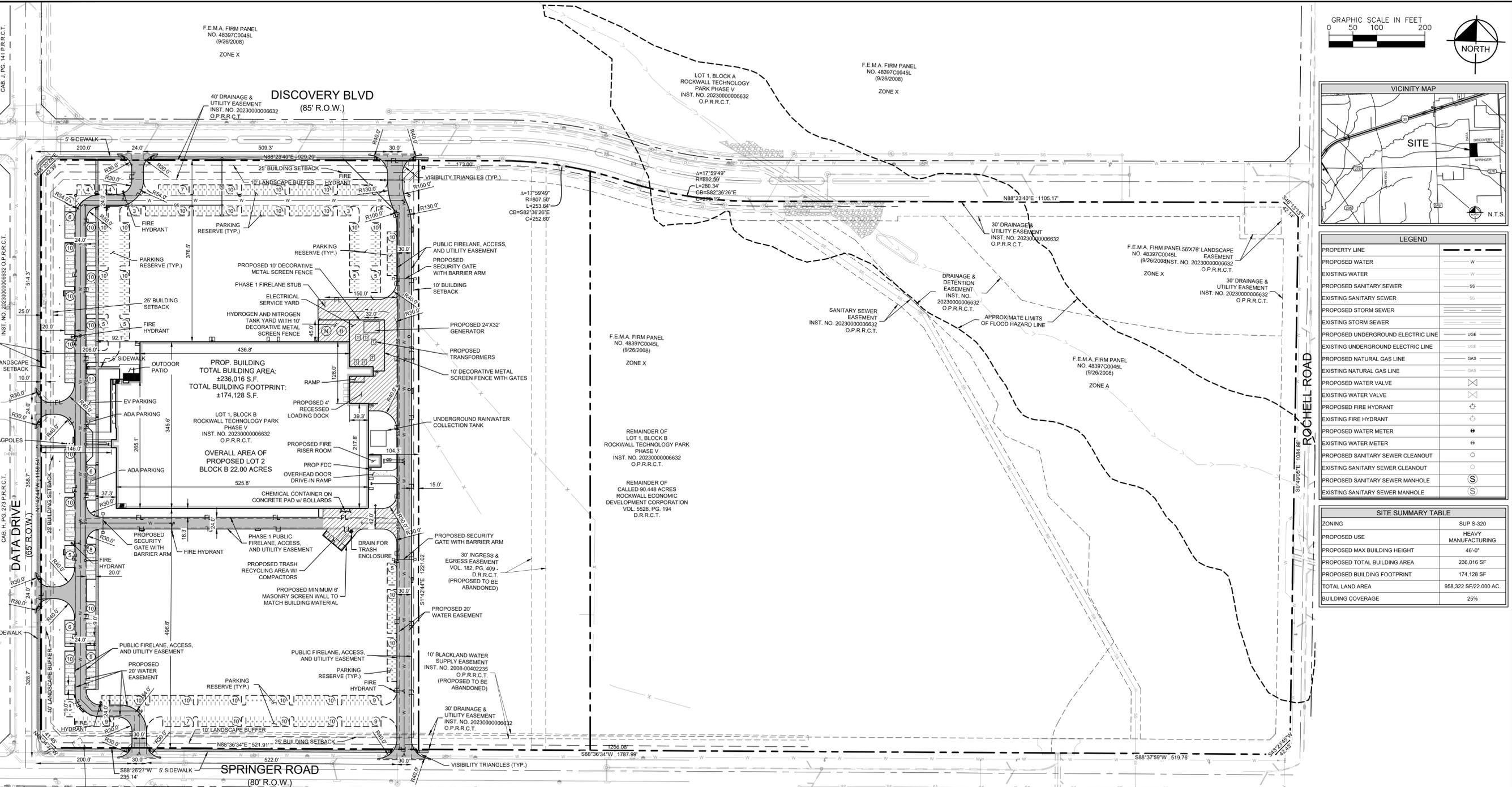
City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



Plotted By: Schwartz, Peyton Date: July 02, 2024 02:22:35pm File Path: K:\VADAL\Civil\06657058-Project Saturn\Cad\PlanSheets\SITE PLAN-Phase 1.dwg
 This document, together with the concepts and designs presented herein, is intended for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.

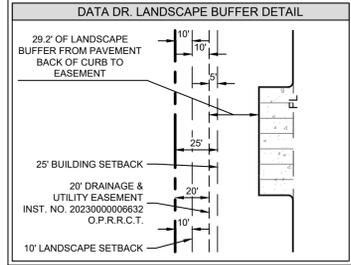
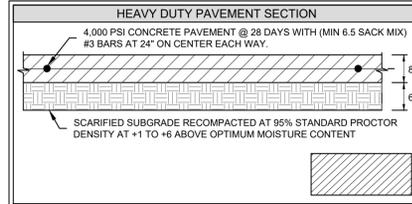
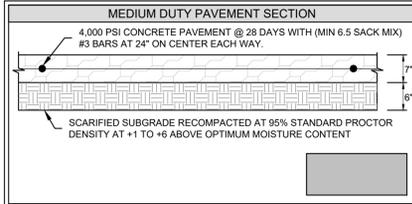
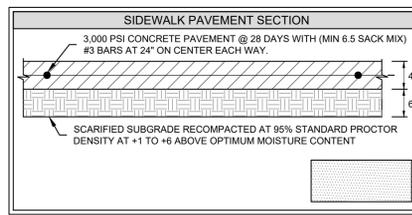
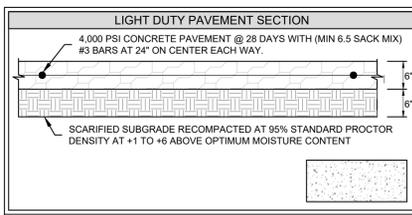


LEGEND

PROPERTY LINE	---
PROPOSED WATER	W
EXISTING WATER	W
PROPOSED SANITARY SEWER	SS
EXISTING SANITARY SEWER	SS
PROPOSED STORM SEWER	---
EXISTING STORM SEWER	---
PROPOSED UNDERGROUND ELECTRIC LINE	UG-E
EXISTING UNDERGROUND ELECTRIC LINE	UG-E
PROPOSED NATURAL GAS LINE	GAS
EXISTING NATURAL GAS LINE	GAS
PROPOSED WATER VALVE	⊗
EXISTING WATER VALVE	⊗
PROPOSED FIRE HYDRANT	⊕
EXISTING FIRE HYDRANT	⊕
PROPOSED WATER METER	⊙
EXISTING WATER METER	⊙
PROPOSED SANITARY SEWER CLEANOUT	○
EXISTING SANITARY SEWER CLEANOUT	○
PROPOSED SANITARY SEWER MANHOLE	⊙
EXISTING SANITARY SEWER MANHOLE	⊙

SITE SUMMARY TABLE

ZONING	SUP S-320
PROPOSED USE	HEAVY MANUFACTURING
PROPOSED MAX BUILDING HEIGHT	46'-0"
PROPOSED TOTAL BUILDING AREA	236,016 SF
PROPOSED BUILDING FOOTPRINT	174,128 SF
TOTAL LAND AREA	958,322 SF/22.000 AC.
BUILDING COVERAGE	25%



PARKING DATA TABLE

PARKING RATIO	1 SPACE PER 0.75 EMPLOYEES 1 SPACE PER 500 SF
PHASE 1 EMPLOYEE COUNT (TOTAL)	198
PHASE 1 REQUIRED PARKING	149 TOTAL SPACES (PER EMPLOYEE RATIO)* 144 STANDARD SPACES 5 ADA SPACES
PHASE 1 PROVIDED PARKING	151 TOTAL SPACES 135 STANDARD SPACES 10 EV SPACES 6 ADA SPACES
FUTURE PROVIDED PARKING	333 STANDARD SPACES

*NOTE: PER BUILDING SQUARE FOOTAGE A TOTAL OF 472 SPACES ARE REQUIRED. PLEASE REFER TO PARKING VARIANCE LETTER FOR ADDITIONAL INFORMATION

NOTES

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SITE PLAN SIGNATURE BLOCK

APPROVED:
I HEREBY CERTIFY THAT THE ABOVE FOREGOING SITE PLAN FOR DEVELOPEMENT IN THE CITY OF ROCKWALL, TEXAS WAS APPROVED BY THE PLANNING AND ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE ____ DAY OF ____.

WITNESS OUR HANDS, THIS ____ DAY OF ____.

PLANNING & ZONING COMMISSION, CHAIRMAN DIRECTOR OF PLANNING AND ZONING

**SITE PLAN
ROCKWALL TECHNOLOGY
PARK PHASE V
PART OF LOT 2, BLOCK B**

TOTAL ACREAGE: 22.000 ACRES
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS
CITY PROJECT NO. SP2024-031
SUBMITTED JULY 2, 2024

ENGINEER / SURVEYOR / APPLICANT:
KIMLEY-HORN & ASSOCIATES, INC.
13455 NOEL ROAD
TWO GALLERIA OFFICE TOWER, SUITE 700
DALLAS, TEXAS 75240
PH (972) 770-1300
CONTACT: NEDA HOSSEINY, P.E.

DEVELOPER:
ROCKWALL ECONOMIC
DEVELOPMENT CORPORATION
2610 OBSERVATION TRAIL, SUITE 104
ROCKWALL, TX. 75032
PH. (541) 797-0521
CONTACT: PHIL WAGNER

Kimley-Horn
13455 NOEL ROAD, TWO GALLERIA OFFICE TOWER, SUITE 700, DALLAS, TX 75240
PHONE: 972-770-1300 FAX: 972-239-3820
WWW.KIMLEY-HORN.COM TX F-528 INC.
© 2024 KIMLEY-HORN AND ASSOCIATES, INC.

PRELIMINARY
FOR REVIEW ONLY NOT FOR CONSTRUCTION OR PERMIT PURPOSES.

Kimley-Horn
Engineer: NEDA M. HOSSEINY
P.E. No. 126707
Date: 07/02/2024

KHA PROJECT	06867058	SCALE	AS SHOWN	DATE	07/02/2024
DESIGNED BY	TAD	DRAWN BY	AKA	CHECKED BY	NMH

PROJECT SATURN
CITY OF ROCKWALL
ROCKWALL COUNTY, TEXAS

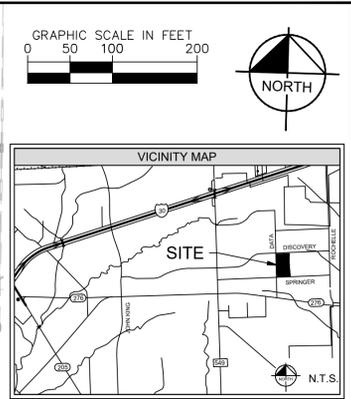
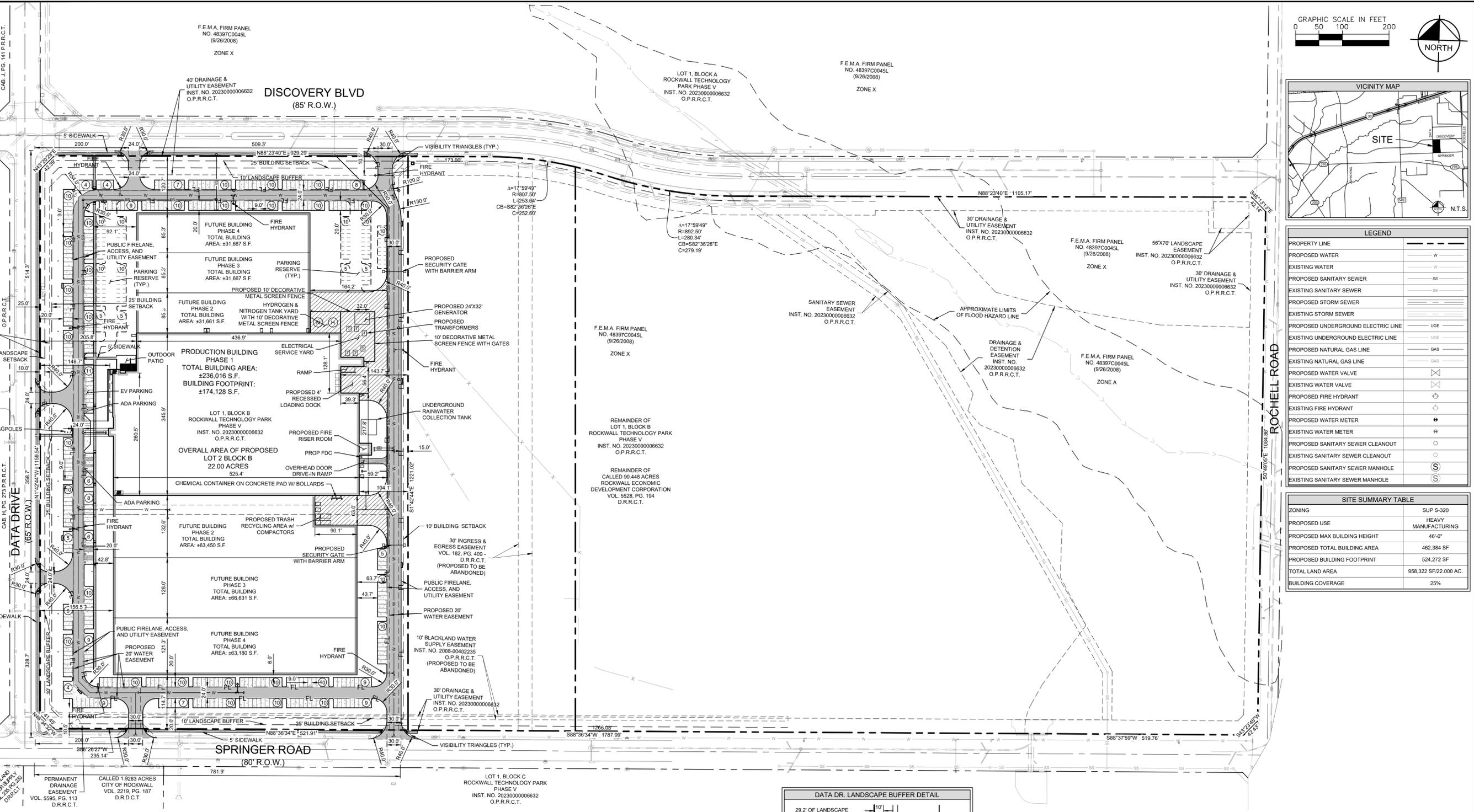
**SITE PLAN
PHASE 1**

REVISIONS: [Table with columns for No., Description, Date, By]

DATE: [] BY: []

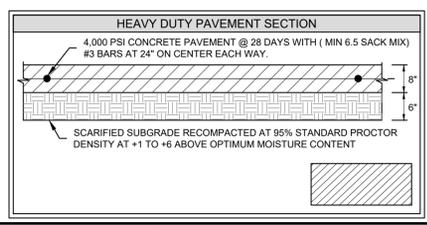
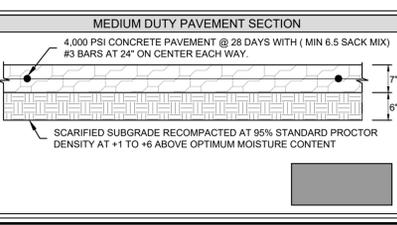
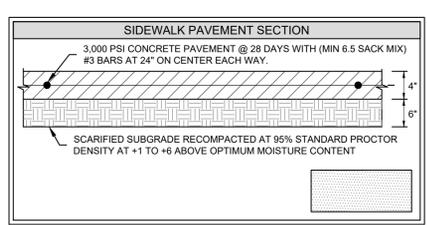
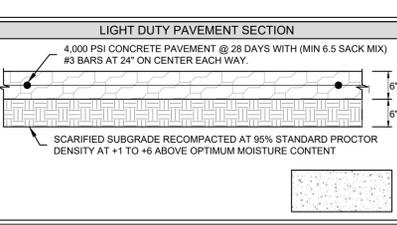
CHEE NUMBER: **C-003**

Plotted By: Schwartz, Payton Date: July 02, 2024 02:20:09pm File Path: K:\DAL\Civil\06657055-Project Saturn\Cad\PlanSheets\SITE PLAN-Full Build Out.dwg
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 LOT 1, BLOCK A ROCKWALL TECHNOLOGY PARK PHASE V INST. NO. 2023000006632 O.P.R.R.C.T. CAB. 3 PG. 141 P.R.C.T.
 LOT 1, BLOCK B ROCKWALL TECHNOLOGY PARK PHASE V INST. NO. 2023000006632 O.P.R.R.C.T. CAB. 3 PG. 141 P.R.C.T.
 LOT 2, BLOCK B ROCKWALL TECHNOLOGY PARK PHASE V INST. NO. 2023000006632 O.P.R.R.C.T. CAB. 3 PG. 141 P.R.C.T.
 LOT 1, BLOCK C ROCKWALL TECHNOLOGY PARK PHASE V INST. NO. 2023000006632 O.P.R.R.C.T. CAB. 3 PG. 141 P.R.C.T.
 ROCKWALL, TEXAS 75087



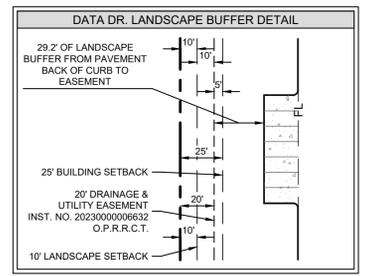
LEGEND	
PROPERTY LINE	---
PROPOSED WATER	W
EXISTING WATER	W
PROPOSED SANITARY SEWER	SS
EXISTING SANITARY SEWER	SS
PROPOSED STORM SEWER	SS
EXISTING STORM SEWER	SS
PROPOSED UNDERGROUND ELECTRIC LINE	UG-E
EXISTING UNDERGROUND ELECTRIC LINE	UG-E
PROPOSED NATURAL GAS LINE	GAS
EXISTING NATURAL GAS LINE	GAS
PROPOSED WATER VALVE	⊗
EXISTING WATER VALVE	⊗
PROPOSED FIRE HYDRANT	⊕
EXISTING FIRE HYDRANT	⊕
PROPOSED WATER METER	⊙
EXISTING WATER METER	⊙
PROPOSED SANITARY SEWER CLEANOUT	○
EXISTING SANITARY SEWER CLEANOUT	○
PROPOSED SANITARY SEWER MANHOLE	⊙
EXISTING SANITARY SEWER MANHOLE	⊙

SITE SUMMARY TABLE	
ZONING	SUP S-320
PROPOSED USE	HEAVY MANUFACTURING
PROPOSED MAX BUILDING HEIGHT	46'-0"
PROPOSED TOTAL BUILDING AREA	462,384 SF
PROPOSED BUILDING FOOTPRINT	524,272 SF
TOTAL LAND AREA	958,322 SF/22.000 AC.
BUILDING COVERAGE	25%



PARKING DATA TABLE	
PARKING RATIO	1 SPACE PER 0.75 EMPLOYEES 1 SPACE PER 500 SF
PHASE 1 EMPLOYEE COUNT (TOTAL)	198
PHASE 2, 3 AND 4 EMPLOYEE COUNT (TOTAL)	540
PHASE 1 REQUIRED PARKING	149 TOTAL SPACES (PER EMPLOYEE RATIO)* 144 STANDARD SPACES 5 ADA SPACES
PHASE 2, 3 AND 4 REQUIRED PARKING	405 TOTAL SPACES (PER EMPLOYEE RATIO)* 396 STANDARD SPACES 9 ADA SPACES
PHASE 1 PROVIDED PARKING	151 TOTAL SPACES SPACES 135 STANDARD SPACES 10 EV SPACES 6 ADA SPACES
PHASE 2, 3 AND 4 PROVIDED PARKING	416 TOTAL SPACES SPACES 397 STANDARD SPACES 10 EV SPACES 9 ADA SPACES

*NOTE: PER BUILDING SQUARE FOOTAGE FOR PHASE 1 - A TOTAL OF 472 SPACES ARE REQUIRED. PLEASE REFER TO PARKING VARIANCE LETTER FOR ADDITIONAL INFORMATION



NOTES
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SITE PLAN SIGNATURE BLOCK

APPROVED:
 I HEREBY CERTIFY THAT THE ABOVE FOREGOING SITE PLAN FOR DEVELOPEMENT IN THE CITY, OF ROCKWALL, TEXAS WAS APPROVED BY THE PLANNING AND ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE ___ DAY OF ___, ___.

WITNESS OUR HANDS, THIS ___ DAY OF ___, ___.

PLANNING & ZONING COMMISSION, CHAIRMAN DIRECTOR OF PLANNING AND ZONING

**SITE PLAN EXHIBIT
 ROCKWALL TECHNOLOGY
 PARK PHASE V
 PART OF LOT 2, BLOCK B**

TOTAL ACREAGE: 22.000 ACRES
 CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS
 CITY PROJECT NO. SP2024-031
 SUBMITTED JULY 2, 2024

ENGINEER / SURVEYOR / APPLICANT:
 KIMLEY-HORN & ASSOCIATES, INC.
 13455 NOEL ROAD
 TWO GALLERIA OFFICE TOWER, SUITE
 700
 DALLAS, TEXAS 75240
 PH (972) 770-1300
 CONTACT: NEDA HOSSEINY, P.E.

DEVELOPER:
 ROCKWALL ECONOMIC
 DEVELOPMENT CORPORATION
 2610 OBSERVATION TRAIL, SUITE 104
 ROCKWALL, TX 75032
 PH (972) 772-0025
 CONTACT: PHIL WAGNER

Kimley-Horn
 13455 NOEL ROAD, TWO GALLERIA OFFICE TOWER, SUITE 700, DALLAS, TX 75240
 PHONE: 972-770-1300 FAX: 972-239-3820
 WWW.KIMLEY-HORN.COM TX F-928
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PRELIMINARY
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 Engineer: NEDA M. HOSSEINY
 P.E. No. 126707
 Date: 07/02/2024

PROJECT SATURN
 CITY OF ROCKWALL
 ROCKWALL COUNTY, TEXAS

SITE PLAN PHASE 2, 3, AND 4

NO.	REVISIONS	DATE	BY

KHA PROJECT: 06687058
 DATE: 07/02/2024
 SCALE: AS SHOWN
 DESIGNED BY: TAD
 DRAWN BY: ANA
 CHECKED BY: NWH

ENGINEER NUMBER: C-004

CONSULTANT INFORMATION

REGISTRATION SEAL

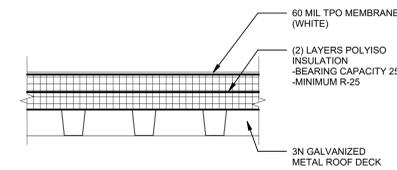
NOT FOR CONSTRUCTION

PROJECT #	2400033
PROJECT MANAGER	B. JILBERT
DESIGNED BY	J. TESTA
DRAWN BY	J. JACKSON
QUALITY CHECK	R. BARRY
SHEET TITLE	

**ARCHITECTURAL PLAN
ROOF COMPOSITE**

AE1-R1-00
SHEET NUMBER

ROOF ABBREVIATIONS	
ABBREVIATION	DESCRIPTION
ASH	AIR SUPPLY HOUSE
DS	DOWNSPOUT
EF	EXHAUST FAN
EFP	EXHAUST FAN PROCESS
EJ	EXPANSION JOINT
HP	HIGH POINT
LP	LOW POINT
ORD	OVERFLOW ROOF DRAIN
RD	ROOF DRAIN
SRD	SIPHONIC ROOF DRAIN



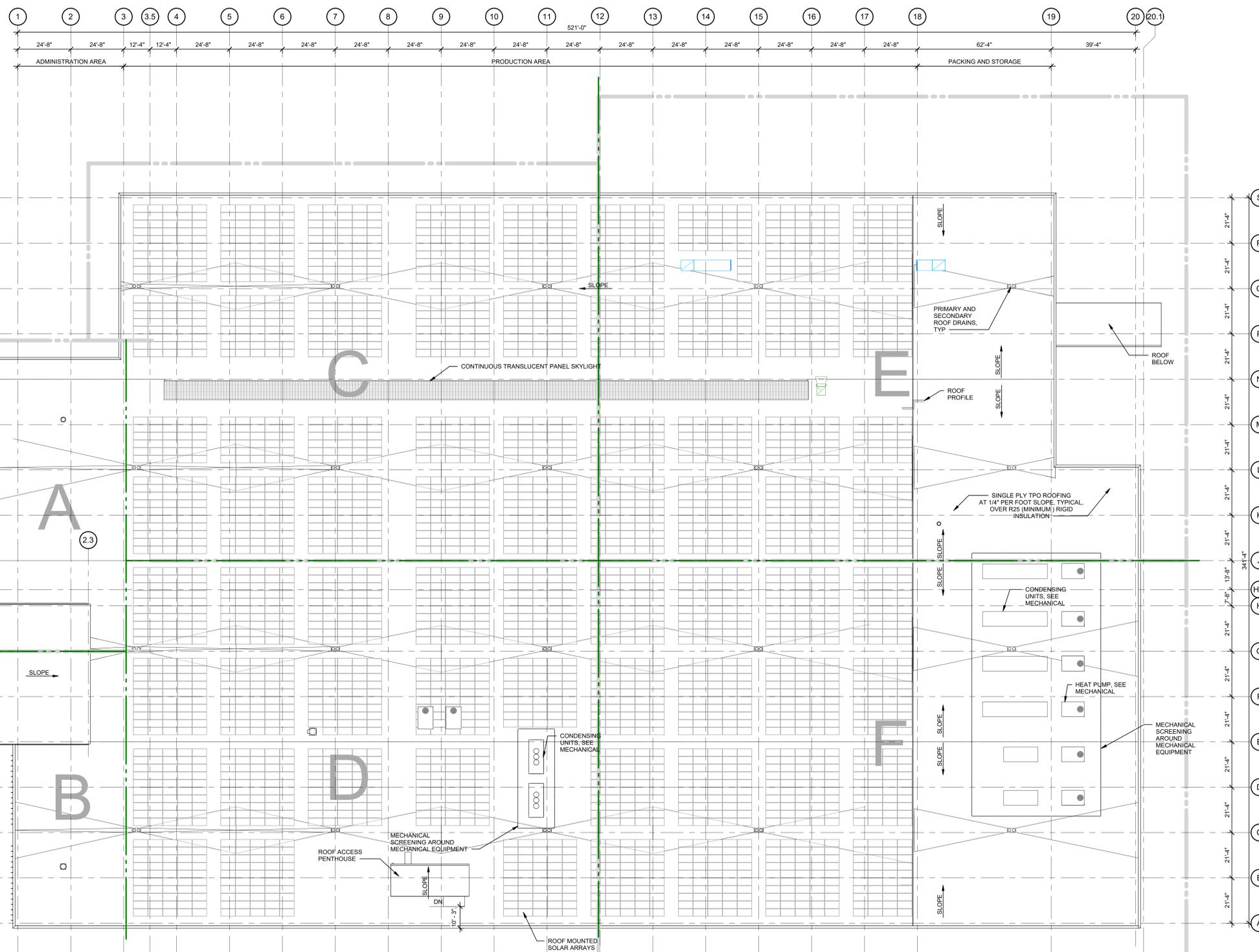
TYPICAL ROOFING DETAIL

SCALE: 1 1/2" = 1'-0"

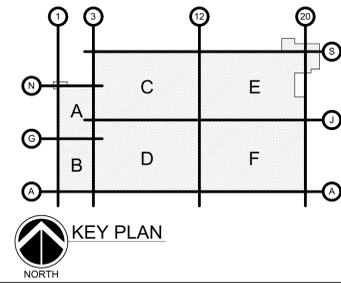
ROOF PLAN GENERAL NOTES

1. ROOF WALKWAY PADS TO BE PROVIDED TO EACH AHU, EF, AND ROOF ACCESS STAIRS

DISCLAIMER: THIS DRAWING IS TO BE PRINTED IN COLOR. IF THIS TEXT DOES NOT APPEAR IN COLOR, ANY USE OF THIS DRAWING IS AT THE SOLE RISK AND LIABILITY OF THE USER WHO RETAINS THE RESPONSIBILITY OF MEETING THE PROJECT REQUIREMENTS.



ARCHITECTURAL COMPOSITE ROOF PLAN
SCALE: 3/64" = 1'-0"
NORTH



Plotted By: Harman, Anne Date: July 03, 2024 12:46:42pm File Path: K:\MKM_LAI\Projects\086671058 - Project Saturn\CAD\Sheets\DWG\1.01_LANDSCAPE NOTES AND SITE CALCULATIONS.dwg
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PLANTING NOTES:

- LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION OF ALL UNDERGROUND UTILITIES, PIPES, STRUCTURES, AND LINE RUNS IN THE FIELD PRIOR TO THE INSTALLATION OF ANY PLANT MATERIAL.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO ADVISE THE LANDSCAPE ARCHITECT OF ANY CONDITION FOUND ON THE SITE WHICH PROHIBITS INSTALLATION AS SHOWN ON THESE DRAWINGS.
- ALL PLANT MATERIAL SHALL BE MAINTAINED IN A HEALTHY AND GROWING CONDITION AND MUST BE REPLACED WITH PLANT MATERIAL OF SAME VARIETY AND SIZE IF DAMAGED, DESTROYED, OR REMOVED.
- LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR FINE GRADING AND REMOVAL OF DEBRIS PRIOR TO PLANTING IN ALL AREAS.
- FINAL FINISH GRADING SHALL BE REVIEWED BY THE LANDSCAPE ARCHITECT. LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY ADDITIONAL TOPSOIL REQUIRED TO CREATE A SMOOTH CONDITION PRIOR TO PLANTING.
- ALL PLANT QUANTITIES LISTED ARE FOR INFORMATION ONLY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO PROVIDE FULL COVERAGE IN ALL PLANTING AREAS AS SPECIFIED IN THE PLANT SCHEDULE AND VERIFY ALL QUANTITIES.
- LANDSCAPE CONTRACTOR TO PROVIDE STEEL EDGING (REFER TO MATERIALS PAGE) BETWEEN ALL PLANTING BEDS AND LAWN AREAS.
- ALL PLANT MATERIAL SHALL CONFORM TO THE SPECIFICATIONS AND SIZES GIVEN IN THE PLANT LIST AND SHALL BE NURSERY GROWN IN ACCORDANCE WITH THE AMERICAN STANDARD FOR NURSERY STOCK, LATEST EDITION AMERICAN ASSOCIATION OF NURSERYMEN STANDARDS. ANY PLANT SUBSTITUTION SHALL BE APPROVED BY LANDSCAPE ARCHITECT PRIOR TO PURCHASE.
- LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR ANY COORDINATION WITH OTHER CONTRACTORS ON SITE AS REQUIRED TO ACCOMPLISH ALL PLANTING OPERATIONS.
- ALL NEW PLANTING AREAS TO BE AMENDED PER SPECIFICATIONS.
- ANY PLANT MATERIAL THAT DOES NOT SURVIVE SHALL BE REPLACED WITH AN EQUIVALENT SIZE AND SPECIES WITHIN THIRTY (30) DAYS.
- PLANT MATERIAL SHALL BE PRUNED AS NECESSARY TO CONTROL SIZE BUT NOT TO DISRUPT THE NATURAL GROWTH PATTERN OR CHARACTERISTIC FORM OF THE PLANT EXCEPT AS NECESSARY TO ACHIEVE HEIGHT CLEARANCE FOR VISIBILITY AND PEDESTRIAN PASSAGE OR TO ACHIEVE A CONTINUOUS OPAQUE HEDGE IF REQUIRED.
- LANDSCAPED AREAS SHALL BE KEPT FREE OF TRASH, WEEDS, DEBRIS, AND DEAD PLANT MATERIAL.
- ALL LIVE STABILIZED SOIL & INORGANIC SELECT FILL FOR BUILDING SHOULD BE REMOVED FROM PLANTING AREAS TO A DEPTH OF 24" & REPLACED WITH ORGANIC IMPORTED TOPSOIL FILL.
- TREES OVERHANGING PEDESTRIAN WALKWAYS AND PARKING SHALL HAVE A 7' MINIMUM CLEAR TRUNK HEIGHT TO MEET ACCESSIBILITY STANDARDS. TREES OVERHANGING PUBLIC STREETS, DRIVE AISLES, AND FIRE LANES SHALL HAVE A 14' MINIMUM CLEAR TRUNK HEIGHT.
- CONTRACTOR TO PROVIDE 18 MONTH WARRANTY AFTER ALL CONSTRUCTION IS COMPLETE.
- ALL AREAS DISTURBED BY CONSTRUCTION ACTIVITY (NOT ALREADY INCLUDED IN PLANTING PLANS) TO BE FINE GRADED, AND PLANTED WITH PLANTED WITH PLANTS OR SOD TO MATCH EXISTING CONDITIONS.

IRRIGATION NOTES:

- AN UNDERGROUND AUTOMATIC IRRIGATION SYSTEM SHALL BE PROVIDED FOR ALL PLANTING AREAS. OVER SPRAY ON STREETS AND WALKS IS PROHIBITED.
- IRRIGATION SYSTEMS SHALL BE MAINTAINED AND REPLACED AS NECESSARY.
- ALL PLANTING AREAS TO BE FULLY IRRIGATED.
- IRRIGATION SYSTEM TO HAVE A FULLY AUTOMATED CONTROL SYSTEM.
- IRRIGATION SYSTEM TO HAVE RAIN AND FREEZE SENSORS.
- ANY EXISTING PLANTING DAMAGED DURING CONSTRUCTION IS TO BE REPLACED AT NO COST TO THE OWNER.
- IRRIGATION SYSTEM TO BE DESIGNED BY A QUALIFIED PROFESSIONAL AND INSTALLED BY A LICENSED IRRIGATOR.

NOTE: AN IRRIGATION PLAN SHALL BE PREPARED IN ACCORDANCE WITH THE CITY OF ROCKWALL IRRIGATION REQUIREMENTS

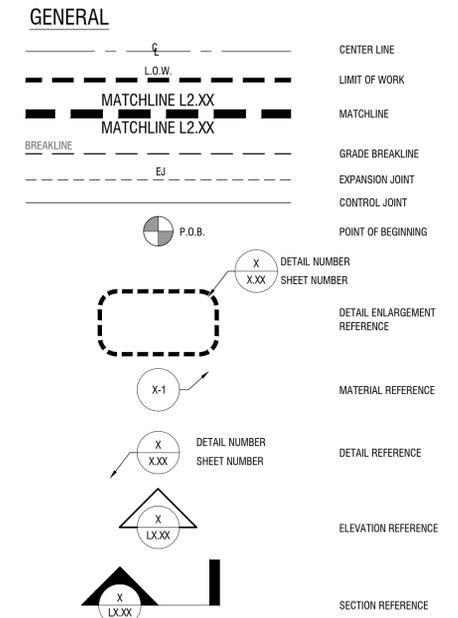
TREE PROTECTION NOTES:

- ALL TREES WHICH ARE TO REMAIN ON SITE SHALL BE PROTECTED WITH A (4) TALL BRIGHTLY COLORED PLASTIC FENCE, OR SILT FENCE, PLACED AT THE DRIP LINE OF THE TREES.
- PRIOR TO THE PRE-CONSTRUCTION MEETING OR OBTAINING A GRADING PERMIT, ALL TREE MARKINGS AND PROTECTIVE FENCING SHALL BE INSTALLED BY THE OWNER AND SHALL BE INSPECTED BY THE DEVELOPMENT SERVICES LANDSCAPE ARCHITECT.
- NO EQUIPMENT SHALL BE CLEARED, OR HARMFUL LIQUIDS DEPOSITED WITHIN THE LIMITS OF THE ROOT ZONE OF TREES WHICH REMAIN ON SITE.
- NO SIGNS, WIRES, OR OTHER ATTACHMENTS SHALL BE ATTACHED TO ANY TREE TO REMAIN ON SITE.
- VEHICULAR AND CONSTRUCTION EQUIPMENT SHALL NOT PARK OR DRIVE WITHIN THE LIMITS OF THE DRIP LINE.
- GRADE CHANGES IN EXCESS OF 3 INCHES (CUT OR FILL) SHALL NOT BE ALLOWED WITHIN A ROOT ZONE, UNLESS ADEQUATE TREE PRESERVATION METHODS ARE APPROVED BY THE CITY.
- NO TRENCHING SHALL BE ALLOWED WITHIN THE DRIP-LINE OF A TREE, UNLESS APPROVED BY THE CITY.
- ALL REMOVED TREES SHALL BE CHIPPED AND USED FOR MULCH ON SITE OR HAULED OFF-SITE.
- ALL TREE MAINTENANCE TECHNIQUES SHALL BE IN CONFORMANCE WITH AMERICAN NATIONAL STANDARDS FOR TREE CARE OPERATIONS, ANSI A300 INDUSTRY IDENTIFIED STANDARDS. IMPROPER OR MALICIOUS PRUNING TECHNIQUES ARE STRICTLY PROHIBITED.

LANDSCAPE CALCULATIONS CHART:

Project Saturn - Rockwall, TX Code Calculations Chart			
Site Data	AC	SF	
Total Site Area	22.00	958,318	
Impervious Site Area		350,946	
Site Landscape Area	Required (% / SF)	Provided (% / SF)	
15% of site to be landscaped	15%	27%	
	143,748	254,749	
Street Frontage	Required	Provided	
<i>Discovery Boulevard (777.82 LF)</i>			
1 Canopy Tree/ 50 LF	16	16	
1 Accent Tree/ 50LF	16	16	
Continuous row of shrubs and berming (min. 36" ht.)	YES	YES	
<i>Data Drive (1201.46 LF)</i>			
1 Canopy Tree/ 50 LF	24	24	
1 Accent Tree/ 50LF	24	24	
Continuous row of shrubs and berming (min. 36" ht.)	YES	YES	
<i>Springer Road (777.48 LF)</i>			
1 Canopy Tree/ 50LF	16	16	
1 Accent Tree/ 50LF	16	16	
Continuous row of shrubs and berming (min. 36" ht.)	YES	YES	
Parking Lot	Required	Provided	
1 Large Canopy Tree/ 10 parking spaces	#REF!	16	
One tree within 80' of each parking space	YES	YES	
Headlight Screening (min. 2' ht. berm with evergreen shrubs)	YES	YES	
Detention Basin Screening	Required	Provided	
1 native shrub or grass per 750 sf of pond	N/A	N/A	
<i>*No detention basins on site</i>			

SYMBOLS LEGEND:



PLANTING SCHEDULE:

SYMBOL	COMMON / BOTANICAL NAME	CONT.	SIZE	SPACING	QTY	REMARKS
TREES						
	Bald Cypress / Taxodium distichum	4" cal	12'-14' ht		17	B&B, NURSERY GROWN, MATCHED, FULL, WELL-BRANCHED, STRONG CENTRAL LEADER
	Cedar Elm / Ulmus crassifolia	4" cal	12'-14' ht		20	B&B, NURSERY GROWN, MATCHED, FULL, WELL-BRANCHED, STRONG CENTRAL LEADER
	Eastern Redcedar / Juniperus virginiana	4" cal	12'-14' ht		7	B&B, NURSERY GROWN, MATCHED, FULL, WELL-BRANCHED, STRONG CENTRAL LEADER, 7' CLEAR AT SIDEWALKS
	Live Oak / Quercus virginiana	4" cal	12'-14' ht		18	B&B, NURSERY GROWN, MATCHED, FULL, WELL-BRANCHED, STRONG CENTRAL LEADER
	Texas Red Oak / Quercus buckleyi	4" cal	12'-14' ht		25	B&B, NURSERY GROWN, MATCHED, FULL, WELL-BRANCHED, STRONG CENTRAL LEADER
FLOWERING TREES						
	Mexican Buckeye / Ungnadia speciosa	45 gal	8'-10' ht		18	CONTAINER, NURSERY GROWN, MATCHED, FULL, WELL-BRANCHED, MULTI-TRUNK (3 MIN.), TREE FORM
	Possumhaw Holly / Ilex decidua	45 Gal.	7'-8'		16	CONTAINER, NURSERY GROWN, MATCHED, FULL, WELL-BRANCHED, MULTI-TRUNK (3 MIN.), TREE FORM
	Yaupon Holly / Ilex vomitoria	45 Gal.	8'-10'		20	CONTAINER, NURSERY GROWN, MATCHED, FULL, WELL-BRANCHED, MULTI-TRUNK (3 MIN.), TREE FORM
SHRUBS						
	Blue Grama / Bouteloua gracilis 'Blonde Ambition'	3 gal	18" h X 18" w	24" OC	115	CONTAINER, NURSERY GROWN, MATCHED AND WELL ROOTED
	Emerald Snow Loropetalum / Loropetalum chinense 'Emerald Snow'	5 gal	18" h x 24" w	36" OC	258	CONTAINER, NURSERY GROWN, MATCHED AND WELL ROOTED
	Glossy Abelia / Abelia x grandiflora	5 gal	24" h x 18" w	36" OC	223	CONTAINER, NURSERY GROWN, MATCHED AND WELL ROOTED
	Green Cloud Texas Ranger / Leucophyllum frutescens 'Green Cloud' TM	5 gal	24" h x 24" w	36" OC	209	CONTAINER, NURSERY GROWN, MATCHED AND WELL ROOTED
	Nellie Stevens Holly / Ilex x 'Nellie R Stevens'	15 gal	5' h X 2' w	60" OC	28	CONTAINER, NURSERY GROWN, MATCHED AND WELL ROOTED
	Red Yucca / Hesperaloe parviflora	5 gal	18" h X 18" w	24" OC	53	CONTAINER, NURSERY GROWN, MATCHED AND WELL ROOTED
	Whale's Tongue Agave / Agave ovatifolia 'Frosty Blue'	5 gal	18" h X 18" w	IN POTS	24	CONTAINER, NURSERY GROWN, MATCHED AND WELL ROOTED
SYMBOL	COMMON / BOTANICAL NAME	CONT.	SIZE	SPACING	QTY	REMARKS
GROUND COVERS						
	Latitude 36 Bermuda Grass / Cynodon dactylon	sod			229,507 sf	REFER TO SPECIFICATIONS

NOTE: PLANT QUANTITIES ARE PROVIDED FOR CONVENIENCE ONLY. IN THE CASE OF A DISCREPANCY, THE DRAWING SHALL TAKE PRECEDENCE.

NOTE: PLANTS ARE SPECIFIED BY HEIGHT, SPREAD, AND CONTAINER SIZE. ALL PLANTINGS ARE EXPECTED TO MEET ALL SPECIFICATIONS PROVIDED.

TREE MITIGATION:

Tree Inches Being Removed	Tree Inches	Mitigation Inches
Total tree inches being removed - Primary - 1:1	0	0
Total tree inches being removed - Secondary - 0.5:1	307.3	160.3
Total tree inches being removed - Feature - 2:1	0	0.0
Total tree inches being removed	307.3	160.3
Mitigation Inches		160.3
Proposed Tree Inches Per Planting Plan		328
NET TOTAL		-167.7

PROJECT SATURN - TREE MITIGATION CHART				
COMMON NAME	SCIENTIFIC NAME	QTY	CAL.	MITIGATION
Bald Cypress	Taxodium distichum	17	4	68
Cedar Elm	Ulmus crassifolia	20	4	80
Eastern Red Cedar	Juniperus virginiana	2	4	8
Live Oak	Quercus virginiana	18	4	72
Texas Red Oak	Quercus buckleyi	25	4	100
TOTAL MITIGATION REQUIRED:				160.3
TOTAL MITIGATION PROVIDED:				328.0
TOTAL MITIGATION OUTSTANDING:				0.0

SITE DATA TABLE:

SITE SUMMARY TABLE	
ZONING	LIGHT INDUSTRIAL
PROPOSED USE	HEAVY MANUFACTURING
PROPOSED MAX BUILDING HEIGHT	46'-0"
PROPOSED TOTAL BUILDING AREA	236,016 SF
PROPOSED BUILDING FOOTPRINT	174,128 SF
TOTAL LAND AREA	958,322 SF/22,000 AC.
BUILDING COVERAGE	25%

PARKING DATA TABLE	
PARKING RATIO	1 SPACE PER 0.75 EMPLOYEES
PHASE 1 EMPLOYEE COUNT (PER SHIFT)	198
ULTIMATE EMPLOYEE COUNT (PER SHIFT)	540
PHASE 1 REQUIRED PARKING	149 TOTAL SPACES 144 STANDARD SPACES 5 ADA SPACES
ULTIMATE REQUIRED PARKING	405 TOTAL SPACES 396 STANDARD SPACES 9 ADA SPACES
PHASE 1 PROVIDED PARKING	149 TOTAL SPACES SPACES 133 STANDARD SPACES 10 EV SPACES 6 ADA SPACES
ULTIMATE PROVIDED PARKING	405 TOTAL SPACES SPACES 386 STANDARD SPACES 10 EV SPACES 9 ADA SPACES

SITE PLAN SIGNATURE BLOCK

APPROVED:
I HEREBY CERTIFY THAT THE ABOVE FOREGOING SITE PLAN FOR DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS WAS APPROVED BY THE PLANNING AND ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE ___ DAY OF ___, ___.
WITNESS OUR HANDS, THIS ___ DAY OF ___, ___.
PLANNING & ZONING COMMISSION, CHAIRMAN
DIRECTOR OF PLANNING AND ZONING

SITE PLAN
ROCKWALL TECHNOLOGY
PARK PHASE V
PART OF LOT 2, BLOCK B

TOTAL ACREAGE: 22.000 ACRES
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS
CITY PROJECT NO. SP2024-031
SUBMITTED JULY 2, 2024

LANDSCAPE ARCHITECT:
KIMLEY-HORN & ASSOCIATES, INC.
13455 NOEL ROAD
DALLAS, TEXAS 75240
PH (469) 301-2599
CONTACT: PAUL FREELAND, P.L.A.

DEVELOPER:
ROCKWALL ECONOMIC
DEVELOPMENT COUNCIL
2610 OBSERVATION TRAIL, SUITE 104
ROCKWALL, TX 75032
PH. (972) 772-0025
CONTACT: PHIL WAGNER

OWNER:
BALLARD US INC.
2495 NE 4TH STREET
BEND, OR 97701
PH. (XXX) XXX-XXXX
CONTACT: LEE SWEETLAND

REVISIONS
No. DATE BY

KIMLEY-HORN
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Kimley-Horn
P.L.A. Paul D. Freeland
L.A. No. 2458 Date: 07/02/2024

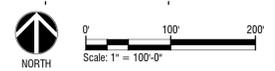
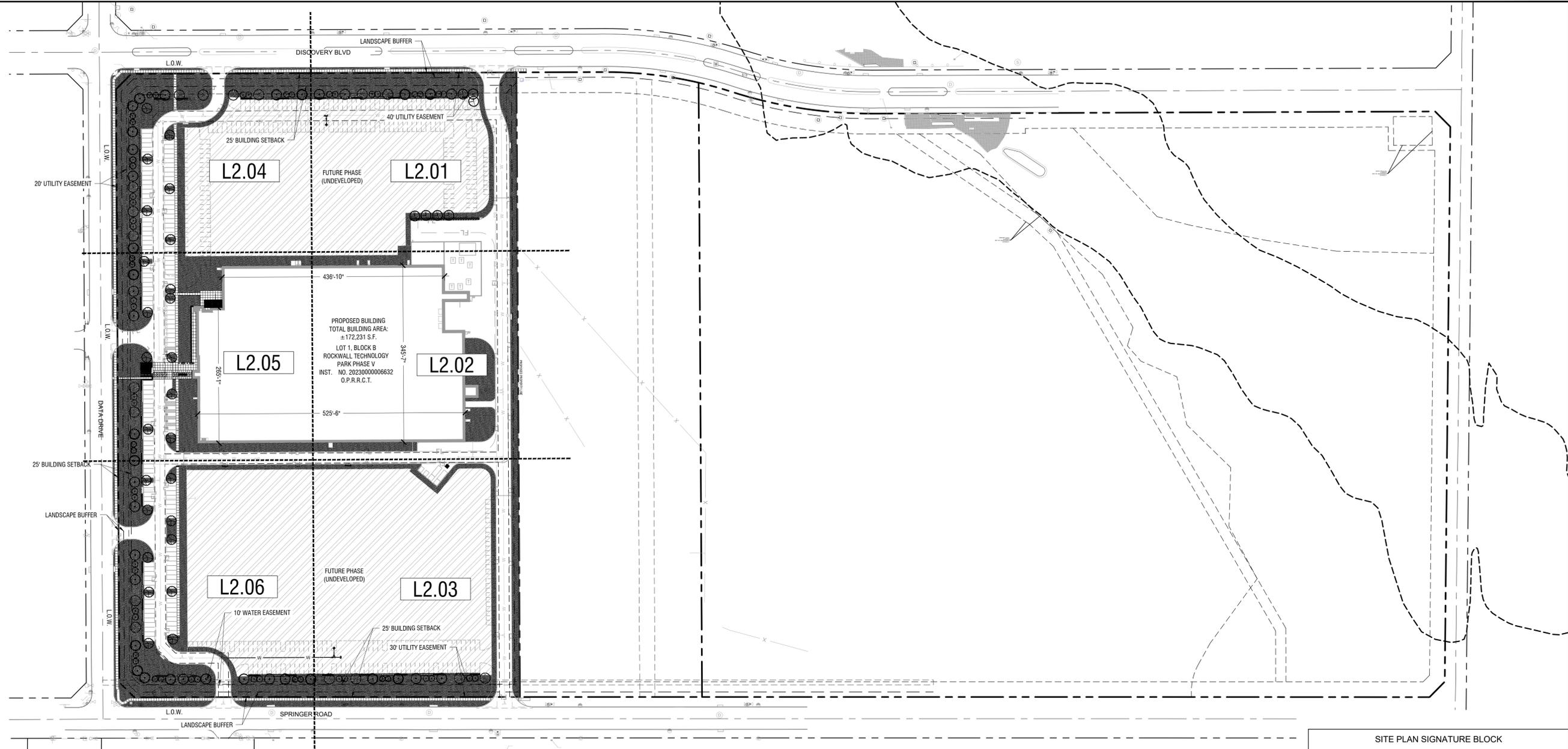
PROJECT SATURN
CITY OF ROCKWALL
ROCKWALL COUNTY, TEXAS

LANDSCAPE NOTES AND SITE
CALCULATIONS
SHEET NUMBER
L1.01

KHA PROJECT
086671058
DATE
JULY 2024
SCALE
AS SHOWN
DESIGNED BY
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DRAWN BY
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KIMLEY-HORN & ASSOCIATES, INC.
13455 NOEL ROAD, TWO GALLERIA OFFICE TOWER
SUITE 700, DALLAS, TX 75240
PHONE: 972-770-1300 FAX: 972-239-9820
WWW.KIMLEY-HORN.COM TX F-928
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Plotted By: Horn, Anne Date: July 03, 2024 12:46:50pm File Path: K:\MKM-LA\LA\Projects\086671058 - project saturn\CAD\Sheets\DWG\LA\01 LANDSCAPE NOTES AND SITE CALCULATIONS.dwg
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Overall Landscape Plan
Scale: 1" = 100'-0"

PLANTING NOTES:

- LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION OF ALL UNDERGROUND UTILITIES, PIPES, STRUCTURES, AND LINE RUNS IN THE FIELD PRIOR TO THE INSTALLATION OF ANY PLANT MATERIAL.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO ADVISE THE LANDSCAPE ARCHITECT OF ANY CONDITION FOUND ON THE SITE WHICH PROHIBITS INSTALLATION AS SHOWN ON THESE DRAWINGS.
- ALL PLANT MATERIAL SHALL BE MAINTAINED IN A HEALTHY AND GROWING CONDITION AND MUST BE REPLACED WITH PLANT MATERIAL OF SAME VARIETY AND SIZE IF DAMAGED, DESTROYED, OR REMOVED.
- LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR FINE GRADING AND REMOVAL OF DEBRIS PRIOR TO PLANTING IN ALL AREAS.
- FINAL FINISH GRADING SHALL BE REVIEWED BY THE LANDSCAPE ARCHITECT. LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY ADDITIONAL TOPSOIL REQUIRED TO CREATE A SMOOTH CONDITION PRIOR TO PLANTING.
- ALL PLANT QUANTITIES LISTED ARE FOR INFORMATION ONLY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO PROVIDE FULL COVERAGE IN ALL PLANTING AREAS AS SPECIFIED IN THE PLANT SCHEDULE AND VERIFY ALL QUANTITIES.
- LANDSCAPE CONTRACTOR TO PROVIDE STEEL EDGING (REFER TO MATERIALS PAGE) BETWEEN ALL PLANTING BEDS AND LAWN AREAS.
- ALL PLANT MATERIAL SHALL CONFORM TO THE SPECIFICATIONS AND SIZES GIVEN IN THE PLANT LIST AND SHALL BE NURSERY GROWN IN ACCORDANCE WITH THE AMERICAN STANDARD FOR NURSERY STOCK, LATEST EDITION AMERICAN ASSOCIATION OF NURSERYMEN STANDARDS. ANY PLANT SUBSTITUTION SHALL BE APPROVED BY LANDSCAPE ARCHITECT PRIOR TO PURCHASE.
- LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR ANY COORDINATION WITH OTHER CONTRACTORS ON SITE AS REQUIRED TO ACCOMPLISH ALL PLANTING OPERATIONS.
- ALL NEW PLANTING AREAS TO BE AMENDED PER SPECIFICATIONS.
- ANY PLANT MATERIAL THAT DOES NOT SURVIVE SHALL BE REPLACED WITH AN EQUIVALENT SIZE AND SPECIES WITHIN THIRTY (30) DAYS.
- PLANT MATERIAL SHALL BE PRUNED AS NECESSARY TO CONTROL SIZE BUT NOT TO DISRUPT THE NATURAL GROWTH PATTERN OR CHARACTERISTIC FORM OF THE PLANT EXCEPT AS NECESSARY TO ACHIEVE HEIGHT CLEARANCE FOR VISIBILITY AND PEDESTRIAN PASSAGE OR TO ACHIEVE A CONTINUOUS OPAQUE HEDGE IF REQUIRED.
- LANDSCAPED AREAS SHALL BE KEPT FREE OF TRASH, WEEDS, DEBRIS, AND DEAD PLANT MATERIAL.
- ALL LIME STABILIZED SOIL & INORGANIC SELECT FILL FOR BUILDING SHOULD BE REMOVED FROM PLANTING AREAS TO A DEPTH OF 24" & REPLACED WITH ORGANIC IMPORTED TOPSOIL FILL.
- TREES OVERHANGING PEDESTRIAN WALKWAYS AND PARKING SHALL HAVE A 7' MINIMUM CLEAR TRUNK HEIGHT TO MEET ACCESSIBILITY STANDARDS. TREES OVERHANGING PUBLIC STREETS, DRIVE AISLES, AND FIRE LANES SHALL HAVE A 14' MINIMUM CLEAR TRUNK HEIGHT.
- CONTRACTOR TO PROVIDE 18 MONTH WARRANTY AFTER ALL CONSTRUCTION IS COMPLETE.
- ALL AREAS DISTURBED BY CONSTRUCTION ACTIVITY (NOT ALREADY INCLUDED IN PLANTING PLANS) TO BE FINE GRADED, AND PLANTED WITH PLANTS OR SOD TO MATCH EXISTING CONDITIONS.

IRRIGATION NOTES:

- AN UNDERGROUND AUTOMATIC IRRIGATION SYSTEM SHALL BE PROVIDED FOR ALL PLANTING AREAS. OVER SPRAY ON STREETS AND WALKS IS PROHIBITED.
- IRRIGATION SYSTEMS SHALL BE MAINTAINED AND REPLACED AS NECESSARY.
- ALL PLANTING AREAS TO BE FULLY IRRIGATED.
- IRRIGATION SYSTEM TO HAVE A FULLY AUTOMATED CONTROL SYSTEM.
- IRRIGATION SYSTEM TO HAVE RAIN AND FREEZE SENSORS.
- ANY EXISTING PLANTING DAMAGED DURING CONSTRUCTION IS TO BE REPLACED AT NO COST TO THE OWNER.
- IRRIGATION SYSTEM TO BE DESIGNED BY A QUALIFIED PROFESSIONAL AND INSTALLED BY A LICENSED IRRIGATOR.

TREE PROTECTION NOTES:

- ALL TREES WHICH ARE TO REMAIN ON SITE SHALL BE PROTECTED WITH A (4) TALL BRIGHTLY COLORED PLASTIC FENCE, OR SILT FENCE, PLACED AT THE DRIP LINE OF THE TREES.
- PRIOR TO THE PRE-CONSTRUCTION MEETING OR OBTAINING A GRADING PERMIT, ALL TREE MARKINGS AND PROTECTIVE FENCING SHALL BE INSTALLED BY THE OWNER AND SHALL BE INSPECTED BY THE DEVELOPMENT SERVICES LANDSCAPE ARCHITECT.
- NO EQUIPMENT SHALL BE CLEARED, OR HARMFUL LIQUIDS DEPOSITED WITHIN THE LIMITS OF THE ROOT ZONE OF TREES WHICH REMAIN ON SITE.
- NO SIGNS, WIRES, OR OTHER ATTACHMENTS SHALL BE ATTACHED TO ANY TREE TO REMAIN ON SITE.
- VEHICULAR AND CONSTRUCTION EQUIPMENT SHALL NOT PARK OR DRIVE WITHIN THE LIMITS OF THE DRIP LINE.
- GRADE CHANGES IN EXCESS OF 3 INCHES (CUT OR FILL) SHALL NOT BE ALLOWED WITHIN A ROOT ZONE, UNLESS ADEQUATE TREE PRESERVATION METHODS ARE APPROVED BY THE CITY.
- NO TRENCHING SHALL BE ALLOWED WITHIN THE DRIP-LINE OF A TREE, UNLESS APPROVED BY THE CITY.
- ALL REMOVED TREES SHALL BE CHIPPED AND USED FOR MULCH ON SITE OR HAULED OFF-SITE.
- ALL TREE MAINTENANCE TECHNIQUES SHALL BE IN CONFORMANCE WITH AMERICAN NATIONAL STANDARDS FOR TREE CARE OPERATIONS, ANSI A300 INDUSTRY IDENTIFIED STANDARDS. IMPROPER OR MALICIOUS PRUNING TECHNIQUES ARE STRICTLY PROHIBITED.

NOTE: AN IRRIGATION PLAN SHALL BE PREPARED IN ACCORDANCE WITH THE CITY OF ROCKWALL IRRIGATION REQUIREMENTS

NOTE: ALL RIGHTS-OF-WAY TO BE SODDED PRIOR TO ENGINEERING ACCEPTANCE AND CO.

NOTE: PROPOSED LANDSCAPING, INCLUDING SHRUBS AND TREES, TO BE OUTSIDE OF UTILITY EASEMENTS. BERMS CAN BE LOCATED IN EASEMENT BUT OUTSIDE OF UTILITY LINE ITSELF.

SITE PLAN SIGNATURE BLOCK

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WITNESS OUR HANDS, THIS ___ DAY OF ___, 2024.

PLANNING & ZONING COMMISSION, CHAIRMAN

DIRECTOR OF PLANNING AND ZONING

**SITE PLAN
ROCKWALL TECHNOLOGY
PARK PHASE V
PART OF LOT 2, BLOCK B**

TOTAL ACREAGE: 22.000 ACRES
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS
CITY PROJECT NO. SP2024-031
SUBMITTED JULY 2, 2024

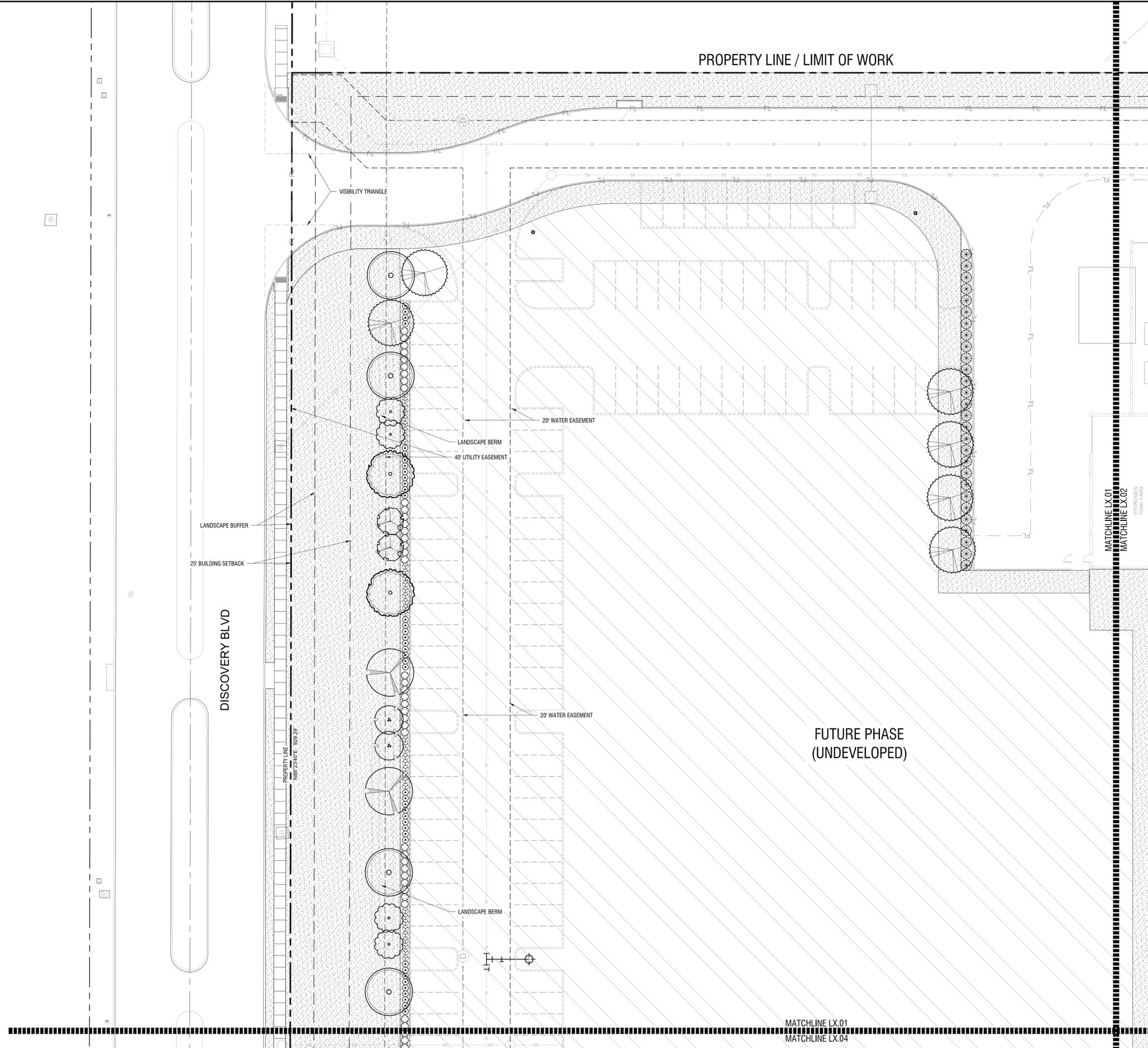
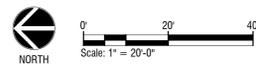
LANDSCAPE ARCHITECT:
KIMLEY-HORN & ASSOCIATES, INC.
13455 NOEL ROAD
TWO GALLERIA OFFICE TOWER, SUITE 700
DALLAS, TEXAS 75240
PH (469) 301-2599
CONTACT: PAUL FREELAND, P.L.A.

OWNER:
BALLARD US INC.
2495 NE 4TH STREET
BEND, OR 97701
PH. (XXX) XXX-XXXX
CONTACT: LEE SWEETLAND

DEVELOPER:
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2610 OBSERVATION TRAIL, SUITE 104
ROCKWALL, TX 75032
PH. (972) 772-0025
CONTACT: PHIL WAGNER

 13455 NOEL ROAD, TWO GALLERIA OFFICE TOWER SUITE 700, DALLAS, TX 75240 PHONE: 972-770-1300 FAX: 972-239-9820 WWW.KIMLEY-HORN.COM TX F-928 INC. © 2024 KIMLEY-HORN AND ASSOCIATES, INC.	<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 50%; text-align: center;"> FOR REVIEW ONLY Not for construction or permit purposes Kimley-Horn Paul D. Freeland P.L.A. No. 2458 Date: 07/02/2024 </td> <td style="width: 50%; text-align: center;"> <table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 25%;">KHA PROJECT</td> <td style="width: 25%;">DATE</td> <td style="width: 25%;">SCALE</td> <td style="width: 25%;">DESIGNED BY</td> </tr> <tr> <td>086671058</td> <td>JULY 2024</td> <td>AS SHOWN</td> <td>PDF</td> </tr> <tr> <td></td> <td></td> <td></td> <td>NUP</td> </tr> <tr> <td></td> <td></td> <td></td> <td>PDF</td> </tr> </table> </td> </tr> </table>	 FOR REVIEW ONLY Not for construction or permit purposes Kimley-Horn Paul D. Freeland P.L.A. No. 2458 Date: 07/02/2024	<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 25%;">KHA PROJECT</td> <td style="width: 25%;">DATE</td> <td style="width: 25%;">SCALE</td> <td style="width: 25%;">DESIGNED BY</td> </tr> <tr> <td>086671058</td> <td>JULY 2024</td> <td>AS SHOWN</td> <td>PDF</td> </tr> <tr> <td></td> <td></td> <td></td> <td>NUP</td> </tr> <tr> <td></td> <td></td> <td></td> <td>PDF</td> </tr> </table>	KHA PROJECT	DATE	SCALE	DESIGNED BY	086671058	JULY 2024	AS SHOWN	PDF				NUP				PDF
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PROJECT SATURN CITY OF ROCKWALL ROCKWALL COUNTY, TEXAS	OVERALL LANDSCAPE PLAN																		
SHEET NUMBER L1.02	<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 50%;">REVISIONS</td> <td style="width: 50%;">DATE</td> </tr> <tr> <td style="height: 20px;"> </td> <td> </td> </tr> </table>	REVISIONS	DATE																
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Plotted By: Harman, Anne Date: July 03, 2024 12:48:26pm File Path: K:\MKN_LAIP\Projects\086671058 - project saturn\CAD\Sheets\DWG\L2.01 LANDSCAPE PLAN.dwg
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PLANT SCHEDULE

SYMBOL COMMON / BOTANICAL NAME

TREES

- Bald Cypress / Taxodium distichum
- Cedar Elm / Ulmus crassifolia
- Eastern Redcedar / Juniperus virginiana
- Live Oak / Quercus virginiana
- Texas Red Oak / Quercus buckleyi

FLOWERING TREES

- Mexican Buckeye / Ungnadia speciosa
- Possumhaw Holly / Ilex decidua
- Yaupon Holly / Ilex vomitoria

SHRUBS

- Blue Grama / Bouteloua gracilis 'Blonde Ambition'
- Emerald Snow Loropetalum / Loropetalum chinense 'Emerald Snow'
- Glossy Abelia / Abelia x grandiflora
- Green Cloud Texas Ranger / Leucophyllum frutescens 'Green Cloud' TM
- Nellie Stevens Holly / Ilex x 'Nellie R Stevens'
- Red Yucca / Hesperaloe parviflora
- Whale's Tongue Agave / Agave ovatifolia 'Frosty Blue'

SYMBOL COMMON / BOTANICAL NAME

GROUND COVERS

- Latitude 36 Bermuda Grass / Cynodon dactylon

NOTE: PROPOSED LANDSCAPING, INCLUDING SHRUBS AND TREES, TO BE OUTSIDE OF UTILITY EASEMENTS. BERMS CAN BE LOCATED IN EASEMENT BUT OUTSIDE OF UTILITY LINE ITSELF.

Landscape Plan

Scale: 1" = 20'-0"

A

SITE PLAN SIGNATURE BLOCK

APPROVED:
 I HEREBY CERTIFY THAT THE ABOVE FOREGOING SITE PLAN FOR DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS WAS APPROVED BY THE PLANNING AND ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE ___ DAY OF ___, ___.
 WITNESS OUR HANDS, THIS ___ DAY OF ___, ___.

 PLANNING & ZONING COMMISSION, CHAIRMAN

 DIRECTOR OF PLANNING AND ZONING

SITE PLAN
ROCKWALL TECHNOLOGY
PARK PHASE V
PART OF LOT 2, BLOCK B

TOTAL ACREAGE: 22.000 ACRES
 CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS
 CITY PROJECT NO. SP2024-031
 SUBMITTED JULY 2, 2024

LANDSCAPE ARCHITECT:
 KIMLEY-HORN & ASSOCIATES, INC.
 13455 NOEL ROAD
 TWO GALLERIA OFFICE TOWER, SUITE 700
 DALLAS, TEXAS 75240
 PH (469) 301-2599
 CONTACT: PAUL FREELAND, P.L.A.

DEVELOPER:
 ROCKWALL ECONOMIC
 DEVELOPMENT COUNCIL
 2610 OBSERVATION TRAIL, SUITE 104
 ROCKWALL, TX. 75032
 PH. (972) 772-0025
 CONTACT: PHIL WAGNER

NO.	REVISIONS	DATE	BY

Kimley-Horn

13455 NOEL ROAD, TWO GALLERIA OFFICE TOWER
 SUITE 700, DALLAS, TX 75240
 PHONE: 972-770-1300 FAX: 972-239-9820
 WWW.KIMLEY-HORN.COM TX F-928 INC.
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P.L.A. Paul D. Freeland
 L.A. No. 2458 Date: 07/02/2024

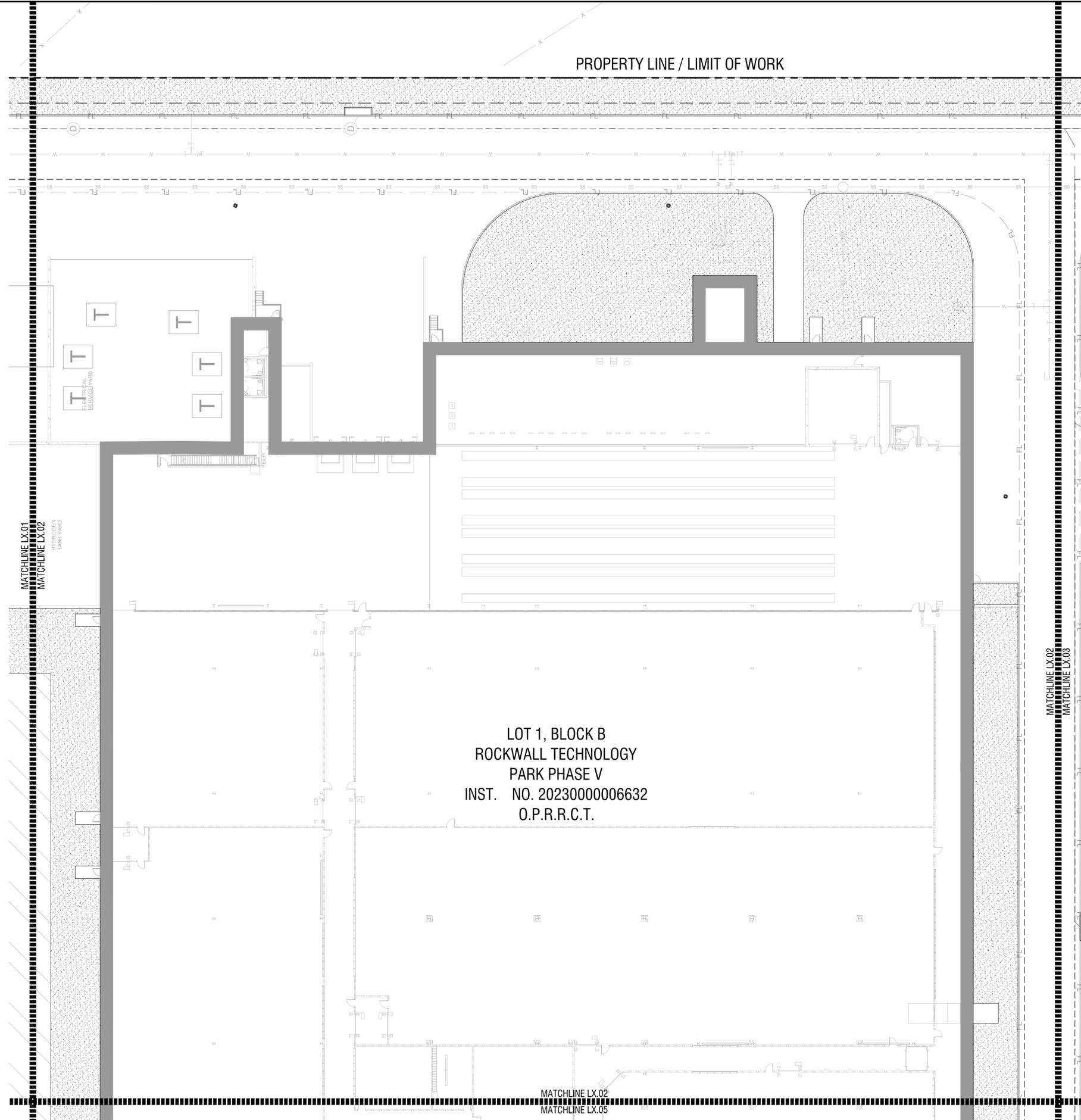
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DRAWN BY	NLF
CHECKED BY	PDF

PROJECT SATURN
 CITY OF ROCKWALL
 ROCKWALL COUNTY, TEXAS

LANDSCAPE PLAN

SHEET NUMBER
L2.01

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LOT 1, BLOCK B
 ROCKWALL TECHNOLOGY
 PARK PHASE V
 INST. NO. 2023000006632
 O.P.R.R.C.T.

PLANT SCHEDULE

SYMBOL	COMMON / BOTANICAL NAME
TREES	
	Bald Cypress / Taxodium distichum
	Cedar Elm / Ulmus crassifolia
	Eastern Redcedar / Juniperus virginiana
	Live Oak / Quercus virginiana
	Texas Red Oak / Quercus buckleyi
FLOWERING TREES	
	Mexican Buckeye / Ungnadia speciosa
	Possumhaw Holly / Ilex decidua
	Yaupon Holly / Ilex vomitoria
SHRUBS	
	Blue Grama / Bouteloua gracilis 'Blonde Ambition'
	Emerald Snow Loropetalum / Loropetalum chinense 'Emerald Snow'
	Glossy Abelia / Abelia x grandiflora
	Green Cloud Texas Ranger / Leucophyllum frutescens 'Green Cloud' TM
	Nellie Stevens Holly / Ilex x 'Nellie R Stevens'
	Red Yucca / Hesperaloe parviflora
	Whale's Tongue Agave / Agave ovatifolia 'Frosty Blue'
GROUND COVERS	
	Latitude 36 Bermuda Grass / Cynodon dactylon

SYMBOL	COMMON / BOTANICAL NAME
	Latitude 36 Bermuda Grass / Cynodon dactylon

NOTE: PROPOSED LANDSCAPING, INCLUDING SHRUBS AND TREES, TO BE OUTSIDE OF UTILITY EASEMENTS. BERMS CAN BE LOCATED IN EASEMENT BUT OUTSIDE OF UTILITY LINE ITSELF.

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 PLANNING & ZONING COMMISSION, CHAIRMAN

 DIRECTOR OF PLANNING AND ZONING

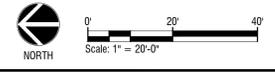
SITE PLAN
ROCKWALL TECHNOLOGY
PARK PHASE V
PART OF LOT 2, BLOCK B

 TOTAL ACREAGE: 22.000 ACRES
 CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS
 CITY PROJECT NO. SP2024-031
 SUBMITTED JULY 2, 2024

 LANDSCAPE ARCHITECT:
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 2610 OBSERVATION TRAIL, SUITE 104
 ROCKWALL, TX 75032
 PH. (972) 772-0025
 CONTACT: PHIL WAGNER



Landscape Plan
 Scale: 1" = 20'-0"

A

NO.	REVISIONS	DATE	BY

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 SUITE 700, DALLAS, TX 75240
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 P.L.A. Paul D. Freeland
 L.A. No. 2458 Date: 07/02/2024

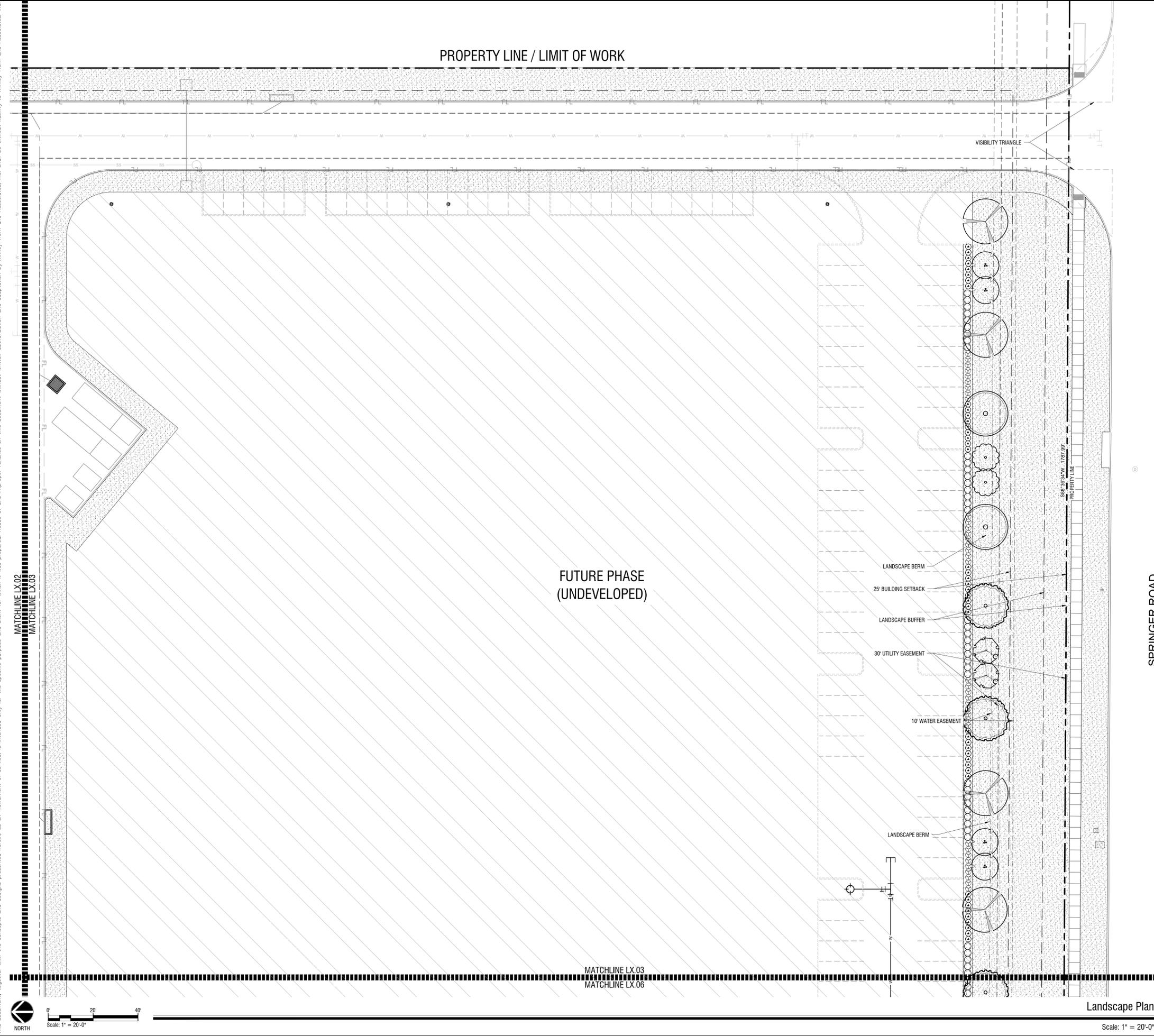
KHA PROJECT	06867058
DATE	JULY 2024
SCALE	AS SHOWN
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DRAWN BY	NLF
CHECKED BY	PDF

PROJECT SATURN
 CITY OF ROCKWALL
 ROCKWALL COUNTY, TEXAS

LANDSCAPE PLAN

 SHEET NUMBER
L2.02

Plotted By: Harman, Anne Date: July 03, 2024 12:48:37pm File Path: K:\MKN_LA\Projects\068671058 - project saturn\CAD\Sheets\DWG\LX.01 LANDSCAPE PLAN.dwg
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PLANT SCHEDULE

SYMBOL COMMON / BOTANICAL NAME

TREES

-  Bald Cypress / Taxodium distichum
-  Cedar Elm / Ulmus crassifolia
-  Eastern Redcedar / Juniperus virginiana
-  Live Oak / Quercus virginiana
-  Texas Red Oak / Quercus buckleyi

FLOWERING TREES

-  Mexican Buckeye / Ungnadia speciosa
-  Possumhaw Holly / Ilex decidua
-  Yaupon Holly / Ilex vomitoria

SHRUBS

-  Blue Grama / Bouteloua gracilis 'Blonde Ambition'
-  Emerald Snow Loropetalum / Loropetalum chinense 'Emerald Snow'
-  Glossy Abelia / Abelia x grandiflora
-  Green Cloud Texas Ranger / Leucophyllum frutescens 'Green Cloud' TM
-  Nellie Stevens Holly / Ilex x 'Nellie R Stevens'
-  Red Yucca / Hesperaloe parviflora
-  Whale's Tongue Agave / Agave ovatifolia 'Frosty Blue'

SYMBOL COMMON / BOTANICAL NAME

GROUND COVERS

-  Latitude 36 Bermuda Grass / Cynodon dactylon

NOTE: PROPOSED LANDSCAPING, INCLUDING SHRUBS AND TREES, TO BE OUTSIDE OF UTILITY EASEMENTS. BERMS CAN BE LOCATED IN EASEMENT BUT OUTSIDE OF UTILITY LINE ITSELF.

SITE PLAN SIGNATURE BLOCK

APPROVED:
 I HEREBY CERTIFY THAT THE ABOVE FOREGOING SITE PLAN FOR DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS WAS APPROVED BY THE PLANNING AND ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE ___ DAY OF ___, 20__.

WITNESS OUR HANDS, THIS ___ DAY OF ___, 20__

 PLANNING & ZONING COMMISSION, CHAIRMAN

 DIRECTOR OF PLANNING AND ZONING

SITE PLAN
ROCKWALL TECHNOLOGY PARK PHASE V
PART OF LOT 2, BLOCK B

TOTAL ACREAGE: 22.000 ACRES
 CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS
 CITY PROJECT NO. SP2024-031
 SUBMITTED JULY 2, 2024

LANDSCAPE ARCHITECT:
 KIMLEY-HORN & ASSOCIATES, INC.
 13455 NOEL ROAD
 TWO GALLERIA OFFICE TOWER, SUITE 700
 DALLAS, TEXAS 75240
 PH (469) 301-2599
 CONTACT: PAUL FREELAND, P.L.A.

OWNER:
 BALLARD US INC.
 2495 NE 4TH STREET
 BEND, OR 97701
 PH. (XXX) XXX-XXXX
 CONTACT: LEE SWEETLAND

DEVELOPER:
 ROCKWALL ECONOMIC DEVELOPMENT COUNCIL
 2610 OBSERVATION TRAIL, SUITE 104
 ROCKWALL, TX 75032
 PH. (972) 772-0025
 CONTACT: PHIL WAGNER

No.	REVISIONS	DATE	BY

Kimley-Horn

13455 NOEL ROAD, TWO GALLERIA OFFICE TOWER
 SUITE 700, DALLAS, TX 75240
 PHONE: 972-770-1300 FAX: 972-239-9820
 WWW.KIMLEY-HORN.COM TX F-928 INC.
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Kimley-Horn

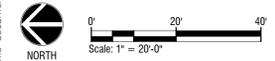
Paul D. Freeland
 P.L.A. No. 2458 Date: 07/02/2024

KHA PROJECT 068671058	DATE JULY 2024	SCALE AS SHOWN	DESIGNED BY PDF	DRAWN BY NLF	CHECKED BY PDF
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PROJECT SATURN
 CITY OF ROCKWALL
 ROCKWALL COUNTY, TEXAS

LANDSCAPE PLAN

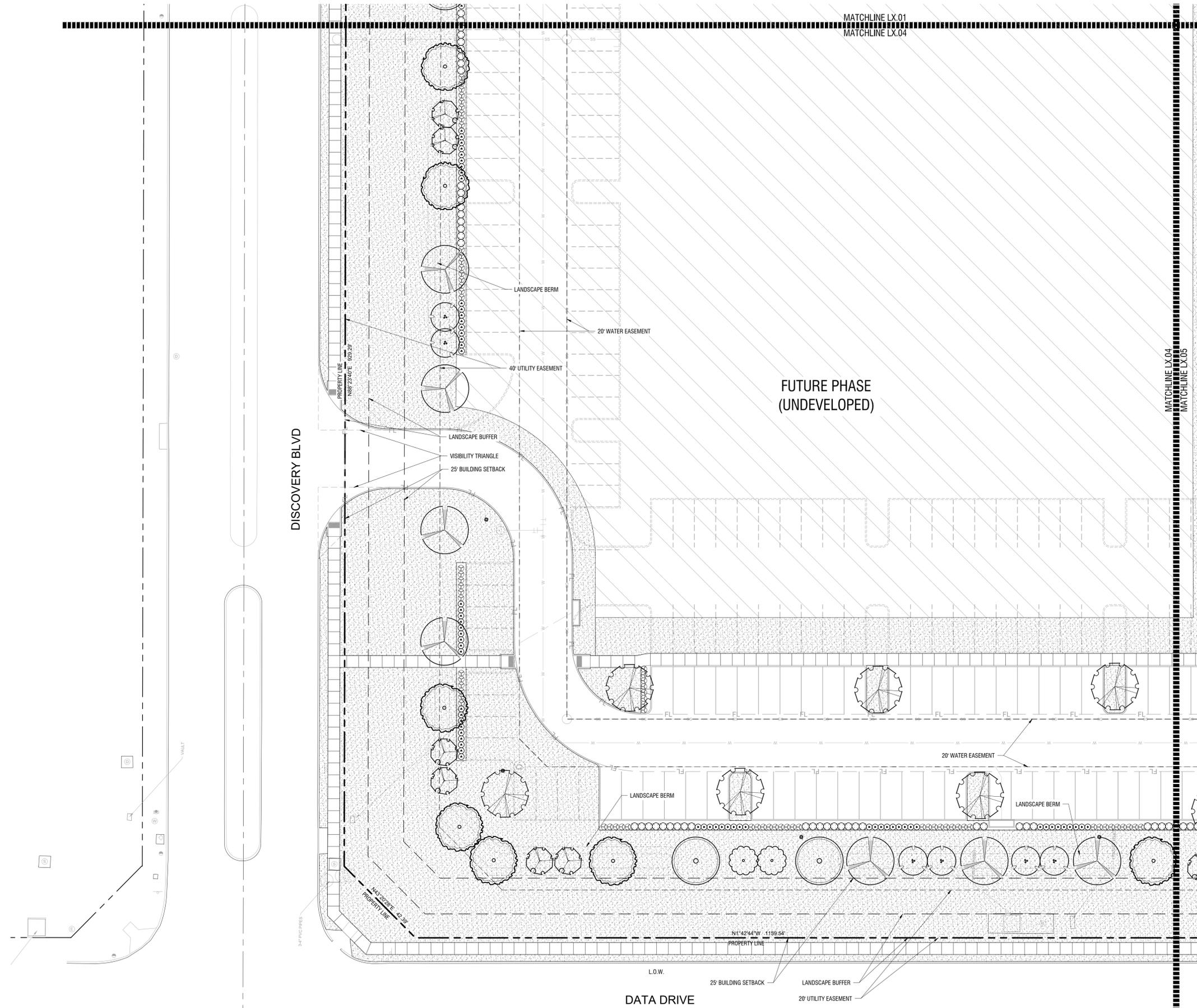
SHEET NUMBER
L2.03



Landscape Plan
 Scale: 1" = 20'-0"

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Plotted By: Harman, Anne Date: July 03, 2024 12:48:42pm File Path: K:\MKM_LA\Projects\086671058 - project saturn\CAD\Sheets\CVL\201 LANDSCAPE PLAN.dwg
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PLANT SCHEDULE

SYMBOL COMMON / BOTANICAL NAME

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- Yaupon Holly / Ilex vomitoria

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SYMBOL COMMON / BOTANICAL NAME

GROUND COVERS

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NOTE: PROPOSED LANDSCAPING, INCLUDING SHRUBS AND TREES, TO BE OUTSIDE OF UTILITY EASEMENTS. BERMS CAN BE LOCATED IN EASEMENT BUT OUTSIDE OF UTILITY LINE TIE-INS.

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WITNESS OUR HANDS, THIS ___ DAY OF ___, 2024

 PLANNING & ZONING COMMISSION, CHAIRMAN

 DIRECTOR OF PLANNING AND ZONING

SITE PLAN
ROCKWALL TECHNOLOGY
PARK PHASE V
PART OF LOT 2, BLOCK B

TOTAL ACREAGE: 22.000 ACRES
 CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS
 CITY PROJECT NO. SP2024-031
 SUBMITTED JULY 2, 2024

LANDSCAPE ARCHITECT:
 KIMLEY-HORN & ASSOCIATES, INC.
 13455 NOEL ROAD
 TWO GALLERIA OFFICE TOWER, SUITE 700
 DALLAS, TEXAS 75240
 PH (469) 301-2599
 CONTACT: PAUL FREELAND, P.L.A.

DEVELOPER:
 ROCKWALL ECONOMIC
 DEVELOPMENT COUNCIL
 2610 OBSERVATION TRAIL, SUITE 104
 ROCKWALL, TX 75032
 PH. (972) 772-0025
 CONTACT: PHIL WAGNER

NO.	REVISIONS	DATE	BY

Kimley-Horn

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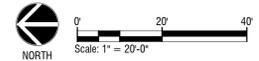
P.L.A. Paul D. Freeland
 L.A. No. 2458 Date: 07/02/2024

KHA PROJECT 086671058	DATE JULY 2024	SCALE AS SHOWN	DESIGNED BY PDF	DRAWN BY NLF	CHECKED BY PDF
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PROJECT SATURN
 CITY OF ROCKWALL
 ROCKWALL COUNTY, TEXAS

LANDSCAPE PLAN

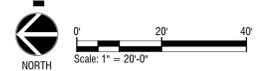
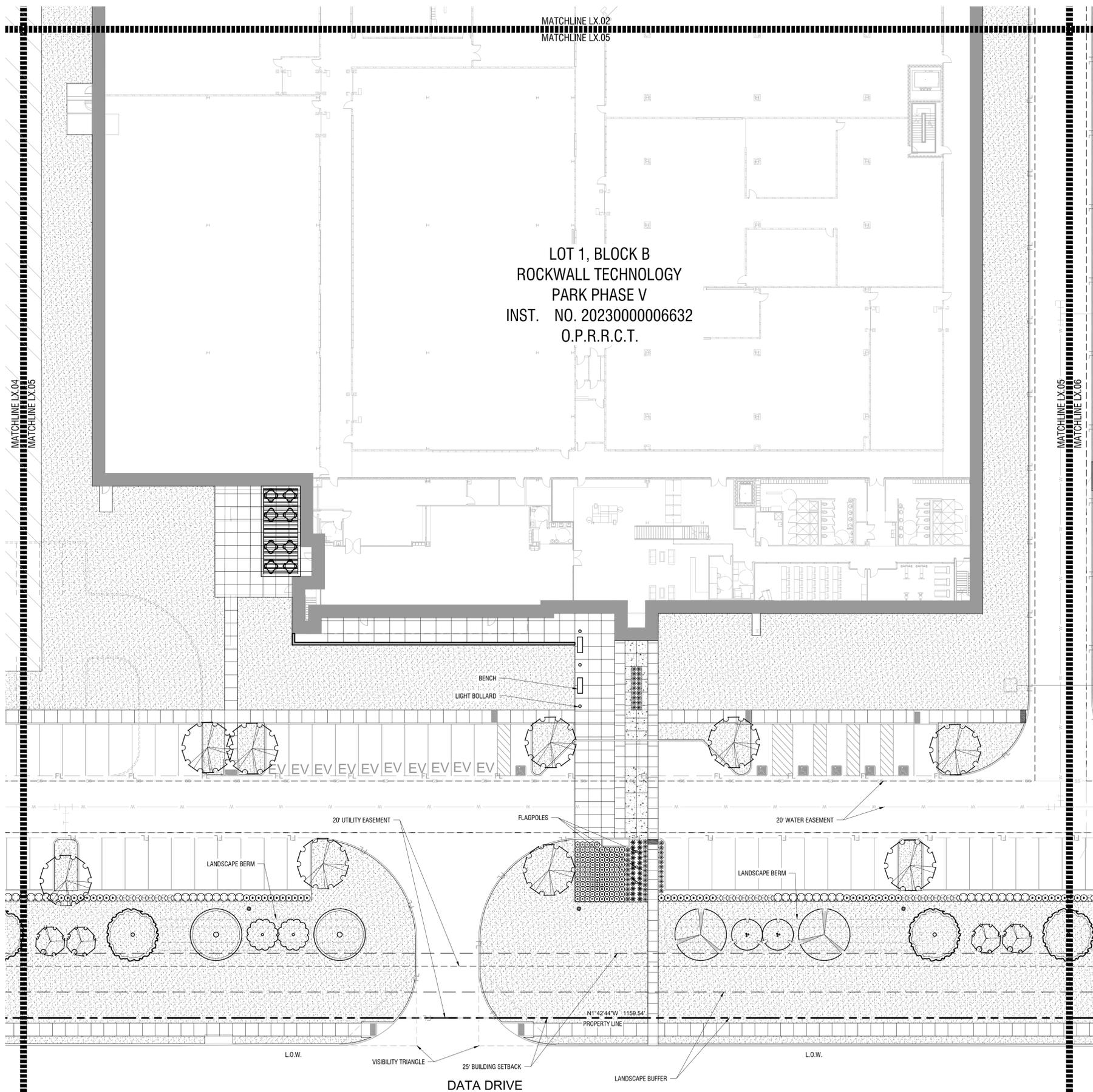
SHEET NUMBER
L2.04



Landscape Plan
 Scale: 1" = 20'-0"

A

Plotted By: Harman, Anne Date: July 03, 2024 12:48:48pm File Path: K:\MKN_LA\Projects\086671058 - project saturn\CAD\Sheets\DWG\L2.01 LANDSCAPE PLAN.dwg
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Landscape Plan
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SYMBOL COMMON / BOTANICAL NAME

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PLANNING & ZONING COMMISSION, CHAIRMAN

DIRECTOR OF PLANNING AND ZONING

SITE PLAN
ROCKWALL TECHNOLOGY
PARK PHASE V
PART OF LOT 2, BLOCK B

TOTAL ACREAGE: 22.000 ACRES
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS
CITY PROJECT NO. SP2024-031
SUBMITTED JULY 2, 2024

LANDSCAPE ARCHITECT:
KIMLEY-HORN & ASSOCIATES, INC.
13455 NOEL ROAD
TWO GALLERIA OFFICE TOWER, SUITE 700
DALLAS, TEXAS 75240
PH (469) 301-2599
CONTACT: PAUL FREELAND, P.L.A.

OWNER:
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BEND, OR 97701
PH. (XXX) XXX-XXXX
CONTACT: LEE SWEETLAND

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ROCKWALL ECONOMIC
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2610 OBSERVATION TRAIL, SUITE 104
ROCKWALL, TX. 75032
PH. (972) 772-0025
CONTACT: PHIL WAGNER

NO.	REVISIONS	DATE	BY

Kimley-Horn

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 P.L.A. Paul D. Freeland
 L.A. No. 2458 Date: 07/02/2024

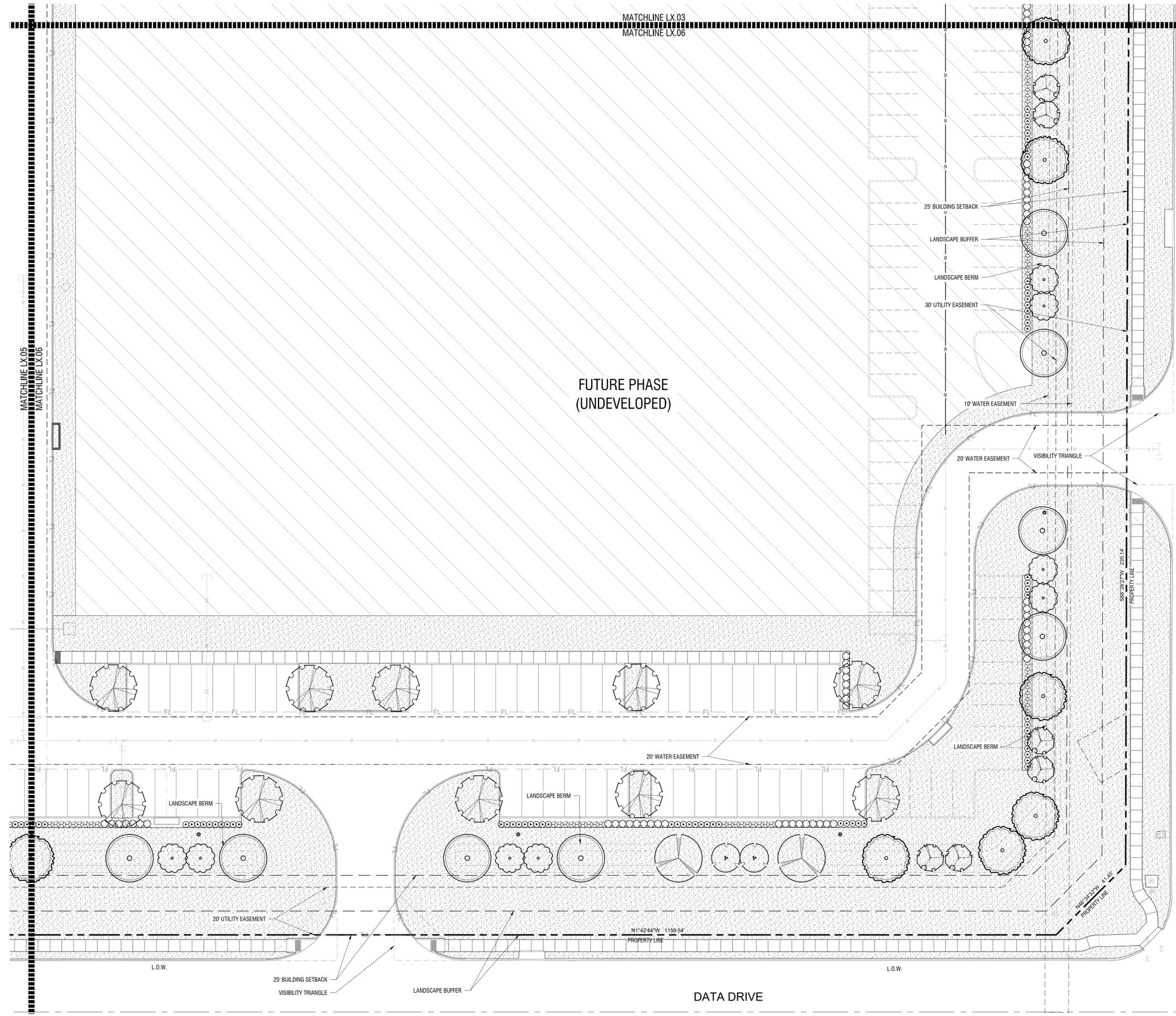
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PROJECT SATURN
CITY OF ROCKWALL
ROCKWALL COUNTY, TEXAS

LANDSCAPE PLAN

SHEET NUMBER
L2.05

Plotted By: Harman, Anne Date: July 03, 2024 12:48:53pm File Path: K:\MKN_LA\Projects\086671058 - project saturn\CAD\Sheets\DWG\2.01 LANDSCAPE PLAN.dwg
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PLANNING & ZONING COMMISSION, CHAIRMAN

DIRECTOR OF PLANNING AND ZONING

SITE PLAN
ROCKWALL TECHNOLOGY
PARK PHASE V
PART OF LOT 2, BLOCK B

TOTAL ACREAGE: 22.000 ACRES
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS
CITY PROJECT NO. SP2024-031
SUBMITTED JULY 2, 2024

LANDSCAPE ARCHITECT:
KIMLEY-HORN & ASSOCIATES, INC.
13455 NOEL ROAD
TWO GALLERIA OFFICE TOWER, SUITE 700
DALLAS, TEXAS 75240
PH (469) 301-2599
CONTACT: PAUL FREELAND, P.L.A.

OWNER:
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2495 NE 4TH STREET
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2610 OBSERVATION TRAIL, SUITE 104
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CONTACT: PHIL WAGNER

NO.	REVISIONS	DATE	BY

Kimley-Horn

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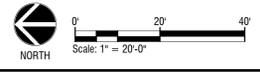
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Kimley-Horn
 Paul D. Freeland
 P.L.A. No. 2458 Date: 07/02/2024

KHA PROJECT	DATE	SCALE	DESIGNED BY	PDF	NUP	PDF
086671058	JULY 2024	AS SHOWN	PAUL D. FREELAND			
CHECKED BY						

PROJECT SATURN
CITY OF ROCKWALL
ROCKWALL COUNTY, TEXAS

LANDSCAPE PLAN

SHEET NUMBER
L2.06

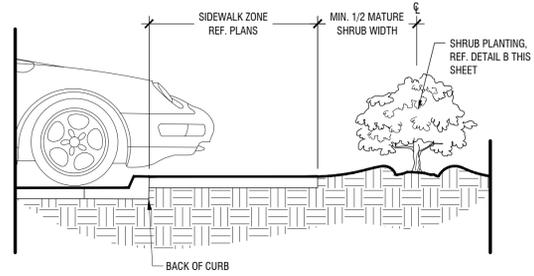


Landscape Plan
Scale: 1" = 20'-0"

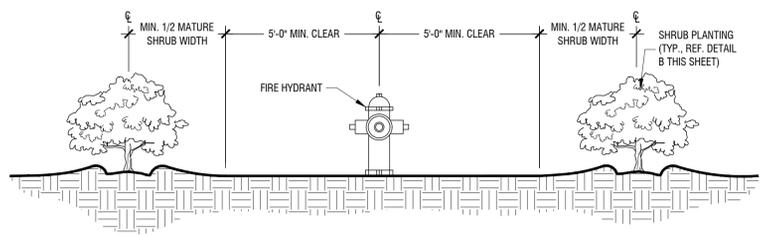
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Plotted By: Harman, Anne Date: July 03, 2024 12:49:59pm File Path: K:\MKN_LA\Projects\086671058 - project saturn\CAD\Sheets\DWG\2.07 PLANTING DETAILS.dwg
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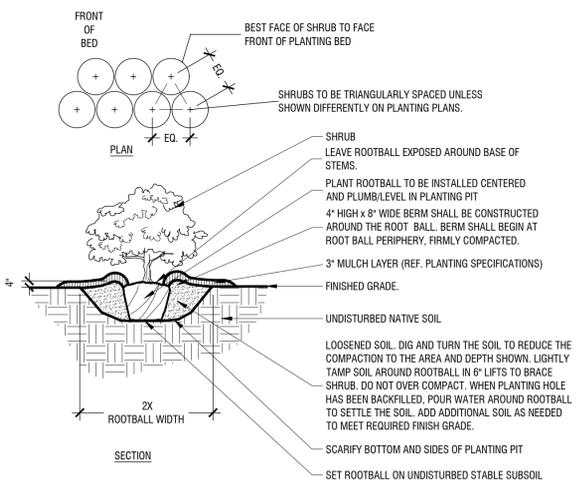
- NOTES:**
- REF. PLANTING AND PLANTING SOIL SPECIFICATIONS FOR ADDITIONAL INFORMATION.
 - REF. PLANTING SCHEDULE AND PLANTING PLANS FOR SPACING/LAYOUT.
 - WHEN SHRUBS ARE MASSES TOGETHER WITH GROUND COVER BEDS, ALL SOIL IN BED TO BE AMENDED. (REF. PLANTING SPECIFICATIONS)



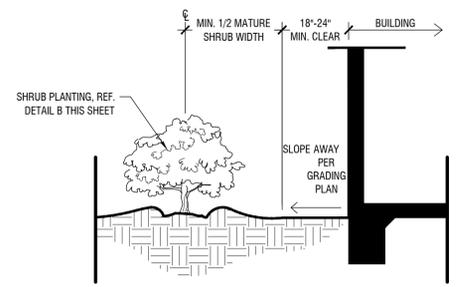
Shrub Planting at Sidewalk
Scale: NTS



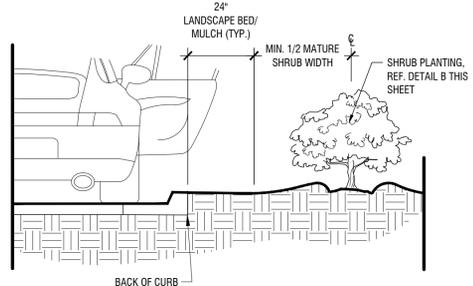
Shrub Planting at Fire Hydrant
Scale: NTS



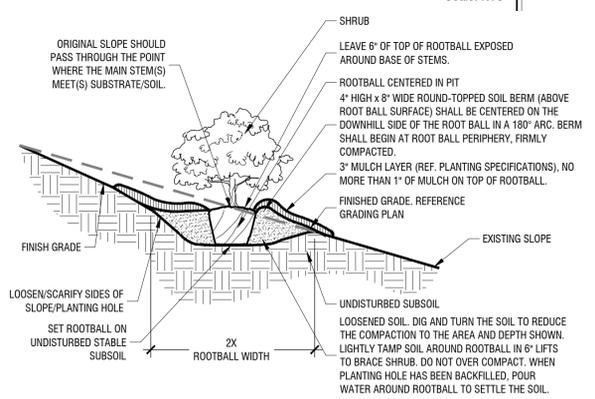
Typical Shrub Planting
Scale: NTS



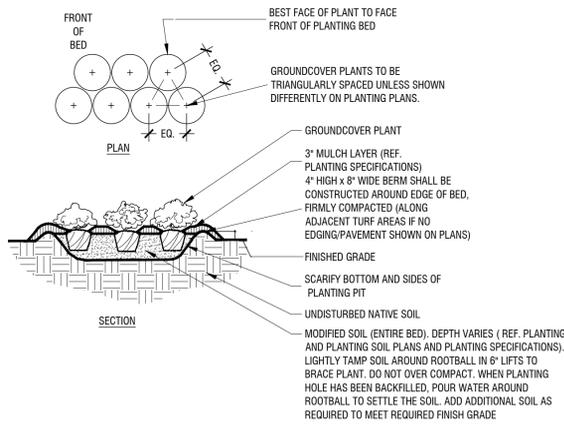
Shrub Planting at Building Edge
Scale: NTS



Shrub Planting at Curb
Scale: NTS



Shrub Planting On 5-50% (20:1 TO 2:1) Slope
Scale: NTS



Typical Groundcover Planting
Scale: NTS

SITE PLAN SIGNATURE BLOCK

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 PLANNING & ZONING COMMISSION, CHAIRMAN

 DIRECTOR OF PLANNING AND ZONING

SITE PLAN
ROCKWALL TECHNOLOGY PARK PHASE V
PART OF LOT 2, BLOCK B

TOTAL ACREAGE: 22.000 ACRES
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 CITY PROJECT NO. SP2024-031
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No.	REVISIONS	DATE	BY

Kimley-Horn

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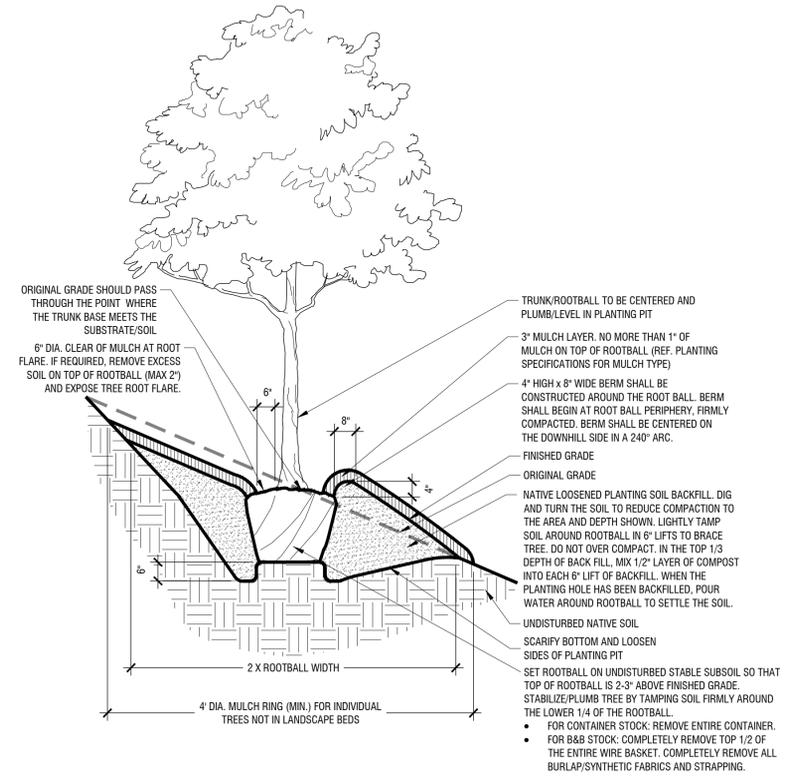
KHA PROJECT 086671058	DATE JULY 2024	SCALE AS SHOWN	DESIGNED BY PDF	DRAWN BY NLF	CHECKED BY PDF
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PROJECT SATURN
 CITY OF ROCKWALL
 ROCKWALL COUNTY, TEXAS

PLANTING DETAILS

SHEET NUMBER
L2.07

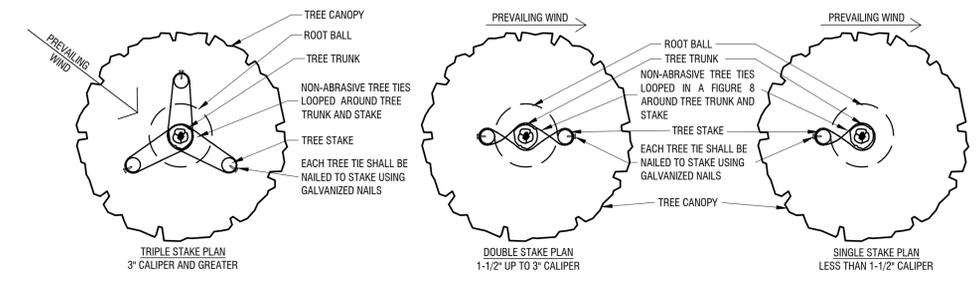
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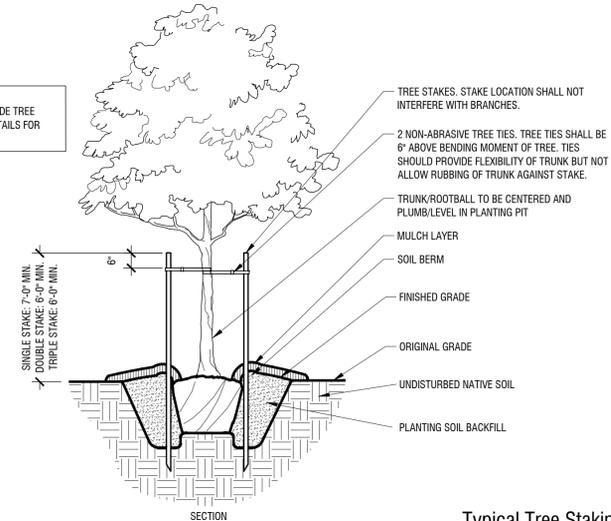
Tree Planting On 5-25% Slopes (20:1 to 4:1 Slopes)

Scale: NTS

D



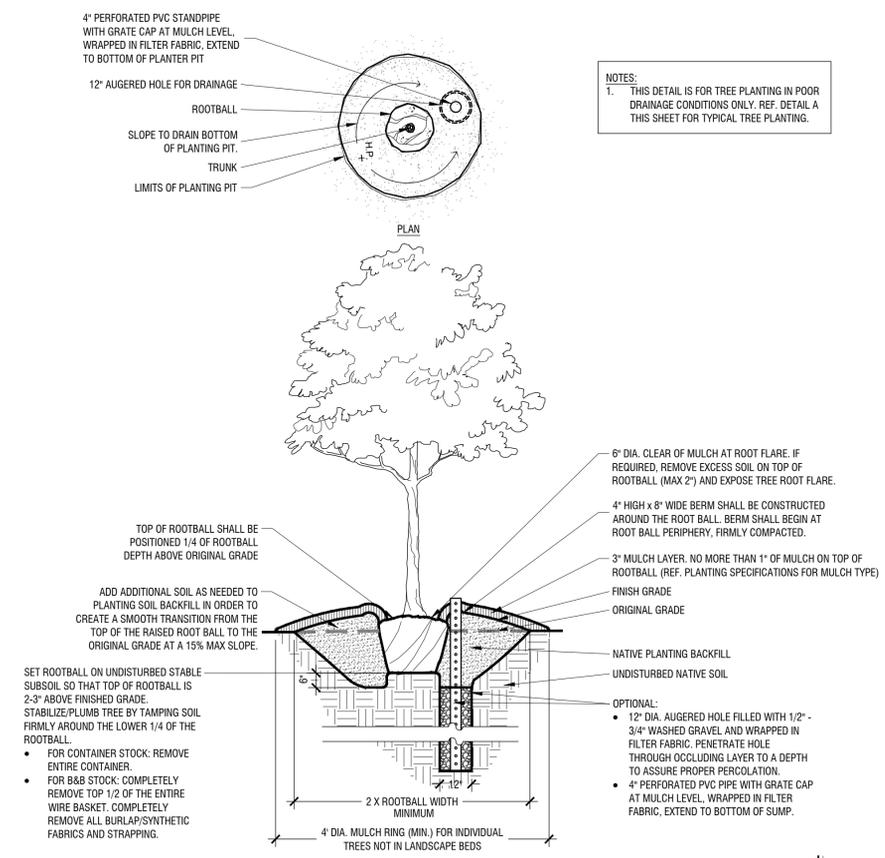
NOTES:
 1. THIS DETAIL IS FOR ABOVE GRADE TREE STAKING ONLY. REF. OTHER DETAILS FOR TYPICAL TREE PLANTING.



Typical Tree Staking

Scale: NTS

B

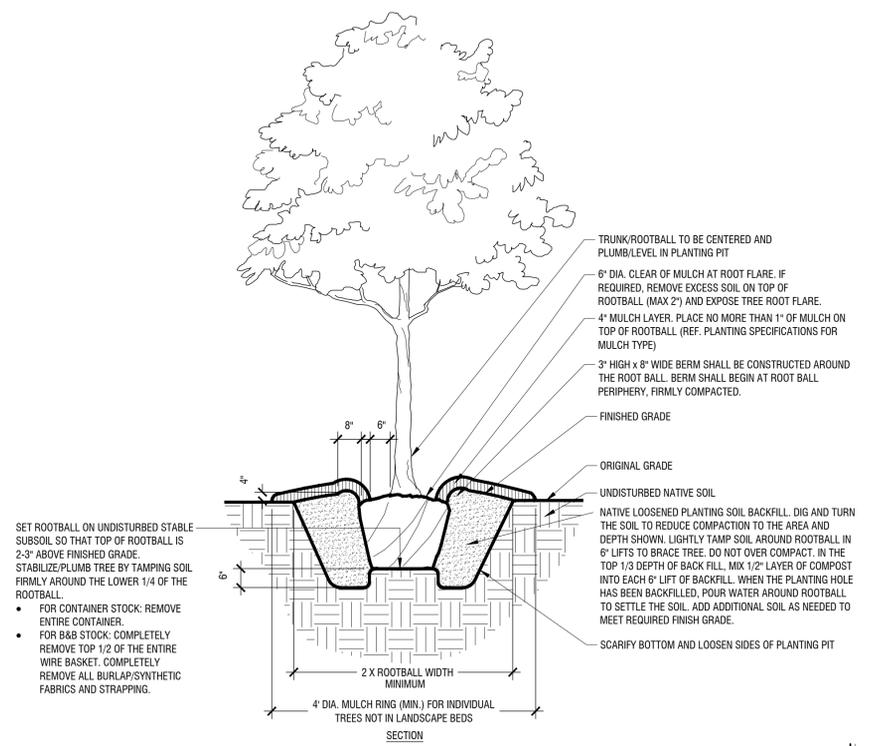


NOTES:
 1. THIS DETAIL IS FOR TREE PLANTING IN POOR DRAINAGE CONDITIONS ONLY. REF. DETAIL A THIS SHEET FOR TYPICAL TREE PLANTING.

Tree Planting (Poor Drainage Condition)

Scale: NTS

C



Typical Tree Planting (Up to 3" Caliper)

Scale: NTS

A

SITE PLAN SIGNATURE BLOCK

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 PLANNING & ZONING COMMISSION, CHAIRMAN

DIRECTOR OF PLANNING AND ZONING

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ROCKWALL TECHNOLOGY
PARK PHASE V
PART OF LOT 2, BLOCK B

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 2495 NE 4TH STREET
 BEND, OR 97701
 PH. (XXX) XXX-XXXX
 CONTACT: LEE SWEETLAND

PROJECT SATURN
 CITY OF ROCKWALL
 ROCKWALL COUNTY, TEXAS

PLANTING DETAILS

SHEET NUMBER
L2.08

NO.	REVISIONS	DATE	BY

Kimley-Horn

13455 NOEL ROAD, TWO GALLERIA OFFICE TOWER
 SUITE 700, DALLAS, TX 75240
 PHONE: 972-770-1300 FAX: 972-239-3820
 WWW.KIMLEY-HORN.COM TX F-928 INC.
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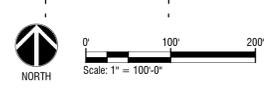
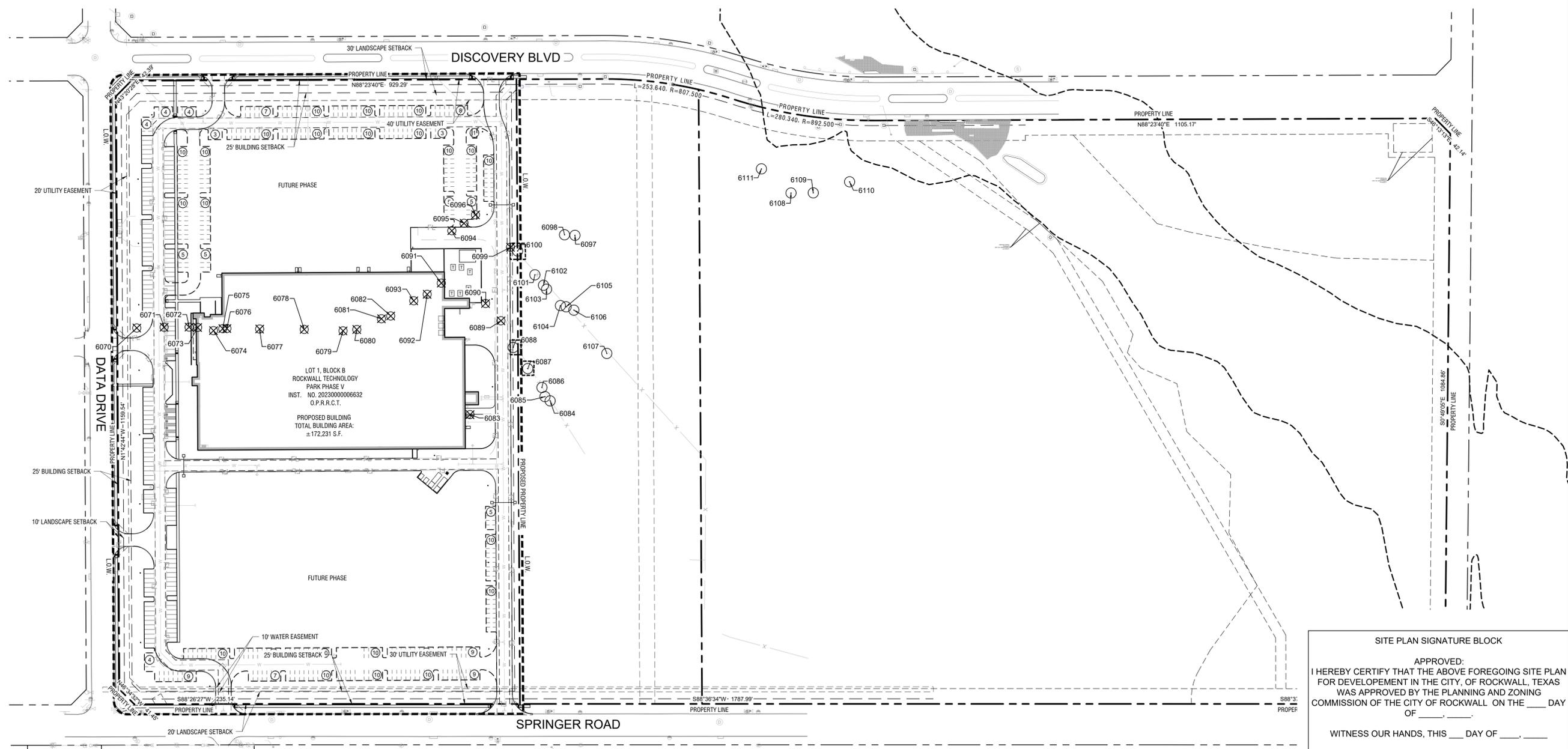
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Kimley-Horn

Paul D. Freeland
 P.L.A. No. 2458 Date: 07/02/2024

KHA PROJECT 086671058	DATE JULY 2024	SCALE AS SHOWN	DESIGNED BY PDF	DRAWN BY NLF	CHECKED BY PDF
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Plotted By: Harman, Anne Date: July 03, 2024 12:51:54pm File Path: K:\MKM_LAL\PA_projects\06867058 - project saturn\CAD_Sheets\Civil\3.01 TREESCAPE PLAN.dwg
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Treescape Plan
A
 Scale: 1" = 100'-0"

TREE PROTECTION NOTES:

1. ALL TREES WHICH ARE TO REMAIN ON SITE SHALL BE PROTECTED WITH A (4") TALL BRIGHTLY COLORED PLASTIC FENCE, OR SILT FENCE, PLACED AT THE DRIP LINE OF THE TREES.
2. PRIOR TO THE PRE-CONSTRUCTION MEETING OR OBTAINING A GRADING PERMIT, ALL TREE MARKINGS AND PROTECTIVE FENCING SHALL BE INSTALLED BY THE OWNER AND SHALL BE INSPECTED BY THE DEVELOPMENT SERVICES LANDSCAPE ARCHITECT.
3. NO EQUIPMENT SHALL BE CLEARED, OR HARMFUL LIQUIDS DEPOSITED WITHIN THE LIMITS OF THE ROOT ZONE OF TREES WHICH REMAIN ON SITE.
4. NO SIGNS, WIRES, OR OTHER ATTACHMENTS SHALL BE ATTACHED TO ANY TREE TO REMAIN ON SITE.
5. VEHICULAR AND CONSTRUCTION EQUIPMENT SHALL NOT PARK OR DRIVE WITHIN THE LIMITS OF THE DRIP LINE.
6. GRADE CHANGES IN EXCESS OF 3 INCHES (CUT OR FILL) SHALL NOT BE ALLOWED WITHIN A ROOT ZONE, UNLESS ADEQUATE TREE PRESERVATION METHODS ARE APPROVED BY THE CITY.
7. NO TRENCHING SHALL BE ALLOWED WITHIN THE DRIP-LINE OF A TREE, UNLESS APPROVED BY THE CITY.
8. ALL REMOVED TREES SHALL BE CHIPPED AND USED FOR MULCH ON SITE OR HAULED OFF-SITE.
9. ALL TREE MAINTENANCE TECHNIQUES SHALL BE IN CONFORMANCE WITH AMERICAN NATIONAL STANDARDS FOR TREE CARE OPERATIONS, ANSI A300 INDUSTRY IDENTIFIED STANDARDS. IMPROPER OR MALICIOUS PRUNING TECHNIQUES ARE STRICTLY PROHIBITED.

SYMBOL LEGEND:

	EXISTING TREE TO BE REMOVED	
	EXISTING TREE ON-SITE TO REMAIN	TREE TO BE SAVED
	TREE PROTECTION FENCING	4' HT. PROTECTION FENCING, TO BE LOCATED AT LIMIT OF GRADING AROUND EXISTING VEGETATION

SITE DATA TABLE:

SITE SUMMARY TABLE		PARKING DATA TABLE	
ZONING	LIGHT INDUSTRIAL	PARKING RATIO	1 SPACE PER 0.75 EMPLOYEES
PROPOSED USE	HEAVY MANUFACTURING	PHASE 1 EMPLOYEE COUNT (PER SHIFT)	198
PROPOSED MAX BUILDING HEIGHT	46'-0"	ULTIMATE EMPLOYEE COUNT (PER SHIFT)	540
PROPOSED TOTAL BUILDING AREA	236,018 SF	PHASE 1 REQUIRED PARKING	149 TOTAL SPACES 144 STANDARD SPACES 5 ADA SPACES
PROPOSED BUILDING FOOTPRINT	174,128 SF	ULTIMATE REQUIRED PARKING	405 TOTAL SPACES 396 STANDARD SPACES 9 ADA SPACES
TOTAL LAND AREA	958,322 SF/22,000 AC.	PHASE 1 PROVIDED PARKING	149 TOTAL SPACES SPACES 133 STANDARD SPACES 10 EV SPACES 6 ADA SPACES
BUILDING COVERAGE	25%	ULTIMATE PROVIDED PARKING	405 TOTAL SPACES SPACES 386 STANDARD SPACES 10 EV SPACES 9 ADA SPACES

SITE PLAN SIGNATURE BLOCK

 APPROVED:
 I HEREBY CERTIFY THAT THE ABOVE FOREGOING SITE PLAN FOR DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS WAS APPROVED BY THE PLANNING AND ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE ____ DAY OF ____ OF ____.

 WITNESS OUR HANDS, THIS ____ DAY OF ____.

 PLANNING & ZONING COMMISSION, CHAIRMAN

 DIRECTOR OF PLANNING AND ZONING

SITE PLAN
ROCKWALL TECHNOLOGY
PARK PHASE V
PART OF LOT 2, BLOCK B

 TOTAL ACREAGE: 22,000 ACRES
 CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS
 CITY PROJECT NO. SP2024-031
 SUBMITTED JULY 2, 2024

 LANDSCAPE ARCHITECT:
 KIMLEY-HORN & ASSOCIATES, INC.
 13455 NOEL ROAD
 TWO GALLERIA OFFICE TOWER, SUITE 700
 DALLAS, TEXAS 75240
 PH (469) 301-2599
 CONTACT: PAUL FREELAND, P.L.A.

 OWNER:
 BALLARD US INC.
 2495 NE 4TH STREET
 BEND, OR 97701
 PH. (XXX) XXX-XXXX
 CONTACT: LEE SWEETLAND

 DEVELOPER:
 ROCKWALL ECONOMIC
 DEVELOPMENT COUNCIL
 2610 OBSERVATION TRAIL, SUITE 104
 ROCKWALL, TX 75032
 PH. (972) 772-0025
 CONTACT: PHIL WAGNER

NO.	REVISIONS	DATE	BY

13455 NOEL ROAD, TWO GALLERIA OFFICE TOWER
 SUITE 700, DALLAS, TX 75240
 PHONE: 972-770-1300 FAX: 972-239-3820
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 P.L.A. Paul D. Freeland
 L.A. No. 2458 Date: 07/02/2024

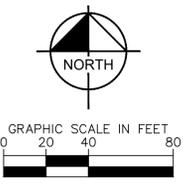
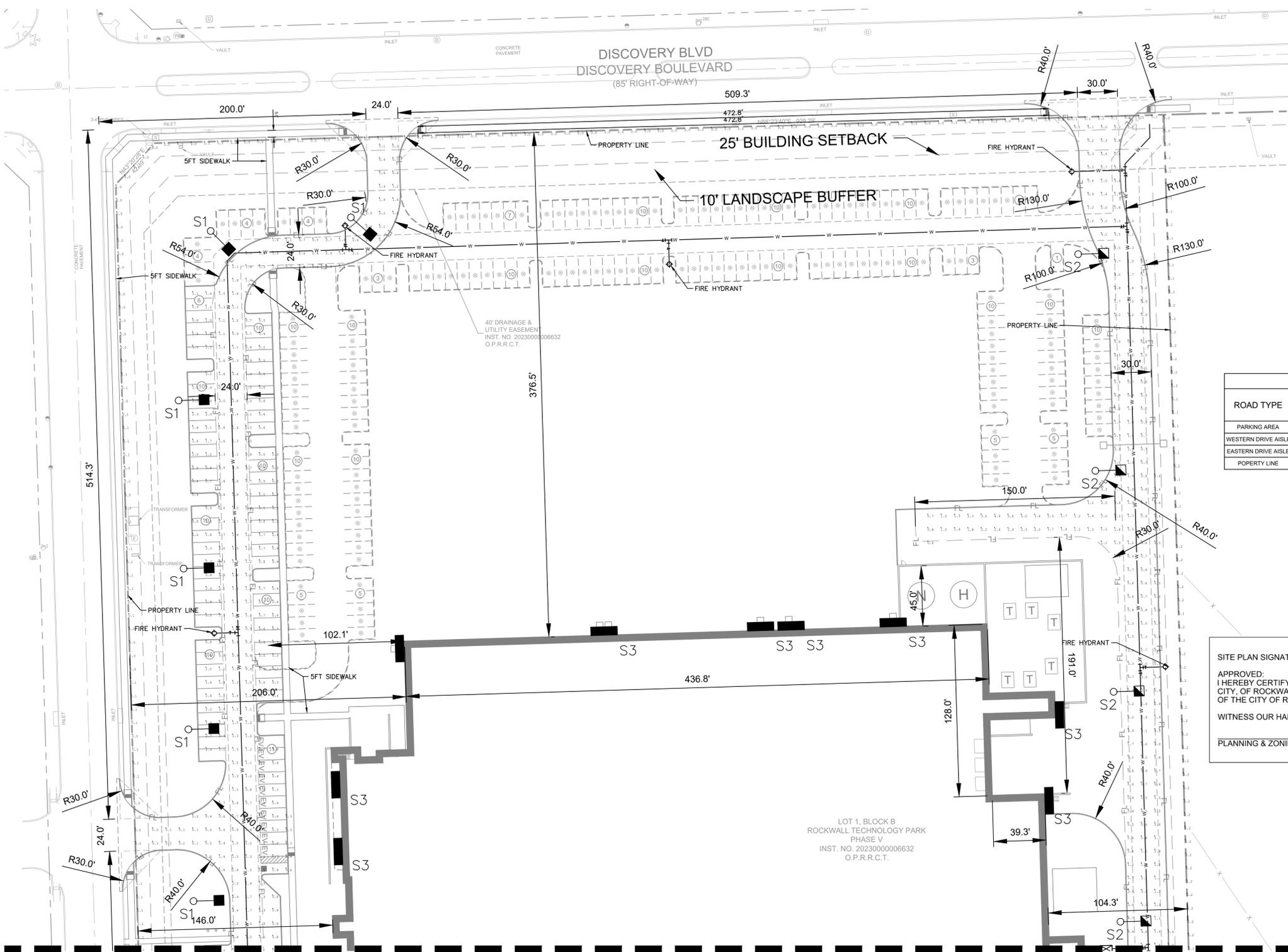
KHA PROJECT	06867058
DATE	JULY 2024
SCALE	AS SHOWN
DESIGNED BY	PDF
DRAWN BY	NLF
CHECKED BY	PDF

PROJECT SATURN
 CITY OF ROCKWALL
 ROCKWALL COUNTY, TEXAS

TREESCAPE PLANS

SHEET NUMBER
L3.02

Plotted By: Neilenbach, David Date: July 02, 2024 02:00:18pm File Path: K:\DAL\Civil\068671058-Project Saturn\Cad\PlanSheets\E-Phot.dwg
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PHOTOMETRIC CRITERIA	
PROPERTY LINE	ILLUMINANCE MAXIMUM (FC)
	0.2

PHOTOMETRIC ANALYSIS				
ROAD TYPE	ILLUMINANCE AVERAGE (FC)	ILLUMINANCE MINIMUM (FC)	ILLUMINANCE MAXIMUM (FC)	UNIFORMITY (AVE/MIN)
PARKING AREA	1.04	0.30	2.90	3.47
WESTERN DRIVE AISLE	1.14	0.40	2.80	2.85
EASTERN DRIVE AISLE	1.47	0.40	5.60	3.68
PROPERTY LINE	0.07	0.00	0.20	N/A

SITE SUMMARY TABLE	
ZONING	SUP S-320
PROPOSED USE	HEAVY MANUFACTURING
PROPOSED MAX BUILDING HEIGHT	46'-0"
PROPOSED TOTAL BUILDING AREA	462,384 SF
PROPOSED BUILDING FOOTPRINT	524,272 SF
TOTAL LAND AREA	958,322 SF/22.000 AC.
BUILDING COVERAGE	25%

SITE PLAN SIGNATURE BLOCK

APPROVED: I HEREBY CERTIFY THAT THE ABOVE FOREGOING SITE PLAN FOR DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS WAS APPROVED BY THE PLANNING AND ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE ____ DAY OF ____.

WITNESS OUR HANDS, THIS ____ DAY OF ____.

 PLANNING & ZONING COMMISSION, CHAIRMAN DIRECTOR OF PLANNING AND ZONING

MATCHLINE: SEE SHEET E-102

LUMINAIRE SCHEDULE														
SYMBOL	LABEL	QTY	DESCRIPTION	ARRANGEMENT	LLF	MAKE AND MODEL	WATTS	LUMENS	MOUNT HEIGHT	LAMP	DISTRIBUTION TYPE	VOLTAGE	BUG RATING	LIGHT POLE MODEL
	S1	12	POLE MOUNTED AREA LIGHT	SINGLE	0.90	LITHONIA DSX1-LED-P3-40K-T3LG-MVOLT-SPA-PIRH-DOBXD	102	14,687	30'	LED	TYPE 3	120-277	2-0-2	AMERICAN LITE POLE SNS-16-40-11-AB-DB-D28-BC
	S2	8	POLE MOUNTED AREA LIGHT	SINGLE	0.90	LITHONIA DSX1-LED-P3-40K-T1S-MVOLT-SPA-PIRH-DOBXD	102	12,294	30'	LED	TYPE 1	120-277	2-0-2	AMERICAN LITE POLE SNS-16-40-11-AB-DB-D28-BC
	S3	12	WALL MOUNTED DOOR LIGHT	SINGLE	0.90	LITHONIA DSXW1-10C-350-40K-T4M MVOLT	13	1,357	8'	LED	TYPE 4	120-277	0-0-1	N/A



NTMWD UTILITIES LOCATED BY NTMWD NOT 811

CAUTION!

EXISTING UNDERGROUND UTILITIES IN THE AREA CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE HORIZONTAL AND VERTICAL LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY REPAIRS TO EXISTING UTILITIES DUE TO DAMAGE INCURRED DURING CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES ON THE PLANS.

NO.
REVISIONS
DATE

13458 NOEL ROAD, TWO GALLERIA OFFICE TOWER
 SUITE 700, DALLAS, TX 75240
 PHONE: 972-770-1300 FAX: 972-239-3820
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 PURPOSES
 Engineer: DEEAN J. BESSWELL
 P.E. No. 126307
 Date: 06/25/2024
 06/14/2024

KHA PROJECT: 068671058
 DATE: 06/25/2024
 SCALE: AS SHOWN
 DESIGNED BY: TAD
 DRAWN BY: AKA
 CHECKED BY: NWH

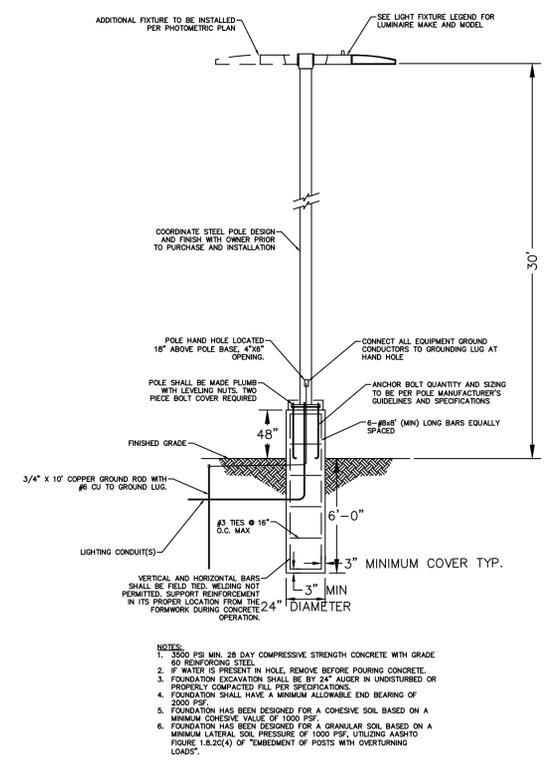
PROJECT SATURN
 CITY OF ROCKWALL
 ROCKWALL COUNTY, TEXAS

PHOTOMETRIC PLAN

SHEET NUMBER
E-101

Plotted By: Neilenbach, David Date: July 02, 2024 02:00:40pm File Path: \\DAL-Civil-Civil\068671058-Project Saturn\Cad\PlanSheets\E-PHOT.dwg
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1 POLE FOUNDATION DETAIL
 E-103 N.T.S.



- NOTES:**
- 3000 PSI MIN. 28 DAY COMPRESSIVE STRENGTH CONCRETE WITH GRADE 60 REINFORCING STEEL.
 - IF WATER IS PRESENT IN HOLE, REMOVE BEFORE POURING CONCRETE.
 - FOUNDATION EXCAVATION SHALL BE BY 24" AUGER IN UNDISTURBED OR PROPERLY COMPACTED FILL PER SPECIFICATIONS.
 - FOUNDATION SHALL HAVE A MINIMUM ALLOWABLE END BEARING OF 2000 PSF.
 - FOUNDATION HAS BEEN DESIGNED FOR A COHESIVE SOIL BASED ON A MINIMUM COMBINED VALUE OF 1000 PSF.
 - FOUNDATION HAS BEEN DESIGNED FOR A GRANULAR SOIL BASED ON A MINIMUM LATERAL SOIL PRESSURE OF 1000 PSF, UTILIZING HARDY FIGURE 1.8.20(4) OF "EMBEDMENT OF POSTS WITH OVERTURNING LOADS".

2 PHOTOMETRIC CUTSHEETS
 E-103 N.T.S.

D-Series Size 1 LED Area Luminaire

Specifications

EPA: 0.69 ft² (0.06 m²)
 Length: 32.71" (831 mm)
 Width: 14.26" (362 mm)
 Height H1: 7.88" (200 mm)
 Height H2: 2.73" (69 mm)
 Weight: 34 lbs (15.4 kg)

Ordering Information

EXAMPLE: DSK1 LED P7 40K 70CRI T3M MVOLT SPA NLTAR2 PIRHN DDBXD

Series	LEDs	Color Temp./base*	Color Rendering Index*	Distribution	Voltage	Mounting
DSK1 LED	P1	30K 3000K	70CRI	AIR Automotive head row	MVOLT (120V-277V) ¹	Shipped included SPA Square pole mounting (#6 drilling) RPA Round pole mounting (#6 drilling) SPS Square pole mounting (#5 drilling) RPS Round pole mounting (#5 drilling) BRAS Round pole mounting (#5 drilling) SPAN Square narrow pole mounting (#6 drilling) WBA Wall bracket* MA Mast arm adapter (mounts on 2.38" OD horizontal beam)
	P2	40K 4000K	70CRI	T15 Type I short	MVOLT (120V-480V) ^{1,4}	
	P3	50K 5000K	70CRI	T2M Type II medium	MVOLT (120V-480V) ¹	
	P4	(this section 80CRI only, extended lead times apply)	80CRI	T3M Type III medium	120 v.n.	
	P5			T3L Type III low glare ³	208 v.n.	
	P6	Related optics	80CRI	T4M Type IV medium	240 v.n.	
	P7			T4L Type IV low glare ³	277 v.n.	
	P8	80CRI	T6G Type VI low glare ³	347 v.n.		
	P9		T6M Forward throw medium	480 v.n.		
	P10	80CRI	T6C Type VI low glare ³	347 v.n.		
P11	T6M Forward throw medium		480 v.n.			

Control systems

Shipped installed

NLTAR2 PIRHN 0-10V dimming with 0-10V motion / ambient sensor, 0-10V mounting height, ambient sensor enabled at 26" h.n.^{1,2}

PIR High low, motion/ambient sensor, 0-10V mounting height, ambient sensor enabled at 26" h.n.^{1,2}

PER NEMA twist-lock receptacle only (controls ordered separately)^{1,3}

PER5 Five-pin receptacle only (controls ordered separately)^{1,3}

Other systems

PER7 Seven-pin receptacle only (controls ordered separately)^{1,3}

FAO Field-adjustable optics^{1,3,4}

RL30 Bi-level switched dimming, 50% h.n.^{1,2}

RL50 Bi-level switched dimming, 50% h.n.^{1,2}

DAG 0-10V dimming with pulled outside fixture for use with an external control, ordered separately^{1,3}

DS Dual switching^{1,3,4}

Other options

Shipped separately

SPD20KV 20KV surge protection

HS Housecode shield (black finish standard)^{1,2}

L190 Left rotated optics¹

R90 Right rotated optics¹

CCE Coastal Construction^{1,3}

HA 50% Ambient operation^{1,3}

BAA Bay Armature¹ Act Compliant Single-face (120, 277, 347V)^{1,3}

SF Double face (120, 240, 480V)^{1,3}

DF Double face (208, 240, 480V)^{1,3}

ES68 External Glare Shield (reversible, field install required, matches housing finish)

RS06 Red Splice (field install required)

Finish options

DDBXD Dark Bronze

DLBXD Black

DLNAD Natural Aluminum

DWHD White

DOBXD Textured dark bronze

DLBBD Textured dark bronze

DLNBD Textured natural aluminum

DWBXD Textured white

Accessories

DSK1-LED Rev. 09/2023 Page 1 of 10

D-Series Size 1 LED Wall Luminaire

Specifications

Width: 13-3/4" (34.9 cm)
 Depth: 10" (25.4 cm)
 Height: 6-3/8" (16.2 cm)

Weight: 12 lbs (5.4 kg)
 E20WC Weight: 10 lbs (4.5 kg)
 BBW Weight: 5 lbs (2.3 kg)

Ordering Information

EXAMPLE: DSKW1 LED 20C 1000 40K T3M MVOLT DDBXD

Series	LEDs	Drive Current	Color Temperature	Distribution	Voltage	Mounting	Control Options
DSKW1 LED	10C 10 LEDs	350 350 mA	30K 3000K	T2S Type II short	MVOLT ¹	Shipped included PE (blank) Surface mounting bracket BBW Surface-mounted back box (for condal entry) ¹	Shipped installed PE Photoelectric cell, button type ⁴ DMG 0-10V dimming with pulled outside fixture (for use with an external control, ordered separately) PIR 180° motion/ambient light sensor, <15 mg/ft ^{1,2} PIRH 180° motion/ambient light sensor, 15-30 mg/ft ^{1,2} PIRHCV Motion/ambient sensor, 0-10V mounting height, ambient sensor enabled at 16" ^{1,2} PIRHFCV Motion/ambient sensor, 15-30V mounting height, ambient sensor enabled at 16" ^{1,2} E20WC Emergency battery backup (includes external component enclosure), CA Title 20 compliant ^{1,4}
	20C 20 LEDs	500 500 mA	40K 4000K	T2M Type II medium	120 ¹		
	200 20 LEDs	700 700 mA	50K 5000K	T3M Type III short	240 ¹	277 ^{1,4}	347 ^{1,4}
				TTFM Forward Throw Medium	480 ^{1,4}		

Other Options

Shipped installed

SE Single face (120, 277 or 347V)^{1,3}

DF Double face (208, 240 or 480V)^{1,3}

HS House-code shield¹

SPD Separate surge protection¹

Shipped separately

BSW Bid-detector spikes

VG Vandal guard

DOL Diffused drop lens

Finish options

DDBXD Dark Bronze

DLBXD Black

DLNAD Natural Aluminum

DWHD White

DOBXD Textured dark bronze

DLBBD Textured dark bronze

DLNBD Textured natural aluminum

DWBXD Textured white

Accessories

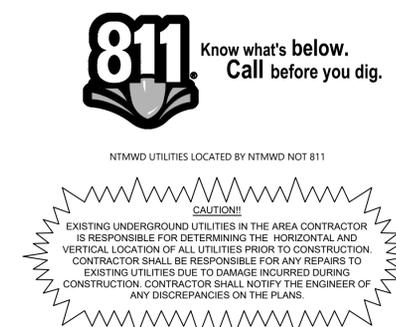
DSKW1-LED Rev. 3/26/24

SITE PLAN SIGNATURE BLOCK

APPROVED: I HEREBY CERTIFY THAT THE ABOVE FOREGOING SITE PLAN FOR DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS WAS APPROVED BY THE PLANNING AND ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE ___ DAY OF ___, ___.

WITNESS OUR HANDS, THIS ___ DAY OF ___, ___.

PLANNING & ZONING COMMISSION, CHAIRMAN DIRECTOR OF PLANNING AND ZONING



Kimley-Horn

13458 NOEL ROAD, TWO GALLERIA OFFICE TOWER
 SUITE 700, DALLAS, TX 75240
 PHONE: 972-770-1300 FAX: 972-239-3820
 WWW.KIMLEY-HORN.COM TX F-928 INC.
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PRELIMINARY

DESIGNED BY TAD
 DATE 06/26/2024
 SCALE AS SHOWN
 DRAWN BY AKA
 CHECKED BY NMH

PROJECT SATURN
 CITY OF ROCKWALL
 ROCKWALL COUNTY, TEXAS

PHOTOMETRIC DETAILS

SHEET NUMBER
E-103

REVISIONS

DATE



d^{series}

D-Series Size 1 LED Wall Luminaire



Catalog
Number

Notes

Type

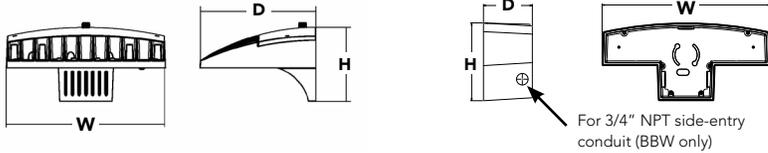
Hit the Tab key or mouse over the page to see all interactive elements.

Specifications Luminaire

Width:	13-3/4" (34.9 cm)	Weight:	12 lbs (5.4 kg)
Depth:	10" (25.4 cm)		
Height:	6-3/8" (16.2 cm)		

Back Box (BBW, E20WC)

Width:	13-3/4" (34.9 cm)	BBW Weight:	5 lbs (2.3 kg)
Depth:	4" (10.2 cm)	E20WC Weight:	10 lbs (4.5 kg)
Height:	6-3/8" (16.2 cm)		



Introduction

The D-Series Wall luminaire is a stylish, fully integrated LED solution for building-mount applications. It features a sleek, modern design and is carefully engineered to provide long-lasting, energy-efficient lighting with a variety of optical and control options for customized performance.

With an expected service life of over 20 years of nighttime use and up to 74% in energy savings over comparable 250W metal halide luminaires, the D-Series Wall is a reliable, low-maintenance lighting solution that produces sites that are exceptionally illuminated.

Ordering Information

EXAMPLE: DSXW1 LED 20C 1000 40K T3M MVOLT DBTDX

Series	LEDs	Drive Current	Color temperature	Distribution	Voltage	Mounting	Control Options
DSXW1 LED	10C 10 LEDs (one engine) 20C 20 LEDs (two engines) ¹	350 350 mA 530 530 mA 700 700 mA 1000 1000 mA (1 A) ¹	30K 3000 K 40K 4000 K 50K 5000 K AMBPC Amber phosphor converted	T2S Type II Short T2M Type II Medium T3S Type III Short T3M Type III Medium T4M Type IV Medium TFTM Forward Throw Medium	MVOLT ² 120 ³ 208 ³ 240 ³ 277 ³ 347 ^{3,4} 480 ^{3,4}	Shipped included (blank) Surface mounting bracket BBW Surface-mounted back box (for conduit entry) ⁵	Shipped installed PE Photoelectric cell, button type ⁶ DMG 0-10v dimming wires pulled outside fixture (for use with an external control, ordered separately) PIR 180° motion/ambient light sensor, <15' mtg ht ^{1,7} PIRH 180° motion/ambient light sensor, 15-30' mtg ht ^{1,7} PIR1FC3V Motion/ambient sensor, 8-15' mounting height, ambient sensor enabled at 1fc ^{1,7} PIRH1FC3V Motion/ambient sensor, 15-30' mounting height, ambient sensor enabled at 1fc ^{1,7} E20WC Emergency battery backup (includes external component enclosure), CA Title 20 compliant ^{8,9}

Other Options	Finish (required)
Shipped installed	Shipped separately ¹¹
SF Single fuse (120, 277 or 347V) ^{3,10}	BSW Bird-deterrent spikes
DF Double fuse (208, 240 or 480V) ^{3,10}	VG Vandal guard
HS House-side shield ¹¹	DDL Diffused drop lens
SPD Separate surge protection ¹²	
	DDBXD Dark bronze
	DBLXD Black
	DNAXD Natural aluminum
	DWHXD White
	DSSXD Sandstone
	DSSTXD Textured sandstone
	DBTDX Textured dark bronze
	DBLXD Textured black
	DNATXD Textured natural aluminum
	DWHGXD Textured white

Accessories

Ordered and shipped separately.

DSXWHS U	House-side shield (one per light engine)
DSXWBSW U	Bird-deterrent spikes
DSXW1VG U	Vandal guard accessory

NOTES

- 20C 1000 is not available with PIR, PIRH, PIR1FC3V or PIRH1FC3V.
- MVOLT driver operates on any line voltage from 120-277V (50/60 Hz).
- Single fuse (SF) requires 120, 277 or 347 voltage option. Double fuse (DF) requires 208, 240 or 480 voltage option.
- Only available with 20C, 700mA or 1000mA. Not available with PIR or PIRH.
- Back box ships installed on fixture. Cannot be field installed. Cannot be ordered as an accessory.
- Photocontrol (PE) requires 120, 208, 240, 277 or 347 voltage option. Not available with motion/ambient light sensors (PIR or PIRH).
- Reference Motion Sensor table on page 3.

- Same as old ELCW. Cold weather (-20C) rated. Not compatible with conduit entry applications. Not available with BBW mounting option. Not available with fusing. Not available with 347 or 480 voltage options. Emergency components located in back box housing. Emergency mode IES files located on product page at www.lithonia.com
- Not available with SPD.
- Not available with E20WC.
- Also available as a separate accessory; see Accessories information.
- Not available with E20WC.



Performance Data

Lumen Output

Lumen values are from photometric tests performed in accordance with IESNA LM-79-08. Contact factory for performance data on any configurations not shown here.

LEDs	Drive Current (mA)	System Watts	Dist. Type	30K (3000 K, 70CRI)					40K (4000 K, 70CRI)					50K (5000 K, 70CRI)					AMBPC (Amber Phosphor Converted)				
				Lumens	B	U	G	LPW	Lumens	B	U	G	LPW	Lumens	B	U	G	LPW	Lumens	B	U	G	LPW
10C (10 LEDs)	350mA	13W	T2S	1,415	0	0	1	109	1,520	0	0	1	117	1,530	0	0	1	118	894	0	0	1	69
			T2M	1,349	0	0	1	104	1,448	0	0	1	111	1,458	0	0	1	112	852	0	0	1	66
			T3S	1,399	0	0	1	108	1,503	0	0	1	116	1,512	0	0	1	116	884	0	0	1	68
			T3M	1,385	0	0	1	107	1,488	0	0	1	114	1,497	0	0	1	115	876	0	0	1	67
			T4M	1,357	0	0	1	104	1,458	0	0	1	112	1,467	0	0	1	113	858	0	0	1	66
			TFTM	1,411	0	0	1	109	1,515	0	0	1	117	1,525	0	0	1	117	892	0	0	1	69
	530 mA	19W	T2S	2,053	1	0	1	108	2,205	1	0	1	116	2,220	1	0	1	117	1,264	0	0	1	67
			T2M	1,957	1	0	1	103	2,102	1	0	1	111	2,115	1	0	1	111	1,205	0	0	1	63
			T3S	2,031	1	0	1	107	2,181	1	0	1	115	2,194	1	0	1	115	1,250	0	0	1	66
			T3M	2,010	1	0	1	106	2,159	1	0	1	114	2,172	1	0	1	114	1,237	0	0	1	65
			T4M	1,970	1	0	1	104	2,115	1	0	1	111	2,129	1	0	1	112	1,212	0	0	1	64
			TFTM	2,047	0	0	1	108	2,198	1	0	1	116	2,212	1	0	1	116	1,260	0	0	1	66
	700 mA	26W	T2S	2,623	1	0	1	101	2,816	1	0	1	108	2,834	1	0	1	109	1,544	0	0	1	59
			T2M	2,499	1	0	1	96	2,684	1	0	1	103	2,701	1	0	1	104	1,472	0	0	1	57
			T3S	2,593	1	0	1	100	2,785	1	0	1	107	2,802	1	0	1	108	1,527	0	0	1	59
			T3M	2,567	1	0	1	99	2,757	1	0	1	106	2,774	1	0	1	107	1,512	0	0	1	58
			T4M	2,515	1	0	1	97	2,701	1	0	1	104	2,718	1	0	1	105	1,481	0	0	1	57
			TFTM	2,614	1	0	1	101	2,808	1	0	1	108	2,825	1	0	1	109	1,539	0	0	1	59
	1000 mA	39W	T2S	3,685	1	0	1	94	3,957	1	0	1	101	3,982	1	0	1	102	2,235	1	0	1	57
			T2M	3,512	1	0	1	90	3,771	1	0	1	97	3,794	1	0	1	97	2,130	1	0	1	55
			T3S	3,644	1	0	1	93	3,913	1	0	1	100	3,938	1	0	1	101	2,210	1	0	1	57
			T3M	3,607	1	0	1	92	3,873	1	0	1	99	3,898	1	0	1	100	2,187	1	0	1	56
			T4M	3,534	1	0	2	91	3,796	1	0	2	97	3,819	1	0	2	98	2,143	1	0	1	55
			TFTM	3,673	1	0	1	94	3,945	1	0	1	101	3,969	1	0	1	102	2,228	1	0	1	57
20C (20 LEDs)	350mA	23W	T2S	2,820	1	0	1	123	3,028	1	0	1	132	3,047	1	0	1	132	1,777	1	0	1	77
			T2M	2,688	1	0	1	117	2,886	1	0	1	125	2,904	1	0	1	126	1,693	1	0	1	74
			T3S	2,789	1	0	1	121	2,994	1	0	1	130	3,014	1	0	1	131	1,757	0	0	1	76
			T3M	2,760	1	0	1	120	2,965	1	0	1	129	2,983	1	0	1	130	1,739	1	0	1	76
			T4M	2,704	1	0	1	118	2,905	1	0	1	126	2,922	1	0	1	127	1,704	1	0	1	74
			TFTM	2,811	1	0	1	122	3,019	1	0	1	131	3,038	1	0	1	132	1,771	0	0	1	77
	530 mA	35W	T2S	4,079	1	0	1	117	4,380	1	0	1	125	4,407	1	0	1	126	2,504	1	0	1	72
			T2M	3,887	1	0	1	111	4,174	1	0	1	119	4,201	1	0	1	120	2,387	1	0	1	68
			T3S	4,033	1	0	1	115	4,331	1	0	1	124	4,359	1	0	1	125	2,477	1	0	1	71
			T3M	3,993	1	0	2	114	4,288	1	0	2	123	4,315	1	0	2	123	2,451	1	0	1	70
			T4M	3,912	1	0	2	112	4,201	1	0	2	120	4,227	1	0	2	121	2,402	1	0	1	69
			TFTM	4,066	1	0	2	116	4,366	1	0	2	125	4,394	1	0	2	126	2,496	1	0	1	71
	700 mA	46W	T2S	5,188	1	0	1	113	5,572	1	0	1	121	5,607	1	0	1	122	3,065	1	0	1	67
			T2M	4,945	1	0	2	108	5,309	1	0	2	115	5,343	1	0	2	116	2,921	1	0	1	64
			T3S	5,131	1	0	2	112	5,510	1	0	2	120	5,544	1	0	2	121	3,031	1	0	1	66
			T3M	5,078	1	0	2	110	5,454	1	0	2	119	5,487	1	0	2	119	3,000	1	0	1	65
			T4M	4,975	1	0	2	108	5,343	1	0	2	116	5,376	1	0	2	117	2,939	1	0	1	64
			TFTM	5,172	1	0	2	112	5,554	1	0	2	121	5,589	1	0	2	122	3,055	1	0	1	66
	1000 mA	73W	T2S	7,204	1	0	2	99	7,736	2	0	2	106	7,784	2	0	2	107	4,429	1	0	1	61
			T2M	6,865	1	0	2	94	7,373	2	0	2	101	7,419	2	0	2	102	4,221	1	0	1	58
			T3S	7,125	1	0	2	98	7,651	1	0	2	105	7,698	1	0	2	105	4,380	1	0	1	60
			T3M	7,052	1	0	2	97	7,573	2	0	2	104	7,620	2	0	2	104	4,335	1	0	2	59
			T4M	6,909	1	0	2	95	7,420	1	0	2	102	7,466	1	0	2	102	4,248	1	0	2	58
			TFTM	7,182	1	0	2	98	7,712	1	0	2	106	7,761	1	0	2	106	4,415	1	0	2	60

Performance Data

Lumen Ambient Temperature (LAT) Multipliers

Use these factors to determine relative lumen output for average ambient temperatures from 0-40°C (32-104°F).

Ambient		Lumen Multiplier
0°C	32°F	1.02
10°C	50°F	1.01
20°C	68°F	1.00
25°C	77°F	1.00
30°C	86°F	1.00
40°C	104°F	0.98

Projected LED Lumen Maintenance

Data references the extrapolated performance projections for the **DSXW1 LED 20C 1000** platform in a **25°C ambient**, based on 10,000 hours of LED testing (tested per IESNA LM-80-08 and projected per IESNA TM-21-11).

To calculate LLF, use the lumen maintenance factor that corresponds to the desired number of operating hours below. For other lumen maintenance values, contact factory.

Operating Hours	0	25,000	50,000	100,000
Lumen Maintenance Factor	1.0	0.95	0.93	0.88

Electrical Load

LEDs	Drive Current (mA)	System Watts	Current (A)					
			120V	208V	240V	277V	347V	480V
10C	350	14 W	0.13	0.07	0.06	0.06	-	-
	530	20 W	0.19	0.11	0.09	0.08	-	-
	700	27 W	0.25	0.14	0.13	0.11	-	-
	1000	40 W	0.37	0.21	0.19	0.16	-	-
20C	350	24 W	0.23	0.13	0.12	0.10	-	-
	530	36 W	0.33	0.19	0.17	0.14	-	-
	700	47 W	0.44	0.25	0.22	0.19	0.15	0.11
	1000	74 W	0.69	0.40	0.35	0.30	0.23	0.17

Motion Sensor Default Settings

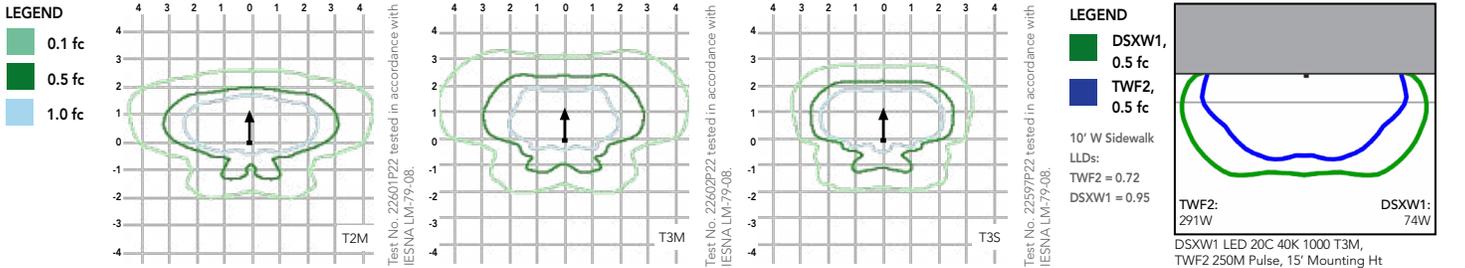
Option	Dimmed State	High Level (when triggered)	Photocell Operation	Dwell Time	Ramp-up Time	Ramp-down Time
PIR or PIRH	3V (37%) Output	10V (100%) Output	Enabled @ 5FC	5 min	3 sec	5 min
*PIR1FC3V or PIRH1FC3V	3V (37%) Output	10V (100%) Output	Enabled @ 1FC	5 min	3 sec	5 min

*For use when motion sensor is used as dusk to dawn control

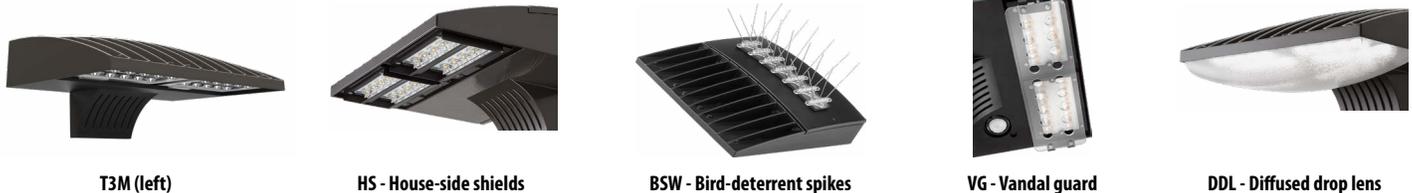
Photometric Diagrams

To see complete photometric reports or download .ies files for this product, visit Lithonia Lighting's [D-Series Wall Size 1 homepage](#).

Isfootcandle plots for the DSXW1 LED 20C 1000 40K. Distances are in units of mounting height (15').



Options and Accessories



FEATURES & SPECIFICATIONS

INTENDED USE

The energy savings, long life and easy-to-install design of the D-Series Wall Size 1 make it the smart choice for building-mounted doorway and pathway illumination for nearly any facility.

CONSTRUCTION

Two-piece die-cast aluminum housing has integral heat sink fins to optimize thermal management through conductive and convective cooling. Modular design allows for ease of maintenance. The LED driver is mounted to the door to thermally isolate it from the light engines for low operating temperature and long life. Housing is completely sealed against moisture and environmental contaminants (IP65).

FINISH

Exterior parts are protected by a zinc-infused Super Durable TGIC thermoset powder coat finish that provides superior resistance to corrosion and weathering. A tightly controlled multi-stage process ensures a minimum 3 mils thickness for a finish that can withstand extreme climate changes without cracking or peeling. Available in textured and non-textured finishes.

OPTICS

Precision-molded proprietary acrylic lenses provide multiple photometric distributions tailored specifically to building mounted applications. Light engines are available in 3000 K (70 min. CRI), 4000 K (70 min. CRI) or 5000 K (70 min. CRI) configurations.

ELECTRICAL

Light engine(s) consist of 10 high-efficacy LEDs mounted to a metal-core circuit board to maximize heat dissipation and promote long life (L88/100,000 hrs at 25°C). Class 1 electronic drivers have a power factor >90%, THD <20%, and a minimum 2.5KV surge rating. When ordering the SPD option, a separate surge protection device is installed within the luminaire which meets a minimum Category C Low (per ANSI/IEEE C62.41.2).

INSTALLATION

Included universal mounting bracket attaches securely to any 4" round or square outlet box for quick and easy installation. Luminaire has a slotted gasket wireway and attaches to the mounting bracket via corrosion-resistant screws.

LISTINGS

CSA certified to U.S. and Canadian standards. Rated for -40°C minimum ambient.

GOVERNMENT PROCUREMENT

BAA – Buy America(n) Act: Product qualifies as a domestic end product under the Buy American Act as implemented in the FAR and DFARS. Product also qualifies as manufactured in the United States under DOT Buy America regulations.
BABA – Build America Buy America: Product qualifies as produced in the United States under the definitions of the Build America, Buy America Act.
Please refer to www.acuitybrands.com/buy-american for additional information.

WARRANTY

Five-year limited warranty. This is the only warranty provided and no other statements in this specification sheet create any warranty of any kind. All other express and implied warranties are disclaimed. Complete warranty terms located at: www.acuitybrands.com/support/warranty/terms-and-conditions

Note: Actual performance may differ as a result of end-user environment and application. All values are design or typical values, measured under laboratory conditions at 25 °C. Specifications subject to change without notice.





D-Series Size 2 LED Wall Luminaire



d⁺series

Specifications Luminaire

Width: 18-1/2" (47.0 cm) **Weight:** 21 lbs (9.5 kg)

Depth: 10" (25.4 cm)

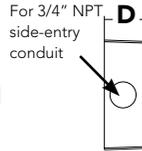
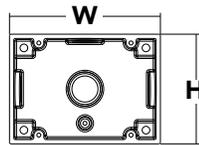
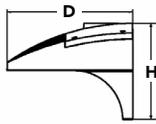
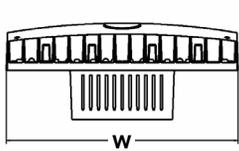
Height: 7-5/8" (19.4 cm)

Back Box (BBW)

Width: 5-1/2" (14.0 cm) **BBW Weight:** 1 lbs (0.5 kg)

Depth: 1-1/2" (3.8 cm)

Height: 4" (10.2 cm)



Catalog Number

Notes

Type

Hit the Tab key or mouse over the page to see all interactive elements.

A+ Capable Luminaire

This item is an A+ capable luminaire, which has been designed and tested to provide consistent color appearance and system-level interoperability.

- All configurations of this luminaire meet the Acuity Brands' specification for chromatic consistency
- This luminaire is A+ Certified when ordered with DTL® controls marked by a **shaded background**. DTL DLL equipped luminaires meet the A+ specification for luminaire to photocontrol interoperability¹
- This luminaire is part of an A+ Certified solution for ROAM® or XPoint™ Wireless control networks, providing out-of-the-box control compatibility with simple commissioning, when ordered with drivers and control options marked by a **shaded background**¹

To learn more about A+, visit www.acuitybrands.com/aplus.

1. See ordering tree for details.
2. A+ Certified Solutions for ROAM require the order of one ROAM node per luminaire. Sold Separately: [Link to Roam](#); [Link to DTL DLL](#)



A+ Capable options indicated by this color background.

Ordering Information

EXAMPLE: DSXW2 LED 30C 700 40K T3M MVOLT DDBTXD

DSXW2 LED										
Series	LEDs	Drive Current		Color temperature		Distribution	Voltage	Mounting	Control Options	
DSXW2 LED	20C	20 LEDs (two engines)	350	350 mA	30K	3000 K	T2S	MVOLT ³	Shipped included (blank) Surface mounting bracket	Shipped installed PE Photoelectric cell, button type ⁷ PER NEMA twist-lock receptacle only (control ordered separately) ⁸ PER5 Five-wire receptacle only (control ordered separately) ^{8,9} PER7 Seven-wire receptacle only (control ordered separately) ^{8,9}
	30C	30 LEDs (three engines)	530	530 mA	40K	4000 K	T2M			
			700	700 mA	50K	5000 K	T3S	208 ⁴	Shipped separately⁶ BBW Surface-mounted back box (for conduit entry)	
			1000	1000 mA ¹ (1 A)	AMBPC	Amber phosphor converted ²	T3M	240 ⁴		
							T4M	277 ⁴		
							TFTM	347 ^{4,5}		
								480 ^{4,5}		

Other Options	Finish (required)
Shipped installed SF Single fuse (120, 277, 347V) ³ DF Double fuse (208, 240, 480V) ³ HS House-side shield ⁴ SPD Separate surge protection ¹³	DDBXD Dark bronze DBLXD Black DNAXD Natural aluminum DWHXD White DSSXD Sandstone DDBTXD Textured dark bronze DBLBXD Textured black DNATXD Textured natural aluminum DWHGXD Textured white DSSTXD Textured sandstone



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DSXW2-LED
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Ordering Information

Accessories

Ordered and shipped separately.

DLL127F 1.5 JU	Photocell - SSL twist-lock (120-277V) ¹⁴
DLL347F 1.5 CUL JU	Photocell - SSL twist-lock (347V) ¹⁴
DLL480F 1.5 CUL JU	Photocell - SSL twist-lock (480V) ¹⁴
DSHORT SBK U	Shorting cap (Included when ordering PER, PERS or PER7) ¹⁴
DSXWHS U	House-side shield (one per light engine)
DSXWBSW U	Bird-deterrent spikes
DSXW2VG U	Vandal guard accessory
DSXW2BBW	Back box accessory
DBXD U	(specify finish)

For more control options, visit [DTL](#) and [ROAM](#) online.

NOTES

- 1000mA is not available with AMBPC.
- AMBPC is not available with 1000mA.
- MVOLT driver operates on any line voltage from 120-277V (50/60 Hz).
- Single fuse (SF) requires 120, 277 or 347 voltage option. Double fuse (DF) requires 208, 240 or 480 voltage option.
- Available with 30 LED/700mA options only (DSXW2 LED 30C 700). DMG option not available.
- Also available as a separate accessory; see Accessories information.
- Photocontrol (PE) requires 120, 208, 240, 277 or 347 voltage option. Not available with motion/ambient light sensors (PIR or PIRH).
- Photocell ordered and shipped as a separate line item from Acuity Brands Controls. See accessories. Shorting Cap included.
- If ROAM® node required, it must be ordered and shipped as a separate line item from Acuity Brands Controls. Shorting Cap included.
- Reference Motion Sensor table on page 3.
- Reference PER Table on page 3 for functionality.
- PIR and PIR1FC3V specify the [SensorSwitch SBGR-10-ODP](#) control; PIRH and PIRH1FC3V specify the [SensorSwitch SBGR-6-ODP](#) control; see [Motion Sensor Guide](#) for details. Dimming driver standard. Not available with PER5 or PER7. Separate on/off required.
- See the electrical section on page 2 for more details.
- Requires luminaire to be specified with PER option. Ordered and shipped as a separate line item. See PER Table.

Performance Data

Lumen Output

Lumen values are from photometric tests performed in accordance with IESNA LM-79-08.

LEDs	Drive Current (mA)	System Watts	Dist. Type	30K					40K					50K				
				Lumens	B	U	G	LPW	Lumens	B	U	G	LPW	Lumens	B	U	G	LPW
(20 LEDs)	350 mA	25W	T2S	2,783	1	0	1	111	2,989	1	0	1	120	3,008	1	0	1	120
			T2M	2,709	1	0	1	108	2,908	1	0	1	116	2,926	1	0	1	117
			T3S	2,748	1	0	1	110	2,951	1	0	1	118	2,969	1	0	1	119
			T3M	2,793	1	0	1	112	2,999	1	0	1	120	3,018	1	0	1	121
			T4M	2,756	1	0	1	110	2,959	1	0	1	118	2,977	1	0	1	119
			TFTM	2,753	1	0	1	110	2,956	1	0	1	118	2,975	1	0	1	119
	530 mA	36W	T2S	4,030	1	0	1	112	4,327	1	0	1	120	4,354	1	0	1	121
			T2M	3,920	1	0	1	109	4,210	1	0	1	117	4,236	1	0	1	118
			T3S	3,978	1	0	1	111	4,272	1	0	1	119	4,299	1	0	1	119
			T3M	4,044	1	0	2	112	4,343	1	0	2	121	4,370	1	0	2	121
			T4M	3,990	1	0	1	111	4,284	1	0	1	119	4,310	1	0	1	120
			TFTM	3,987	1	0	1	111	4,281	1	0	1	119	4,308	1	0	1	120
	700 mA	47W	T2S	5,130	1	0	1	109	5,509	1	0	1	117	5,544	1	0	1	118
			T2M	4,991	1	0	2	106	5,360	1	0	2	114	5,393	1	0	2	115
			T3S	5,066	1	0	1	108	5,440	1	0	1	116	5,474	1	0	1	116
			T3M	5,148	1	0	2	110	5,529	1	0	2	118	5,563	1	0	2	118
			T4M	5,080	1	0	2	108	5,455	1	0	2	116	5,488	1	0	2	117
			TFTM	5,075	1	0	2	108	5,450	1	0	2	116	5,484	1	0	2	117
	1000 mA	73W	T2S	7,147	2	0	2	98	7,675	2	0	2	105	7,723	1	0	1	104
			T2M	6,954	2	0	2	95	7,467	2	0	2	102	7,514	2	0	2	103
			T3S	7,057	1	0	2	97	7,579	1	0	2	104	7,627	1	0	2	104
			T3M	7,172	2	0	3	98	7,702	2	0	3	106	7,751	2	0	3	106
			T4M	7,076	1	0	2	97	7,599	1	0	2	104	7,646	1	0	2	105
			TFTM	7,071	1	0	2	97	7,594	1	0	2	104	7,641	1	0	2	105
(30 LEDs)	350 mA	36W	T2S	4,160	1	0	1	116	4,467	1	0	1	124	4,494	1	0	1	125
			T2M	4,048	1	0	1	112	4,346	1	0	2	121	4,373	1	0	2	121
			T3S	4,108	1	0	1	114	4,411	1	0	1	123	4,438	1	0	1	123
			T3M	4,174	1	0	2	116	4,483	1	0	2	125	4,510	1	0	2	125
			T4M	4,119	1	0	1	114	4,423	1	0	2	123	4,450	1	0	2	124
			TFTM	4,115	1	0	1	114	4,419	1	0	1	123	4,446	1	0	1	124
	530 mA	54W	T2S	6,001	1	0	1	111	6,444	1	0	1	119	6,484	1	0	1	120
			T2M	5,838	1	0	2	108	6,270	2	0	2	116	6,308	2	0	2	117
			T3S	5,926	1	0	2	110	6,364	1	0	2	118	6,403	1	0	2	119
			T3M	6,023	1	0	2	112	6,467	1	0	2	120	6,507	1	0	2	121
			T4M	5,942	1	0	2	110	6,380	1	0	2	118	6,420	1	0	2	119
			TFTM	5,937	1	0	2	110	6,376	1	0	2	118	6,415	1	0	2	119
	700 mA	71W	T2S	7,403	2	0	2	104	8,170	2	0	2	115	8,221	2	0	2	116
			T2M	7,609	2	0	2	107	7,949	2	0	2	112	7,998	2	0	2	113
			T3S	7,513	1	0	2	106	8,068	1	0	2	114	8,118	1	0	2	114
			T3M	7,635	2	0	3	108	8,199	2	0	3	115	8,250	2	0	3	116
			T4M	7,534	1	0	2	106	8,089	1	0	2	114	8,140	1	0	2	115
			TFTM	7,527	1	0	2	106	8,082	2	0	2	114	8,134	2	0	2	115
	1000 mA	109W	T2S	10,468	2	0	2	96	11,241	2	0	2	103	11,311	2	0	2	104
			T2M	10,184	2	0	3	93	10,936	2	0	3	100	11,005	2	0	3	101
			T3S	10,335	2	0	2	95	11,099	2	0	2	102	11,169	2	0	2	102
			T3M	10,505	2	0	3	96	11,280	2	0	3	103	11,351	2	0	3	104
			T4M	10,365	2	0	2	95	11,129	2	0	2	102	11,198	2	0	2	103
			TFTM	10,356	2	0	2	95	11,121	2	0	3	102	11,190	2	0	3	103

Note: Available with phosphor-converted amber LED's (nomenclature AMBPC). These LED's produce light with 97+% >530 nm. Output can be calculated by applying a 0.7 factor to 4000 K lumen values and photometric files.



Performance Data

Lumen Ambient Temperature (LAT) Multipliers

Use these factors to determine relative lumen output for average ambient temperatures from 0-40°C (32-104°F).

Ambient		Lumen Multiplier
0°C	32°F	1.02
10°C	50°F	1.01
20°C	68°F	1.00
25°C	77°F	1.00
30°C	86°F	1.00
40°C	104°F	0.98

Electrical Load

LEDs	Drive Current (mA)	System Watts	Current (A)					
			120V	208V	240V	277V	347V	480V
20C	350	25 W	0.23	0.13	0.12	0.10	-	-
	530	36 W	0.33	0.19	0.17	0.14	-	-
	700	47 W	0.44	0.25	0.22	0.19	-	-
	1000	74 W	0.68	0.39	0.34	0.29	-	-
30C	350	36 W	0.33	0.19	0.17	0.14	-	-
	530	54 W	0.50	0.29	0.25	0.22	-	-
	700	71 W	0.66	0.38	0.33	0.28	0.23	0.16
	1000	109 W	1.01	0.58	0.50	0.44	-	-

Projected LED Lumen Maintenance

Data references the extrapolated performance projections for the **DSXW2 LED 30C 1000** platform in a **25°C ambient**, based on 10,000 hours of LED testing (tested per IESNA LM-80-08 and projected per IESNA TM-21-11).

To calculate LLF, use the lumen maintenance factor that corresponds to the desired number of operating hours below. For other lumen maintenance values, contact factory.

Operating Hours	0	25,000	50,000	100,000
Lumen Maintenance Factor	1.0	0.95	0.92	0.87

Motion Sensor Default Settings

Option	Dimmed State	High Level (when triggered)	Photocell Operation	Dwell Time	Ramp-up Time	Ramp-down Time
PIR or PIRH	3V (37%) Output	10V (100%) Output	Enabled @ 5FC	5 min	3 sec	5 min
*PIR1FC3V or PIRH1FC3V	3V (37%) Output	10V (100%) Output	Enabled @ 1FC	5 min	3 sec	5 min

*For use when motion sensor is used as dusk to dawn control

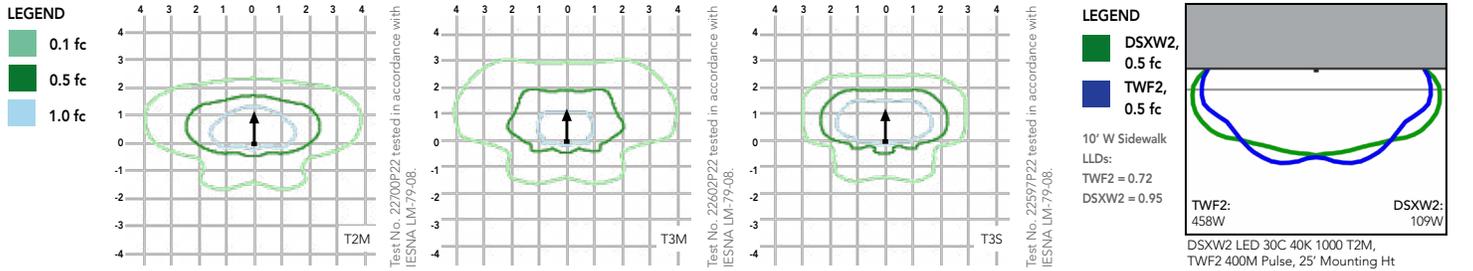
PER Table

Control	PER (3 wire)	PER5 (5 wire)		PER7 (7 wire)		
			Wire 4/Wire5		Wire 4/Wire5	Wire 6/Wire7
Photocontrol Only (On/Off)	✓	⚠	Wired to dimming leads on driver	⚠	Wired to dimming leads on driver	Wires Capped inside fixture
ROAM	⊘	✓	Wired to dimming leads on driver	⚠	Wired to dimming leads on driver	Wires Capped inside fixture
ROAM with Motion	⊘	⚠	Wired to dimming leads on driver	⚠	Wired to dimming leads on driver	Wires Capped inside fixture
Futureproof*	⊘	⚠	Wired to dimming leads on driver	✓	Wired to dimming leads on driver	Wires Capped inside fixture
Futureproof* with Motion	⊘	⚠	Wired to dimming leads on driver	✓	Wired to dimming leads on driver	Wires Capped inside fixture

-  Recommended
-  Will not work
-  Alternate

*Futureproof means: Ability to change controls in the future.

Isofootcandle plots for the DSXW2 LED 30C 1000 40K. Distances are in units of mounting height (25').



FEATURES & SPECIFICATIONS

INTENDED USE

The energy savings, long life and easy-to-install design of the D-Series Wall Size 2 make it the smart choice for building-mounted doorway and pathway illumination for nearly any facility.

CONSTRUCTION

Two-piece die-cast aluminum housing has integral heat sink fins to optimize thermal management through conductive and convective cooling. Modular design allows for ease of maintenance. The LED driver is mounted to the door to thermally isolate it from the light engines for low operating temperature and long life. Housing is completely sealed against moisture and environmental contaminants (IP65).

FINISH

Exterior parts are protected by a zinc-infused Super Durable TGIC thermoset powder coat finish that provides superior resistance to corrosion and weathering. A tightly controlled multi-stage process ensures a minimum 3 mils thickness for a finish that can withstand extreme climate changes without cracking or peeling. Available in textured and non-textured finishes.

OPTICS

Precision-molded proprietary acrylic lenses provide multiple photometric distributions tailored specifically to building mounted applications. Light engines are available in 3000 K (70 min. CRI), 4000 K (70 min. CRI) or 5000 K (70 min. CRI) configurations.

ELECTRICAL

Light engine(s) consist of 10 high-efficacy LEDs mounted to a metal-core circuit board to maximize heat dissipation and promote long life (L87/100,000 hrs at 25°C). Class 1 electronic drivers have a power factor >90%, THD <20%, and a minimum 2.5KV surge rating. When ordering the SPD option, a separate surge protection device is installed within the luminaire which meets a minimum Category C Low (per ANSI/IEEE C62.41.2).

INSTALLATION

Included universal mounting bracket attaches securely to any 4" round or square outlet box for quick and easy installation. Luminaire has a slotted gasket wireway and attaches to the mounting bracket via corrosion-resistant screws.

LISTINGS

CSA certified to U.S. and Canadian standards. Rated for -40°C minimum ambient.

GOVERNMENT PROCUREMENT

BAA – Buy America(n) Act: Product qualifies as a domestic end product under the Buy American Act as implemented in the FAR and DFARS. Product also qualifies as manufactured in the United States under DOT Buy America regulations.

BABA – Build America Buy America: Product qualifies as produced in the United States under the definitions of the Build America, Buy America Act.

Please refer to www.acuitybrands.com/buy-american for additional information.

WARRANTY

Five-year limited warranty. This is the only warranty provided and no other statements in this specification sheet create any warranty of any kind. All other express and implied warranties are disclaimed. Complete warranty terms located at www.acuitybrands.com/support/warranty/terms-and-conditions

Note: Actual performance may differ as a result of end-user environment and application. All values are design or typical values, measured under laboratory conditions at 25 °C. Specifications subject to change without notice.



CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION MEMORANDUM

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission
DATE: July 30, 2024
APPLICANT: David Lindsay; *Tri-Tex Construction, Inc.*
CASE NUMBER: MIS2024-014; *Exception to the Roof Materials for 955 Sids Road*

On August 15, 2023, the Planning and Zoning Commission approved a site plan [Case No. SP2023-024] and an exception to the articulation requirements to allow the construction of an *Office Building* on the subject property. In June 2024, the property owner approached staff indicating that they had intended on utilizing R-Panel metal roofing on the building in lieu of the approved standing seam metal roofing. Staff informed the applicant that they would need to go through the Exception process as R-Panel metal roofing requires an exception from the Planning and Zoning Commission.

On July 19, 2024, the applicant -- *David Lindsay* -- submitted a development application requesting approval of an Exception for the proposed *Office Building* on the subject property. As directed by staff, the applicant submitted a letter and updated building elevations with their request. Based on the letter provided by the applicant, they are requesting approval of an R-Panel metal roof in lieu of the standing seam metal roof that was approved with the original site plan [Case No. SP2023-024]. According to Subsection 04.01, *General Commercial District Standards*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC), "(m)etal roofs with lapped seam construction, bituminous built-up roofs, and/or flat membrane type roofs that are visible from adjacent properties or public right-of-way shall be prohibited." In this case, the applicant is requesting an exception to change the conforming black standing seam metal roof to the non-conforming R-Panel metal roof.

According to Subsection 09.01, *Exceptions to the General Standards*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC), "...an applicant may request the Planning and Zoning Commission grant an exception to the provisions contained in the Unified Development Code (UDC), where unique or extraordinary conditions exist or where strict adherence to the technical requirements of the Unified Development Code (UDC) would create an undue hardship." In addition, the code requires that applicants provide compensatory measures that directly offset the requested exception. In this case, the applicant is proposing to [1] replace the existing chain link fencing and gates with wrought iron, and [2] update the exterior materials on the existing building to match the new building. Requests for exceptions to the general standards are discretionary decisions for the Planning and Zoning Commission. Staff should also note that a supermajority vote (e.g. six [6] out of the seven [7] commissioners) -- with a minimum of four (4) votes in the affirmative -- is required for the approval of an exception. If the Planning and Zoning Commission approves the applicant's request, staff will require an updated site plan package (i.e. site plan showing the wrought iron fence and building elevations for the existing building) that show conformance to the proposed compensatory measures. Should the Planning and Zoning Commission have any questions concerning the applicant's request, staff and the applicant will be available at the July 30, 2024 Planning and Zoning Commission meeting.

PROJECT COMMENTS



CITY OF ROCKWALL
385 S. GOLIAD STREET
ROCKWALL, TEXAS 75087
PHONE: (972) 771-7700

DATE: 7/25/2024

PROJECT NUMBER: MIS2024-014
PROJECT NAME: Variance to the Roof Material Standards for 955 Sids
SITE ADDRESS/LOCATIONS: 955 SIDS RD

CASE CAPTION: Discuss and consider a request by David Lindsay of Tri-Tex Construction for the approval of a Miscellaneous Case for an Exception to the roof materials for an office building on a 1.50-acre tract of land identified as Tract 8-3 of the J. D. McFarland Survey, Abstract No. 145, City of Rockwall, Rockwall County, Texas, zoned Heavy Commercial (HC) District, addressed as 955 Sids Road, and take any action necessary.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
ENGINEERING	Madelyn Price	07/24/2024	Approved
No Comments			
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
BUILDING	Craig Foshee	07/22/2024	Approved
No Comments			
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
FIRE	Ariana Kistner	07/24/2024	Approved
No Comments			
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
GIS	Lance Singleton	07/22/2024	Approved
No Comments			
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
POLICE	Chris Cleveland	07/19/2024	Approved
No Comments			
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PARKS	Travis Sales	07/22/2024	Approved
No Comments			
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PLANNING	Henry Lee	07/25/2024	Approved w/ Comments

07/25/2024: Please address the following comments (M= Mandatory Comments; I = Informational Comments)

I.1 This is a request for the approval of a Miscellaneous Case for an Exception to the Roof Materials for an office building on a 1.50-acre tract of land identified as Tract 8-3 of the J. D. McFarland Survey, Abstract No. 145, City of Rockwall, Rockwall County, Texas, zoned Heavy Commercial (HC) District, addressed as 955 Sids Road.

I.2 For questions or comments concerning this case please contact Henry Lee in the Planning Department at (972) 772-6434 or email hlee@rockwall.com.

M.3 For reference, include the case number (MIS2024-014) in the lower right-hand corner of all pages of all revised plan submittals. (Subsection 01.02(D), Article 11, UDC)

M.4 Provide the standard signature block with signature space for the Planning and Zoning Chairman and the Planning Director on all pages of the plans. Also remove the red placeholder text from the signature block. (Subsection 03.04. A, of Article 11)

APPROVED:

I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the ____ day of _____, ____.

WITNESS OUR HANDS, this ____ day of _____, ____.

Planning & Zoning Commission, Chairman

Director of Planning and Zoning

M.5 Building Elevations:

1. According to Subsection 04.01, General Commercial District Standards, of Article 05, District Development Standards, of the Unified Development Code (UDC), metal roofs shall be standing seam. This will be an Exception. (Subsection 04.01, of Article 05, UDC)

2. Please update the Exterior Material Table to reflect the roof material and color being requested.

I.6 Staff has identified the following exceptions and variances associated with the proposed request: [1] Roof Material.

I.7 Please note the scheduled meetings for this case:

1) Planning & Zoning meeting will be held on July 30, 2024.

I.8 All meetings will be held in person and in the City's Council Chambers. All meetings listed above are scheduled to begin at 6:00 p.m. (P&Z). A representative must be present for these meetings.



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO.

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE)¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE)¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE)¹
- REPLAT (\$300.00 + \$20.00 ACRE)¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE)¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE)¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE)^{1 & 2}
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE)¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00)²

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.

²: A **\$1,000.00** FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 955 Sids Road

SUBDIVISION

LOT

BLOCK

GENERAL LOCATION Halfway between Fm 205 & Mamas

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING Heavy Commercial

CURRENT USE

PROPOSED ZONING Heavy Commercial

PROPOSED USE

Office / Commercial

ACREAGE

1.5 AC

LOTS [CURRENT]

1

LOTS [PROPOSED]

1

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER TRI-TEX Construction

APPLICANT

CONTACT PERSON DAVID LINDSAY

CONTACT PERSON

ADDRESS 955 Sids Rd

ADDRESS

Same

CITY, STATE & ZIP Rockwall tx 75032

CITY, STATE & ZIP

PHONE 214-460-0051

PHONE

E-MAIL David@Tri-Tex.com

E-MAIL

NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED David Lindsay [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ _____ TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 17 DAY OF July, 2024 BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 17 DAY OF July, 2024

OWNER'S SIGNATURE

David Lindsay

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

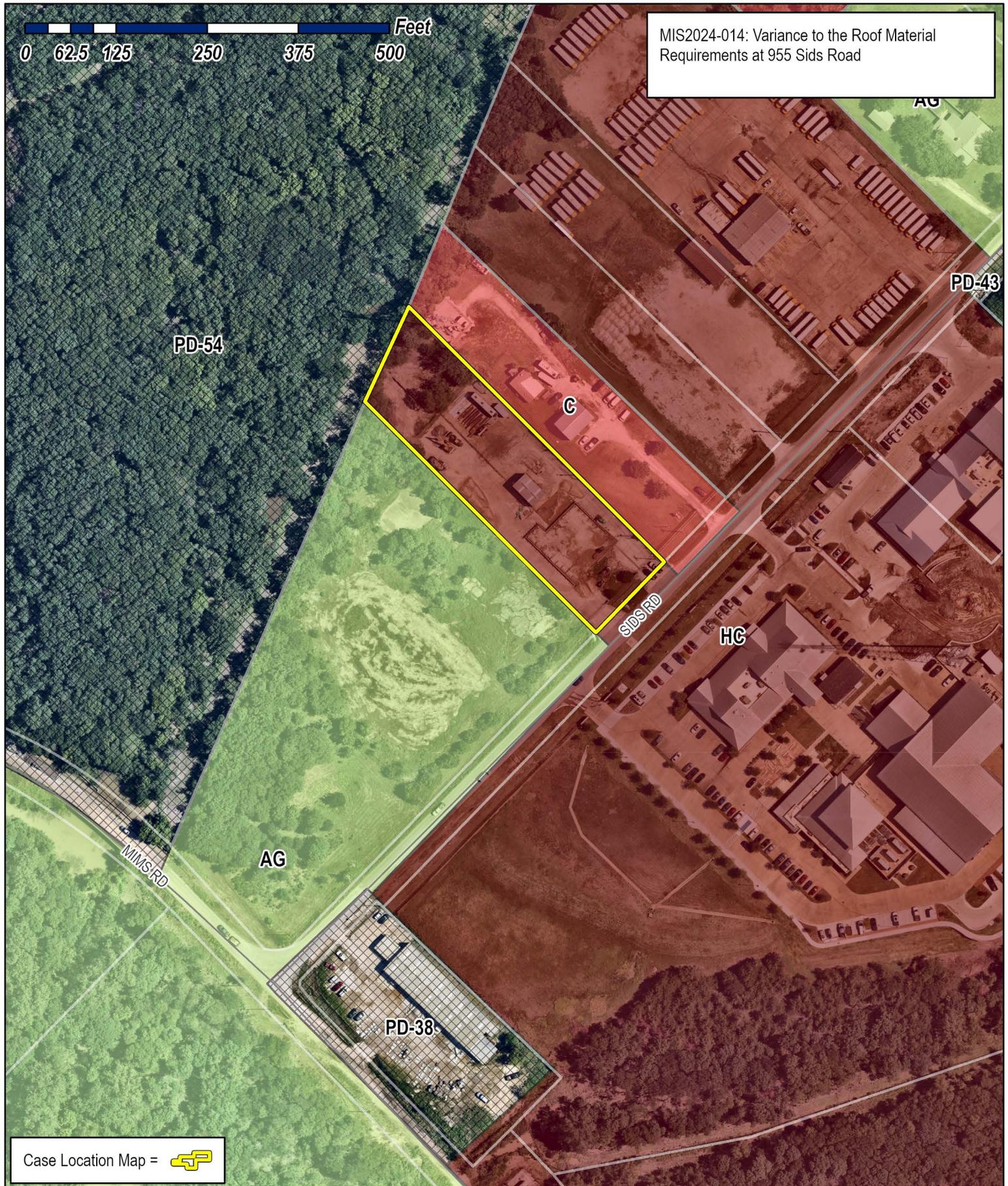
Terry Ottwell



MY COMMISSION EXPIRES 6-12-25



MIS2024-014: Variance to the Roof Material Requirements at 955 Sids Road



Case Location Map =



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



City of Rockwall
Planning and Zoning Dept.

Re: 955 Sids Road
Rockwall, Tx. 75032

I need to ask for a variance on the roofing material for my building. On the plans it calls out for stand and seam metal roofing. I am asking to use R-panel metal roofing instead. Originally on the plans I submitted they had R-Panel roofing shown and then city comments asked for the stand and seam material. At the time I was not aware of the change and that my architect had changed it, but once I spoke to Henry Lee we discussed it. I since have chased pricing on the materials and labor for the stand and seam / snap lock with multiple vendors and pricing has come back way more expensive than expected. It will add \$ 70, 000 to my already strained budget. If I have to proceed with this roofing material it will put a big financial burden on me and is financially prohibitive even before I get to all the costs for the rest of the construction.

If allowed this Variance I would be willing to:

1. Change out the old chain link fencing and gates with a new rod iron materials. I feel that this would make a bigger improvement to the look of the property.
2. Update the appearance to the existing building (shop) to match the new building.

Also, I believe that the building will look better if the materials for the roof matches the R-Panel side walls and because the color is black it will not look much different. Please keep in mind that all the other building on that street have R-Paneled roofs except Rayburn Electric but they do not have a metal building with R-Panels side walls.

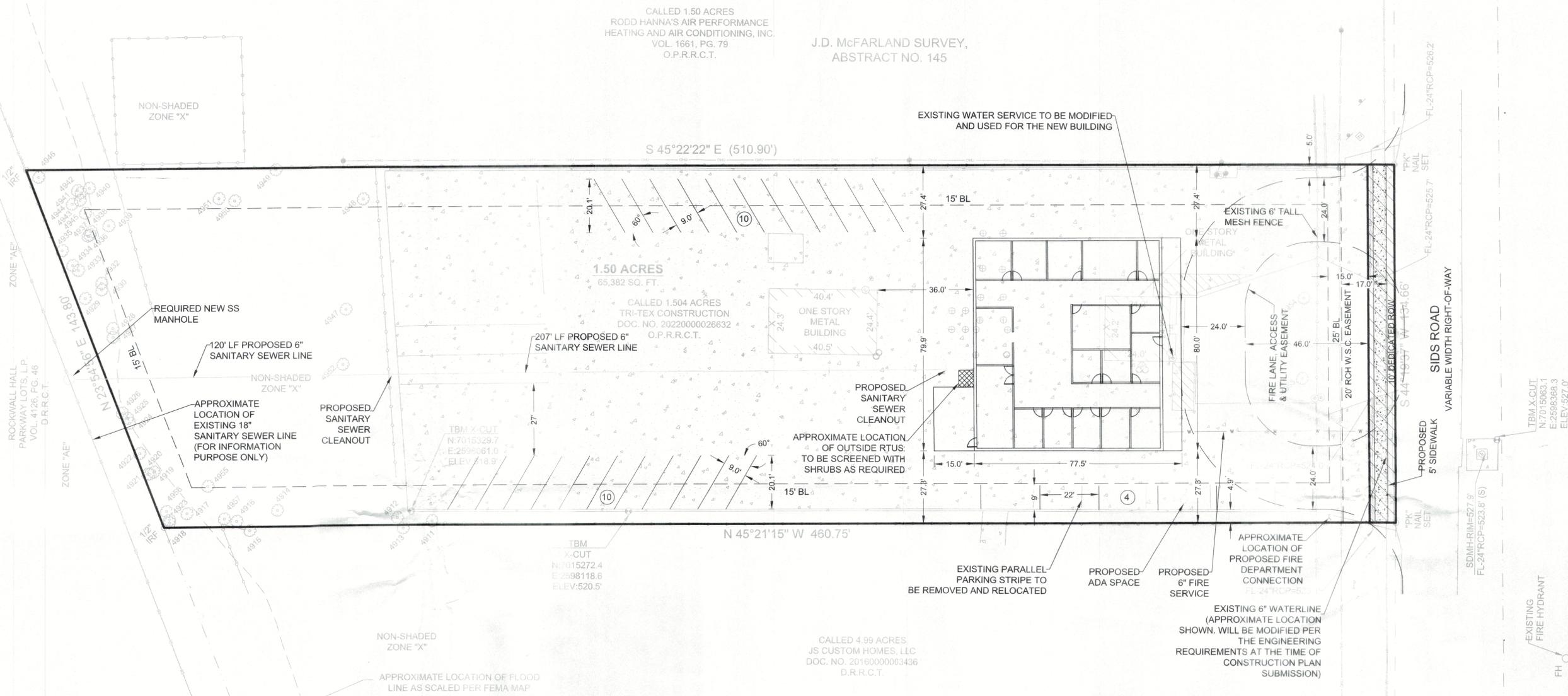
Thank you for your consideration in this matter.

David Lindsay

Tri-Tex Construction Inc.

955 Sids Road
Rockwall, Tx. 75032
(214) 460-0051

SITE PLAN



LOT AREA	1.50 ACRES
	65,382 SF
BUILDING COVERAGE:	5,600 SF

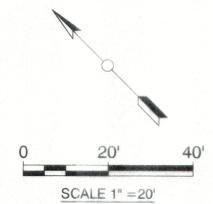
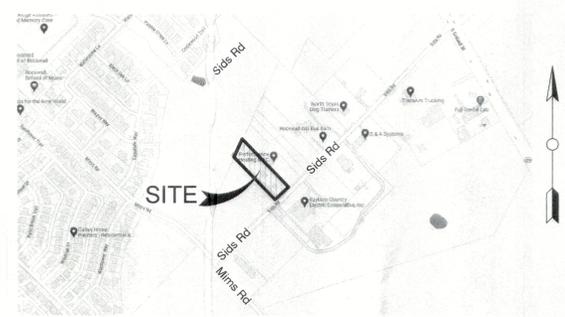
NOTE:
NO OUTSIDE STORAGE PROPOSED IN THIS PROJECT
POLY CARTS WILL BE USED FOR GARBAGE.

NOTE:
ALL EXISTING WATER AND SANITARY SEWER CONNECTIONS TO THE
EXISTING BUILDING WILL BE USED FOR THE PROPOSED BUILDING.

NOTE:
ALL PAD MOUNTED EQUIPMENT MUST BE SCREENED WITH FIVE (5)
GALLON EVERGREEN SHRUBS.

APPROVED:
I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A
DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED
BY THE PLANNING & ZONING COMMISSION OF THE CITY OF ROCKWALL
ON THE 15 DAY OF August, 2023
WITNESS OUR HANDS, THIS 15 DAY OF August, 2023
[Signature]
PLANNING & ZONING COMMISSION, CHAIRMAN DIRECTOR OF PLANNING & ZONING

SITE DATA:
SITE AREA = 65,382 SF / 1.50 ACRE
PARKING REQUIRED = OFFICE: 1 PER 300 SF = 19 SPACES
PARKING PROVIDED = 24 SPACES
ADA SPACES PROVIDED = 1 SPACE



OWNER
TRI-TEX CONSTRUCTION INC
797 N GROVE RD
RICHARDSON, TEXAS 75081

NOT FOR CONSTRUCTION

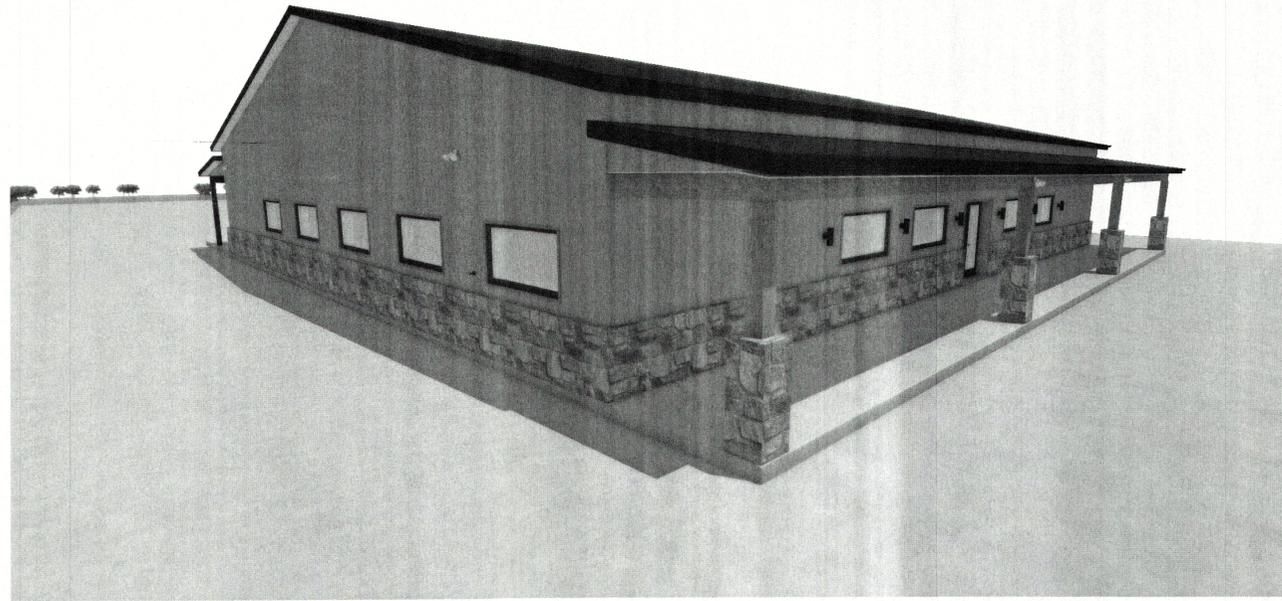
No.	Revision/Issue	Date

Firm Name and Address
TURNKEY TRACT
2770 MAIN ST #171
FRISCO, TX 75033
F-22283
nkcivilengineer4@gmail.com
214-483-1599

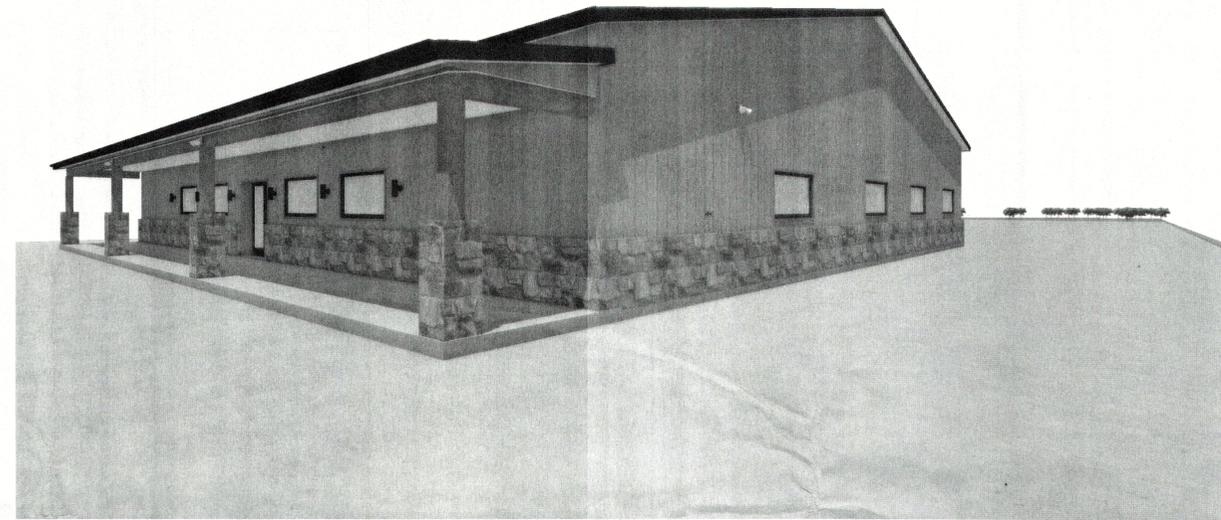
Project Name and Address
OFFICE BUILDING
955 SIDS ROAD
ROCKWALL, TEXAS 75032
SP2023-024

Project	Sheet
Date 08 / 14 / 2023	04
Scale	13

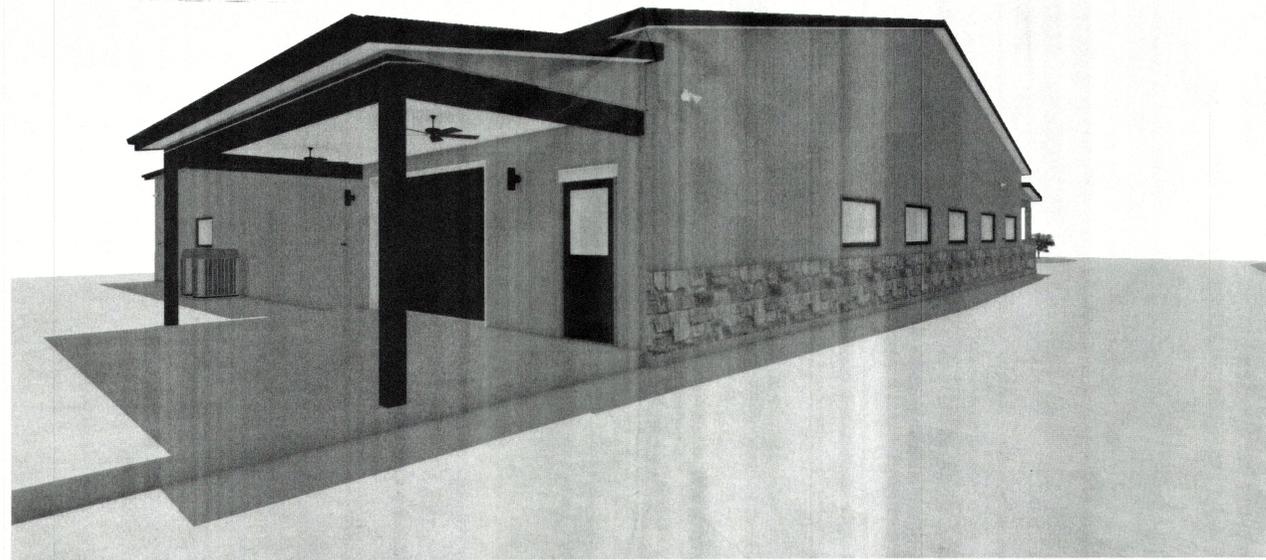
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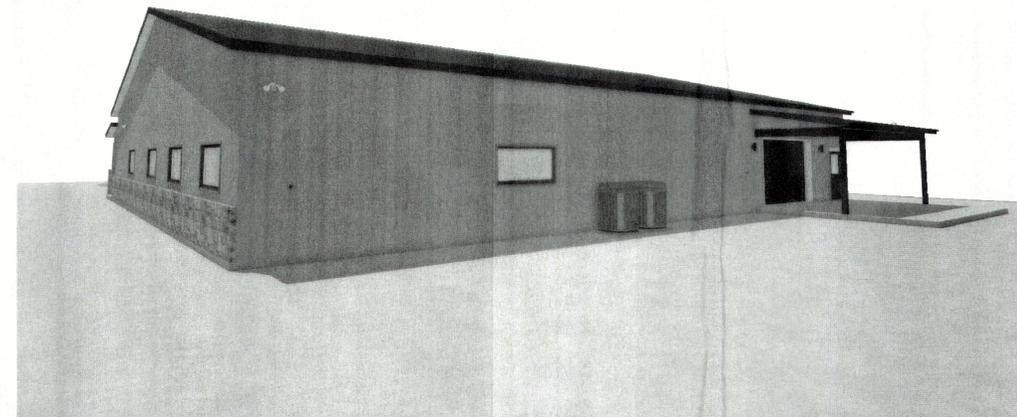
FRONT-LEFT



FRONT-RIGHT



BACK-LEFT



BACK-RIGHT

GENERAL NOTES:

THE BUILDER SHALL VERIFY THAT SITE CONDITIONS ARE CONSISTENT WITH THESE PLANS BEFORE STARTING WORK. WORK NOT SPECIFICALLY DETAILED SHALL BE CONSTRUCTED TO THE SAME QUALITY AS SIMILAR WORK THAT IS DETAILED. ALL WORK SHALL BE DONE IN ACCORDANCE WITH INTERNATIONAL BUILDING CODES AND LOCAL CODES.

WRITTEN DIMENSIONS AND SPECIFIC NOTES SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS AND GENERAL NOTES. THE ENGINEER/DESIGNER SHALL BE CONSULTED FOR CLARIFICATION IF SITE CONDITIONS ARE ENCOUNTERED THAT ARE DIFFERENT THAN SHOWN. IF DISCREPANCIES ARE FOUND IN THE PLANS OR NOTES, OR IF A QUESTION ARISES OVER THE INTENT OF THE PLANS OR NOTES, CONTRACTOR SHALL VERIFY AND IS RESPONSIBLE FOR ALL DIMENSIONS (INCLUDING ROUGH OPENINGS).

PLEASE SEE ADDITIONAL NOTES CALLED OUT ON OTHER SHEETS.

BUILDING PERFORMANCE:

HEAT LOSS CALCULATIONS SHALL COMPLY WITH THE REQUIREMENTS OF REGIONAL AND LOCAL CODES. SEE CALCULATIONS PORCHES, DECKS, FOUNDATION, FIREPLACE ENCLOSURES, AND GARAGE AREAS NOT INCLUDED IN LIVING AREA. ALL EXHAUST FANS TO BE VENTED DIRECTLY TO THE EXTERIOR. ALL PENETRATIONS OF THE BUILDING ENVELOPE SHALL BE SEALED WITH CAULK OR FOAM.

Layout Page Table

Number	Title
1	PROJECT OVERVIEW
2	ELEVATIONS
3	ELEVATIONS (CONT.)
4	SCHEDULES & STYLE
5	SITE PLAN
6	FOUNDATION/ROUGH-IN PLAN
7	ROOF PLAN - 1F
8	FRAMING PLAN - 1F
9	ELECTRICAL PLAN
10	CABINET PLAN

REV 03

PLANS PREPARED BY:
AARON HAMILTON
ABIDE HOME DESIGNS
ROYSE CITY, TX / 472-593-0454
AARON@ABIDEHOMEDESIGNS.COM

PROJECT
OVERVIEW

TRI-TEX CONSTRUCTION
INC.
955 SIDES RD
ROCKWALL, TX 75082



DATE:

8/14/2023

SCALE:

1/4"=1'

SHEET:

1

TOTAL CONDITIONED SF:	5600 SF
TOTAL SLAB SF:	6618 SF
TOTAL PORCHES UNDER ROOF:	970 SF
TOTAL UNDER ROOF SF:	6618 SF

Revision Table			
Label	Date	Revised By	Description
REV 01	4/9/2023	A.JH	BID/REVIEW PLANS
REV 02	8/9/2023	A.JH	EXTENDED MAINS/COT, GENERAL NOTE UPDATES, SITE PLAN/LANDSCAPE UPDATES
REV 03	8/14/2023	A.JH	UPDATED TREE AND SIDEWALK LOCATION PER CITY COMMENTS

APPROVED:
I hereby certify that the above and foregoing site plan for development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission on the 15 day of August 2023.

[Signature]
Director of Planning & Zoning
Chairman

-INTERIOR & EXTERIOR 3D MODEL AVAILABLE (AS NEEDED) UPON REQUEST
-2D ELECTRONIC CAD FILE AVAILABLE (.DWG, .DXF) UPON REQUEST
-PLEASE REQUEST EITHER HOMEOWNER OR VIA DESIGNER CONTACT INFO

To the best of my knowledge these plans are drawn to comply with owner's and/or builder's specifications and any changes made on them after prints are made will be done at the owner's and/or builder's expense and responsibility. The contractor shall verify all dimensions and enclosed drawing. Hamilton Handcrafted/Abide Home Designs is not liable for errors once construction has begun. While every effort has been made in the preparation of this plan to avoid mistakes, the maker can not guarantee against human error. The contractor of the job must check all dimensions and other details prior to construction and be solely responsible thereafter.

BUILDING CONTRACTOR/HOME OWNER TO REVIEW AND VERIFY ALL DIMENSIONS, SPECS, LOCAL CODE/BUILDER REQUIREMENTS & CONNECTIONS BEFORE CONSTRUCTION BEGINS.

MIN. CODE RECOMMENDATIONS:
ELECTRICAL SYSTEM CODE: SEC.2701
MECHANICAL SYSTEM CODE: SEC.2801
PLUMBING SYSTEM CODE: SEC.2901
(CONSULT LOCAL/CITY BUILDING REQUIREMENTS)

ELEVATIONS



DATE:

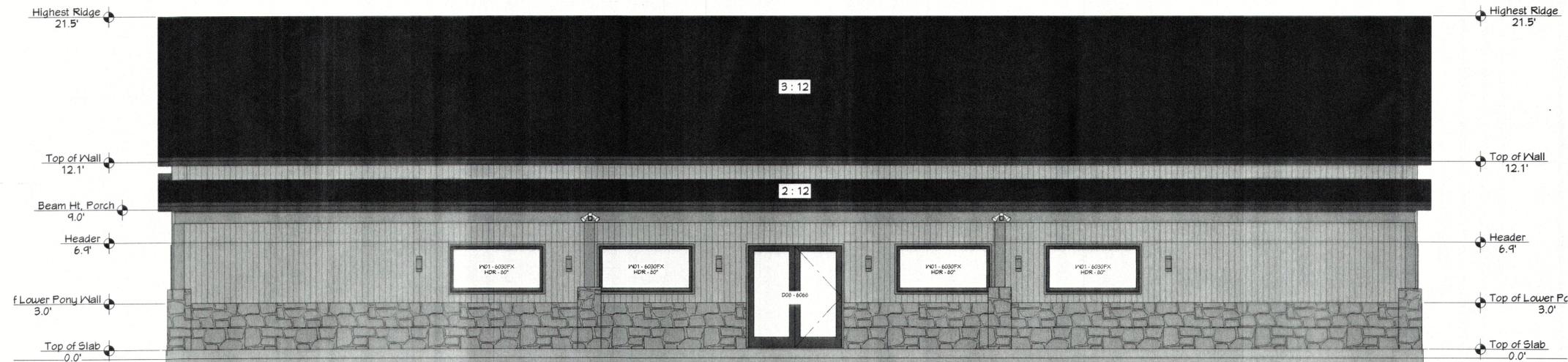
8/14/2023

SCALE:

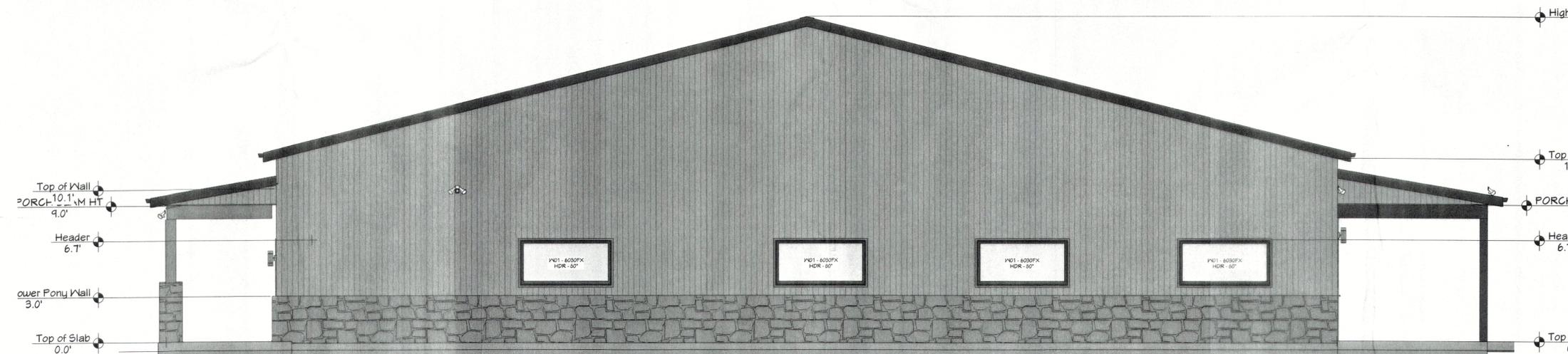
1/4"=1'

SHEET:

2



Exterior Elevation Front
 MATERIALS (EXCLUDES DOORS/WINDOWS & ROOF):
 R PANEL: 429 SF
 STONE PONY WALL: 245 SF



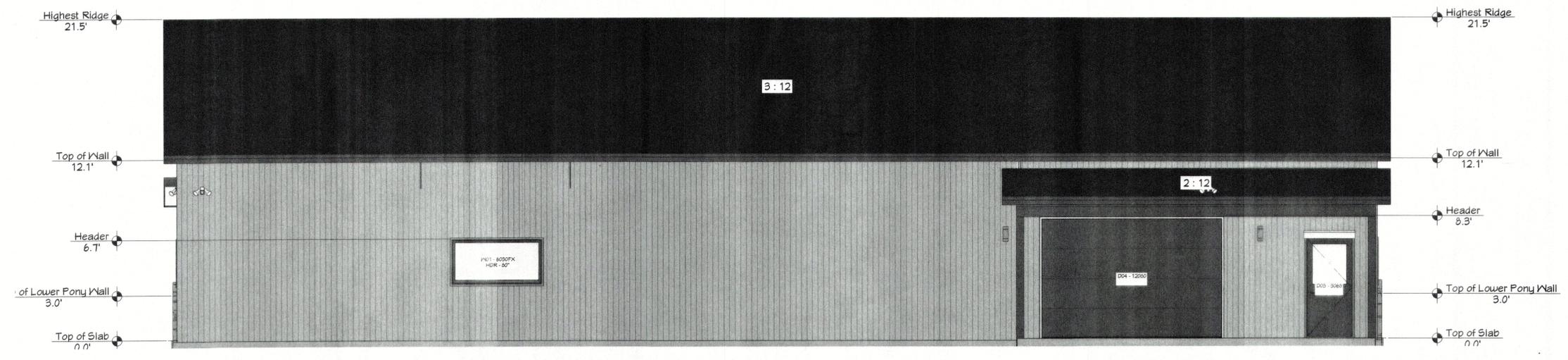
Exterior Elevation Right
 MATERIALS (EXCLUDES DOORS/WINDOWS & ROOF):
 R PANEL: 884 SF
 STONE PONY WALL: 212 SF

EXTERIOR MATERIALS:	
SOFFIT:	METAL
SIDING:	R PANEL, BEIGE
STONE:	36" PONY WALL, OKLAHOMA STONE
ROOF:	STANDING SEAM, BLACK
PORCH POSTS:	8" CEDAR, ROUGH SAWN
POST BASES (IF APPLICABLE):	18"X18"X48", OKLAHOMA STONE
CORNER TRIM:	YES
GUTTERS: YES	
(SEE STYLE SHEET FOR ADDITIONAL INFO.)	

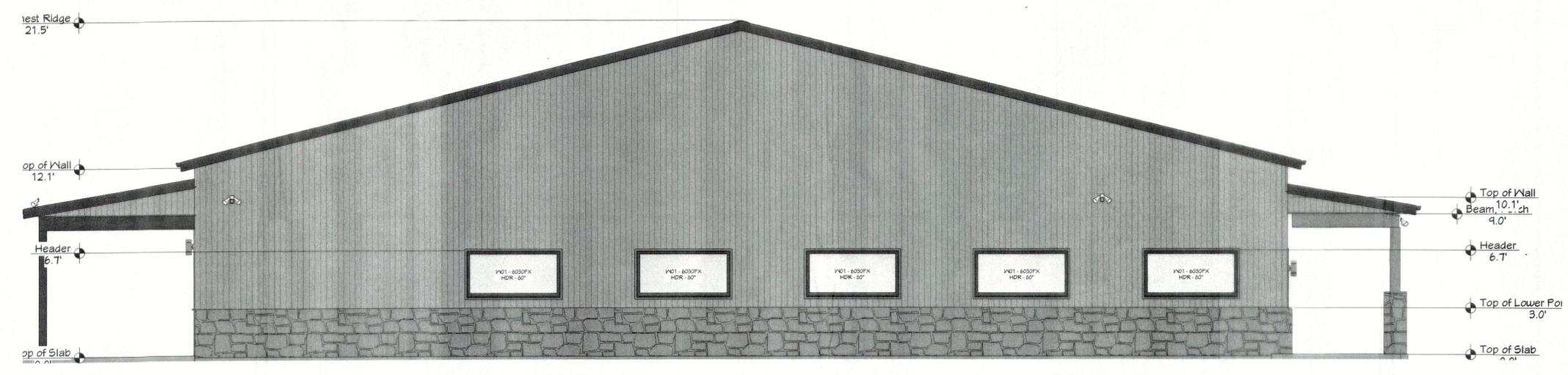
APPROVED:
 I hereby certify that the above and foregoing site plan for development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission on the 15 day of August 2023.

 Planning & Zoning Commission, Chairman

 Director of Planning & Zoning



Exterior Elevation Back
 MATERIALS (EXCLUDES DOORS/WINDOWS & ROOF):
 R PANEL: 1017 SF



Exterior Elevation Left
 MATERIALS (EXCLUDES DOORS/WINDOWS & ROOF):
 R PANEL: 866 SF
 STONE PONY WALL: 212 SF

APPROVED:
 I hereby certify that the above and foregoing site plan for development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission on the 15 day of August, 2023.
 [Signature] Director of Planning & Zoning
 [Signature] Chairman

GENERAL NOTES AND SPECIFICATIONS

THE GENERAL CONTRACTOR SHALL FULLY COMPLY WITH THE 2006 IBC AND ALL ADDITIONAL STATE AND LOCAL CODE REQUIREMENTS, 2006 IBC AND 2006 IMC SHALL BE USED.

THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ANY WORK KNOWINGLY PERFORMED CONTRARY TO SUCH LAWS, ORDINANCES, OR REGULATIONS. THE CONTRACTOR SHALL ALSO PERFORM COORDINATION WITH ALL UTILITIES AND STATE SERVICE AUTHORITIES.

WRITTEN DIMENSIONS ON THESE DRAWINGS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. THE GENERAL CONTRACTOR SHALL VERIFY AND IS RESPONSIBLE FOR ALL DIMENSIONS INCLUDING ROUGH OPENINGS AND CONDITIONS ON THE JOB AND MUST NOTIFY THIS OFFICE OF ANY VARIATIONS FROM THESE DRAWINGS.

THE GENERAL CONTRACTOR IS RESPONSIBLE FOR THE DESIGN AND PROPER FUNCTION OF PLUMBING, HVAC AND ELECTRICAL SYSTEMS. THE GENERAL CONTRACTOR SHALL NOTIFY THIS OFFICE WITH ANY PLAN CHANGES REQUIRED FOR DESIGN AND FUNCTION OF PLUMBING, HVAC AND ELECTRICAL SYSTEMS.

THIS OFFICE SHALL NOT BE RESPONSIBLE FOR CONSTRUCTION MEANS AND METHODS, ACTS OR OMISSIONS OF THE CONTRACTOR OR SUBCONTRACTOR, OR FAILURE OF ANY OF THEM TO CARRY OUT WORK IN ACCORDANCE WITH THE CONSTRUCTION DOCUMENTS. AND DEFECT DISCOVERED IN THE CONSTRUCTION DOCUMENTS SHALL BE BROUGHT TO THE ATTENTION OF THIS OFFICE BY WRITTEN NOTICE BEFORE PROCEEDING WITH WORK. REASONABLE TIME NOT ALLOWED THIS OFFICE TO CORRECT THE DEFECT SHALL PLACE THE BURDEN OF COST AND LIABILITY FROM SUCH DEFECT UPON THE CONTRACTOR.

WIND/SNOW LOAD DESIGN CRITERIA: 2006 IRC AND IBC

THIS STRUCTURE SHALL BE ADEQUATELY BRACED FOR WIND LOADS UNTIL THE ROOF, FLOOR AND WALLS HAVE BEEN PERMANENTLY FRAMED TOGETHER AND SHEATHED.

INSTALL POLYISOCYANURATE FOAM TYPE INSULATION AT FLOOR AND PLATE LINES, OPENINGS IN PLATES, CORNER STUD CAVITIES AND AROUND DOOR AND WINDOW ROUGH OPENING CAVITIES.

INSTALL WATERPROOF GYPSUM BOARD AT ALL WATER SPLASH AREAS TO MINIMUM 7" ABOVE SHOWER DRAINS.

INSULATE WASTE LINES FOR SOUND CONTROL.

EXHAUST ALL VENTS AND FANS DIRECTLY TO OUTSIDE VIA METAL DUCTS. PROVIDE 90 CFM (MIN) FANS TO PROVIDE 5 AIR CHANGES PER HOUR IN BATHS CONTAINING TUB AND / OR SHOWER AND IN LAUNDRY ROOMS.

ALL RECESSED LIGHTS IN INSULATED CEILINGS TO HAVE THE I.C. LABEL.

PROVIDE SOLID BLOCKING UNDER ALL BEARING WALLS PERPENDICULAR TO JOISTS AND OTHER BEARING POINTS NOT OTHERWISE PROVIDED WITH SUPPORT.

FLOOR FINISHES:
 1F OFFICES/Common Spaces: VINYL TILE
 1F BATHS: TILE

ROOM AREA/CEILING SCHEDULE			
FLOOR	ROOM NAME	AREA, INTERIOR (SQ FT)	CEILING HEIGHT
1	OPEN AREA	1007	N/A
1	FILE ROOM	299	121 1/8"
1	ENTRY/RECEPTION	181	121 1/8"
1	KITCHEN/BREAK RM	424	N/A
1	M TLT 2	26	121 1/8"
1	OFFICE 4	157	121 1/8"
1	M ADA TLT	41	121 1/8"
1	M ADA TLT	41	121 1/8"
1	OFFICE 7	145	121 1/8"
1	OFFICE 6	150	121 1/8"
1	NETWORK/AV	118	121 1/8"
1	OFFICE 8	129	121 1/8"
1	PRIVACY HALL	18	121 1/8"
1	MENS RESTROOM	62	121 1/8"
1	PORCH	560	109 1/8"
1	OFFICE 7	131	121 1/8"
1	COMMON AREA	142	N/A
1	COMMON HALL 2	299	121 1/8"
1	CONFERENCE	349	121 1/8"
1	WOMEN'S RESTROOM	51	121 1/8"
1	COMMON HALL 1	290	121 1/8"
1	STORAGE	101	121 1/8"
1	M TLT 2	26	121 1/8"
1	OFFICE 1	157	121 1/8"
1	OFFICE 2	157	121 1/8"
1	OFFICE 3	150	121 1/8"
1	SUPPLY CLOSET	13	121 1/8"
1	OFFICE 9	145	121 1/8"
1	OFFICE 8	145	121 1/8"
1	PORCH	239	109 1/8"
TOTALS:		5433	

DOOR SCHEDULE												
NUMBER	FLOOR	QTY	SIZE	EX/IN	SWING SIDE	DESCRIPTION	HEIGHT	WIDTH	DIVIDED LITES	DOOR PANELS	JAMB SIZE	3D PERSPECTIVE
D01	1	1	5460 L/R IN	IN	OUT	DOUBLE HINGED- 84 INTERIOR	80 "	64 "		1+1	3/4"x6 1/2"	
D02	1	11	3060 R IN	IN	OUT	HINGED- 84 INTERIOR	80 "	36 "		0+1	3/4"x4 1/2"	
D03	1	1	3060 L EX	EX	OUT	EXT. HINGED-GLASS PANEL	80 "	36 "	1	1+0	3/4"x11 1/2"	
D04	1	1	12000	EX	IN	GARAGE-MODERN STEEL - FLUSH	96 "	144 "		4	3/4"x11 1/2"	
D05	1	1	4060 L/R IN	IN	IN	DOUBLE HINGED- 84 INTERIOR	80 "	48 "		1+1	3/4"x4 1/2"	
D06	1	1	2660 R IN	IN	OUT	HINGED- 84 INTERIOR	80 "	30 "		0+1	3/4"x4 1/2"	
D08	1	1	6060 R EX	EX	IN	EXT. DOUBLE HINGED-GLASS PANEL	80 "	72 "	1	1+1	3/4"x11 1/2"	
D11	1	1	2660 L IN	IN	OUT	HINGED- 84 INTERIOR	80 "	30 "		1+0	3/4"x4 1/2"	
D12	1	8	3060 L IN	IN	OUT	HINGED- 84 INTERIOR	80 "	36 "		1+0	3/4"x4 1/2"	

WINDOW SCHEDULE										
NUMBER	QTY	FLOOR	SIZE	DESCRIPTION	WIDTH	HEIGHT	TOP	DIVIDED LITES	3D PERSPECTIVE	
W01	19	1	6030FX	FIXED GLASS	72 "	36 "	80"	1		
W02	7	1	5030FX	FIXED GLASS	60 "	36 "	80"	1		

STYLE & SCHEDULES

APPROVED:
 I hereby certify that the above and foregoing site plan for development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission on the 15 day of August, 2023.

Planning & Zoning Commission, Chairman

Director of Planning & Zoning

REV 03

PLANS PREPARED BY:
 AARON HAMILTON
 ABIDE HOME DESIGNS
 ROYSE CITY, TX / 472-533-0459
 AARON@ABIDEHOMEDESIGNS.COM

SCHEDULES & STYLE

TRI-TEX CONSTRUCTION INC.
 955 SIDS RD
 ROCKWALL, TX 75082



DATE:
 8/14/2023

SCALE:
 1/4"=1'

SHEET:
 4

PLANS PREPARED BY:
 AARON HAMILTON
 ABIDE HOME DESIGNS
 ROYSE CITY, TX / 972-533-0959
 AARON@ABIDEHOMEDESIGNS.COM

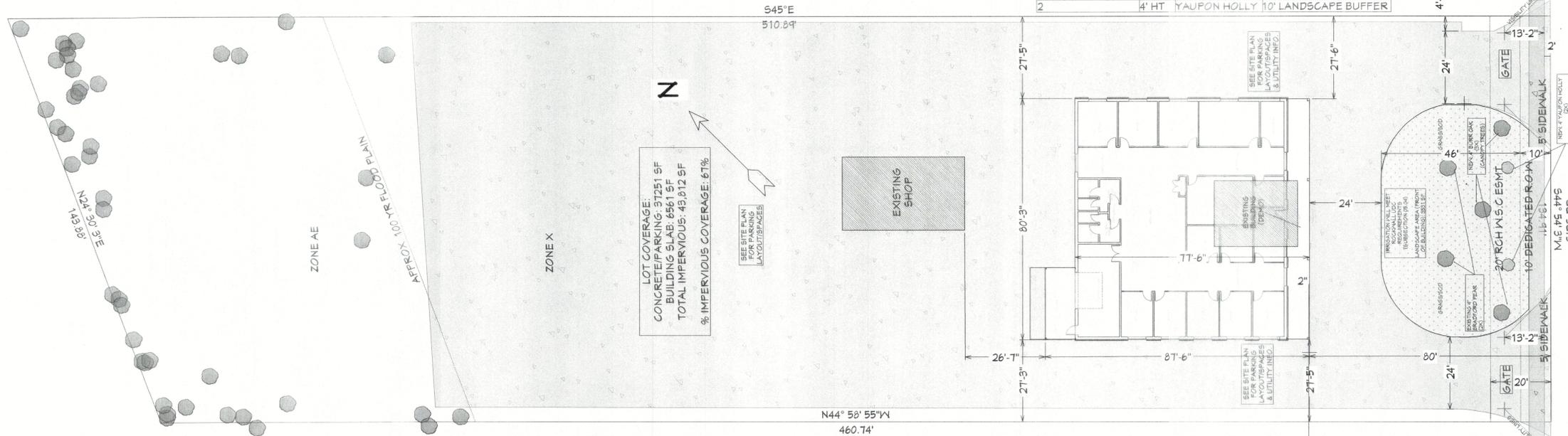
SITE PLAN

TRI-TEX CONSTRUCTION
 INC.
 955 SIDS RD
 ROCKWALL, TX 75082



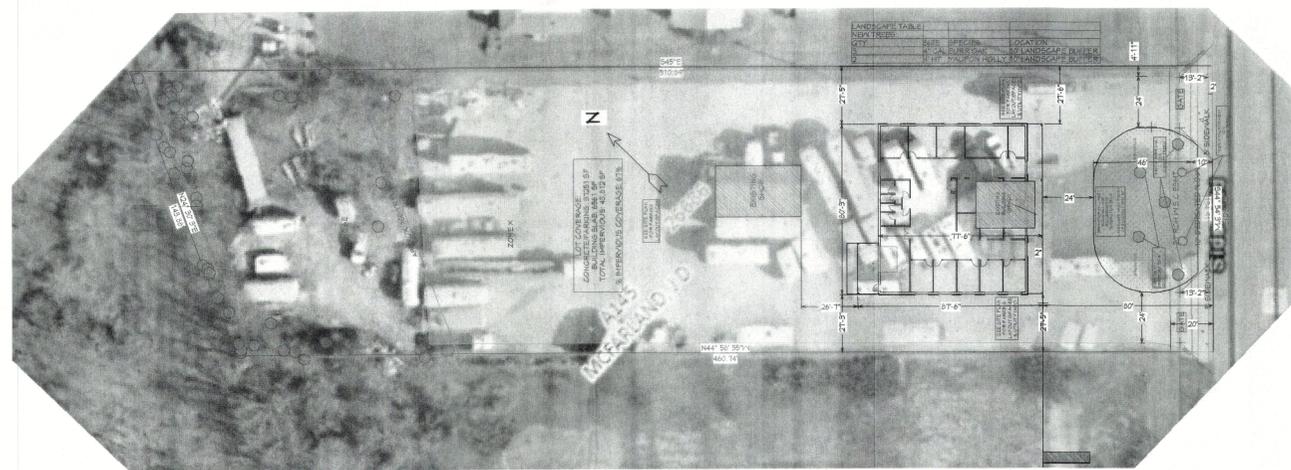
DATE:	8/14/2023
SCALE:	1/4"=1'
SHEET:	5

LANDSCAPE TABLE			
NEW TREES:	SIZE	SPECIES	LOCATION
3	4" CAL	BURR OAK	10' LANDSCAPE BUFFER
2	4' HT	YAUPON HOLLY	10' LANDSCAPE BUFFER

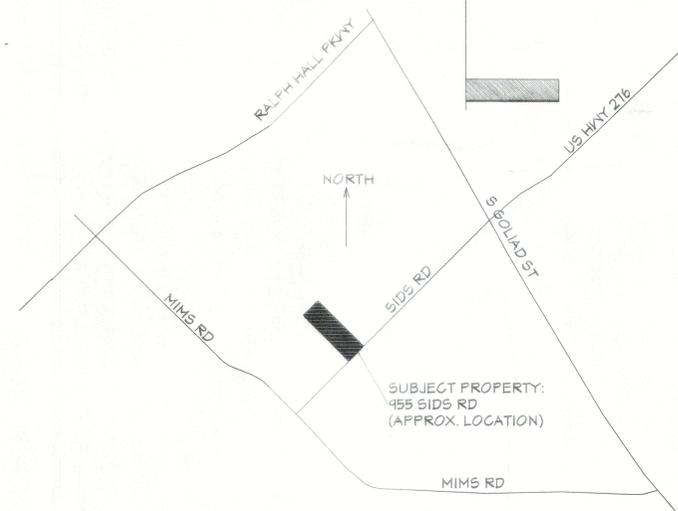


LOT COVERAGE:
 CONCRETE/PARKING: 31251 SF
 BUILDING SLAB: 6561 SF
 TOTAL IMPERVIOUS: 48,812 SF
 % IMPERVIOUS COVERAGE: 67%

SITE PLAN
 1/4"=20' SCALE



SITE PLAN (SAT)
 SCALE: 1/4"=40'



VICINITY MAP
 SCALE: 1/4"=40' (APPROX)

SITE DATA:

PROPERTY WILL REMAIN ZONED AS-IS:
 COMMERCIAL, F1

PHOTOMETRICS - EXISTING SITE LIGHTING RETAINED. ALL LIGHTING
 SHALL BE DOWNWARD FACING AND FULLY SHIELDED.

DEVELOPER: TRI-TEX CONSTRUCTION INC.

SITE PLAN SIGNATURE BLOCK
 APPROVED:
 I hereby certify that the above and foregoing site plan for a development in the City of
 Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of
 Rockwall on the 15th day of
 August, 2023.
 Planning & Zoning Commission, Chairman
 Director of Planning and Zoning



FRONT-LEFT

BUILDERS COPY

**Keep On Job Site At All Times
For Inspection Use**

GENERAL NOTES:

THE BUILDER SHALL VERIFY THAT SITE CONDITIONS ARE CONSISTENT WITH THESE PLANS BEFORE STARTING WORK. WORK NOT SPECIFICALLY DETAILED SHALL BE CONSTRUCTED TO THE SAME QUALITY AS SIMILAR WORK THAT IS DETAILED. ALL WORK SHALL BE DONE IN ACCORDANCE WITH INTERNATIONAL BUILDING CODES AND LOCAL CODES.

WRITTEN DIMENSIONS AND SPECIFIC NOTES SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS AND GENERAL NOTES. THE ENGINEER/DESIGNER SHALL BE CONSULTED FOR CLARIFICATION IF SITE CONDITIONS ARE ENCOUNTERED THAT ARE DIFFERENT THAN SHOWN. IF DISCREPANCIES ARE FOUND IN THE PLANS OR NOTES, OR IF A QUESTION ARISES OVER THE INTENT OF THE PLANS OR NOTES, CONTRACTOR SHALL VERIFY AND IS RESPONSIBLE FOR ALL DIMENSIONS (INCLUDING ROUGH OPENINGS).

PLEASE SEE ADDITIONAL NOTES CALLED OUT ON OTHER SHEETS.

BUILDING PERFORMANCE:

HEAT LOSS CALCULATIONS SHALL COMPLY WITH THE REQUIREMENTS OF REGIONAL AND LOCAL CODES. SEE CALCULATIONS. PORCHES, DECKS, FOUNDATION, FIREPLACE ENCLOSURES, AND GARAGE AREAS NOT INCLUDED IN LIVING AREA. ALL EXHAUST FANS TO BE VENTED DIRECTLY TO THE EXTERIOR. ALL PENETRATIONS OF THE BUILDING ENVELOPE SHALL BE SEALED WITH CAULK OR FOAM.

Layout Page Table

Number	Title
1	PROJECT SUMMARY
2	PROJECT OVERVIEW
3	ELEVATIONS
4	ELEVATIONS (CONT.)
5	SCHEDULES & STYLE
6	SITE & LANDSCAPE PLAN
7	FOUNDATION/ROUGH-IN PLAN
8	ROOF PLAN - 1F
9	FRAMING PLAN - 1F
10	ELECTRICAL PLAN
11	CABINET PLAN

REV 06

PLANS PREPARED BY:
AARON HAMILTON
ABIDE HOME DESIGNS
ROYSE CITY, TX / 972-533-0454
AARON@ABIDEHOMEDESIGNS.COM

PROJECT
OVERVIEW



FRONT-RIGHT



BACK-LEFT



BACK-RIGHT

TRI-TEX CONSTRUCTION
INC.
955 SIDS RD
ROCKWALL, TX 75032



DATE:

2/12/2024

SCALE:

1/4"=1'

SHEET:

2

TOTAL CONDITIONED SF:	5600 SF
TOTAL SLAB SF:	6618 SF
TOTAL PORCHES UNDER ROOF:	970 SF
TOTAL UNDER ROOF SF:	6618 SF

Label	Date	Revised By	Description
REV 01	4/3/2023	AJH	BID/REVIEW PLANS
REV 02	8/8/2023	AJH	EXTENDED MAINSCOT, GENERAL NOTE UPDATES, SITE PLAN/LANDSCAPE UPDATES
REV 03	8/14/2023	AJH	UPDATED TREE AND SIDEWALK LOCATION PER CITY COMMENTS
REV 04	11/10/2023	AJH	UPDATED NOTES & SITE PLAN SHT
REV 05	12/6/2023	AJH	UPDATED SITE/LANDSCAPE PLAN
REV 06	12/22/2023	AJH	REVISED INTERIOR OFFICE LAYOUT, UPDATED ELECTRICAL/GLNG PLAN

-INTERIOR & EXTERIOR 3D MODEL AVAILABLE (AS NEEDED) UPON REQUEST
-2D ELECTRONIC CAD FILE AVAILABLE (.DWG, .DXF) UPON REQUEST
-PLEASE REQUEST EITHER HOMEOWNER OR VIA DESIGNER CONTACT INFO

To the best of my knowledge these plans are drawn to comply with owner's and/or builder's specifications and any changes made on them after prints are made will be done at the owner's and/or builder's expense and responsibility. The contractor shall verify all dimensions and enclosed drawing. Hamilton Handcrafted/Abide Home Designs is not liable for errors once construction has begun. While every effort has been made in the preparation of this plan to avoid mistakes, the maker can not guarantee against human error. The contractor of the job must check all dimensions and other details prior to construction and be solely responsible thereafter.

BUILDING CONTRACTOR/OWNER TO REVIEW AND VERIFY ALL DIMENSIONS, SPECS, LOCAL CODE/BUILDER REQUIREMENTS & CONNECTIONS BEFORE CONSTRUCTION BEGINS.

MIN. CODE RECOMMENDATIONS:
ELECTRICAL SYSTEM CODE: SEC.2701
MECHANICAL SYSTEM CODE: SEC.2801
PLUMBING SYSTEM CODE: SEC.2901
(CONSULT LOCAL/CITY BUILDING REQUIREMENTS)

**Keep On Job Site At All Times
For Inspection Use**

PLANS PREPARED BY:
AARON HAMILTON
ABIDE HOME DESIGNS
ROYSE CITY, TX / 972-533-0454
AARON@ABIDEHOMEDESIGNS.COM

ELEVATIONS

TRI-TEX CONSTRUCTION
INC.
955 SIDS RD
ROCKWALL, TX 75082



DATE:

2/12/2024

SCALE:

1/4"=1'

SHEET:

3



Exterior Elevation Front
MATERIALS (EXCLUDES DOORS/WINDOWS & ROOF):
R PANEL: 429 SF
STONE PONY WALL: 245 SF (36%)



Exterior Elevation Right
MATERIALS (EXCLUDES DOORS/WINDOWS & ROOF):
R PANEL: 884 SF
STONE PONY WALL: 212 SF (20%)

EXTERIOR MATERIALS:	
SOFFIT:	METAL
SIDING:	R PANEL, BEIGE
STONE:	36" PONY WALL, OKLAHOMA STONE
ROOF:	STANDING SEAM, BLACK
PORCH POSTS:	8" CEDAR, ROUGH SAWN
POST BASES (IF APPLICABLE):	18"X18"X48", OKLAHOMA STONE
CORNER TRIM:	YES
GUTTERS: YES	
(SEE STYLE SHEET FOR ADDITIONAL INFO.)	

**Keep On Job Site At All Times
For Inspection Use**

PLANS PREPARED BY:
AARON HAMILTON
ABIDE HOME DESIGNS
ROYSE CITY, TX / 972-533-0454
AARON@ABIDEHOMEDESIGNS.COM

ELEVATIONS
(CONT.)

TRI-TEX CONSTRUCTION
INC.
955 SIDS RD
ROCKWALL, TX 75082



DATE:

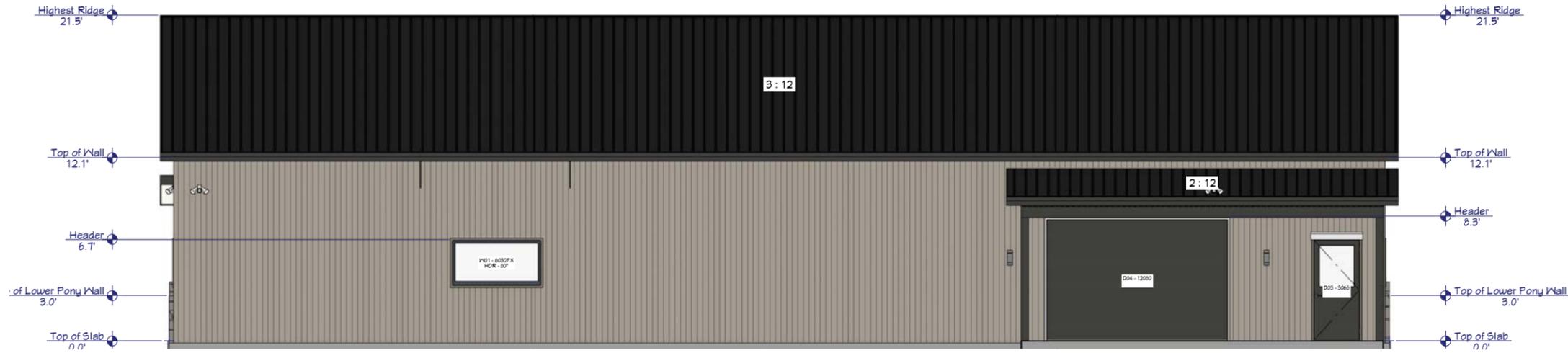
2/12/2024

SCALE:

1/4"=1'

SHEET:

4



Exterior Elevation Back
MATERIALS (EXCLUDES DOORS/WINDOWS & ROOF):
R PANEL: 1017 SF (100%)



Exterior Elevation Left
MATERIALS (EXCLUDES DOORS/WINDOWS & ROOF):
R PANEL: 866 SF
STONE PONY WALL: 212 SF (20%)



TO: Planning and Zoning Commission
FROM: Angelica Guevara, *Planning Technician*
DATE: July 30, 2024
SUBJECT: MIS2024-016; *Exception Request for 559 E. IH-30 (i.e. Rockwall Village Shopping Center)*

On June 25, 2024, the Planning and Zoning Commission denied a request by the applicant -- *John Hagaman of Sabre Realty* -- for an exception to allow the installation of artificial or synthetic plant materials (*i.e. artificial turf/grass*). In making the motion the Planning and Zoning Commission stipulated that the denial was without prejudice, and the motion passed by a vote of 6-0 with Commissioner Deckard absent. Since the Planning and Zoning Commission indicated that the denial was without prejudice, the applicant was able to resubmit a new application at the following application deadline. Based on this, the applicant resubmitted a development application on July 19, 2024, requesting the approval of an exception to the landscape material requirements to allow the installation of artificial or synthetic plant materials (*i.e. artificial turf/grass*). The subject property is located on a 10.104-acre parcel of land (*i.e. Lot 3 of the Carlisle Plaza Addition*), is zoned Commercial (C) District, is situated within the IH-30 Overlay (IH-30 OV) District and the Scenic Overlay (SOV) District, and is addressed as 559 E. IH-30. As part of the new application, the applicant submitted a letter stating that the artificial turf is currently installed on the parking lot islands and is making the request to allow it to remain in place [see *Figure 1*].



FIGURE 1: PHOTOS PROVIDED BY THE APPLICANT OF THE AREAS WITH ARTIFICIAL TURF

According to Section 04, *Landscape Materials*, of Article 08, *Landscape and Fence Standards*, of the Unified Development Code (UDC), “(a)rtificial or synthetic plant materials (*e.g. artificial grass, turf, trees shrubs*) shall be prohibited on all non-residentially zoned property however, the Planning and Zoning Commission can grant an *Exception* in accordance with the procedures contained in Article 09.01, *Exceptions to the General Standards*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) where it is found that the artificial plant materials are integral to the operations of the proposed non-residential land use or where it will serve as an on-site amenity to the non-residential land use.” As was stated in the letter, the applicant feels the artificial turf helps to control the amount of dust coming into the businesses and may be beneficial in controlling allergens and airborne bacteria normally associated with natural plantings. The applicant has also indicated that this creates a positive visual appeal to consumers visiting the local stores. In addition, the applicant stated that by approving this exception, the Planning and Zoning Commission may use this as a case study for additional requests within the City of Rockwall. In regard to this, the applicant provided a specification sheet for the existing artificial turf that shows that the product does not contain PFAS (*i.e. Perfluorinated Alkylated Substances*). With this being said, the approval of an exception to the landscape material requirements is a discretionary decision for the Planning and Zoning Commission. Should the Planning and Zoning Commission have any questions concerning the applicant’s request, staff will be available at the meeting on July 30, 2024.

PROJECT COMMENTS



CITY OF ROCKWALL
 385 S. GOLIAD STREET
 ROCKWALL, TEXAS 75087
 PHONE: (972) 771-7700

DATE: 7/25/2024

PROJECT NUMBER: MIS2024-016
 PROJECT NAME: Exception to Artificial Turf at 559 E. IH 30
 SITE ADDRESS/LOCATIONS: 559 E. IH 30

CASE CAPTION: Discuss and consider a request by John Hagaman of Sabre Realty for the approval of a Miscellaneous Case for an Exception to allow artificial or synthetic plant materials on a 10.104-acre parcel of land identified as Lot 3 of the Carlisle Plaza Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within IH-30 Overlay (IH-30 OV) District and the Scenic Overlay (SOV) District, addressed as 559 E. IH-30, and take any action necessary.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
ENGINEERING	Madelyn Price	07/24/2024	Approved
No Comments			
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
BUILDING	Craig Foshee	07/24/2024	Approved
No Comments			
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
FIRE	Ariana Kistner	07/24/2024	N/A
No Comments			
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
GIS	Lance Singleton	07/22/2024	N/A
No Comments			
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
POLICE	Chris Cleveland	07/23/2024	Approved
No Comments			
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PARKS	Angelica Guevara	07/25/2024	Approved w/ Comments
07/25/2024: Wrinkles in installation can be a trip hazard and possible heat island being surrounded by concrete.			
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PLANNING	Angelica Guevara	07/24/2024	Approved w/ Comments
07/24/2024: MIS2024-016; Exception for Artificial Turf at 559 E. IH-30			

Please address the following comments (M= Mandatory Comments; I = Informational Comments)

I.1 This is a request for the approval of a Miscellaneous Case for an Exception to allow artificial or synthetic plant materials on a 10.104-acre parcel of land identified as Lot 3 of the Carlisle Plaza Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within IH-30 Overlay (IH-30 OV) District and the Scenic Overlay (SOV) District, addressed as 559 E. IH-30.

I.2 For questions or comments concerning this case please contact Angelica Guevara in the Planning Department at (972) 772-6438, or email aguevara@rockwall.com.

I.3 According to Section 04, Approved Landscape Materials, of Article 08, Landscape and Fence Standards, of the Unified Development Code (UDC), "(a)rtificial or synthetic plant materials (e.g. artificial grass, turf, trees shrubs) shall be prohibited on all non-residentially zoned property." In this case, you are requesting approval of artificial turf landscaping, which requires review by the Planning and Zoning Commission. The code goes on to state that an Exception may be granted by the Planning and Zoning Commission if it is found that the artificial plant materials are integral to the operations of the proposed non-residential land use or where it will serve as an on-site amenity to the nonresidential land use. In this case, the artificial landscaping is currently installed and requires approval by the Planning and Zoning Commission to remain in place.

I.4 Please note the scheduled meeting for this case:

1) Planning & Zoning meeting will be held on July 30, 2024 at 6:00 PM in the council chambers at City Hall.

I.5 Please note that a representative is required to be present for the meeting to answer any questions the Planning and Zoning Commission may have regarding your request.



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY
PLANNING & ZONING CASE NO. _____

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- REPLAT (\$300.00 + \$20.00 ACRE) ¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ^{1 & 2}
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) ²

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
²: A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS

559 EAST 1-30

SUBDIVISION

LOT

BLOCK

GENERAL LOCATION

RIDGE @ 30 - ROCKWALL VILLAGE

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING

CURRENT USE

PROPOSED ZONING

PROPOSED USE

ACREAGE

LOTS [CURRENT]

LOTS [PROPOSED]

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER

APPLICANT

CONTACT PERSON

CONTACT PERSON

ADDRESS

ADDRESS

CITY, STATE & ZIP

CITY, STATE & ZIP

PHONE

PHONE

E-MAIL

E-MAIL

MAPLE REALTY
 JOHN HANSEN
 30 SHADY OAK LANE
 ROCKWALL TX 75087
 972-435-0053
 johan@LOSAROUTDOOR.COM

NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED John Hansen [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ _____ TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE _____ DAY OF _____, 20____. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 22 DAY OF July, 2024

OWNER'S SIGNATURE

John Hansen

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

Jamie Johnson

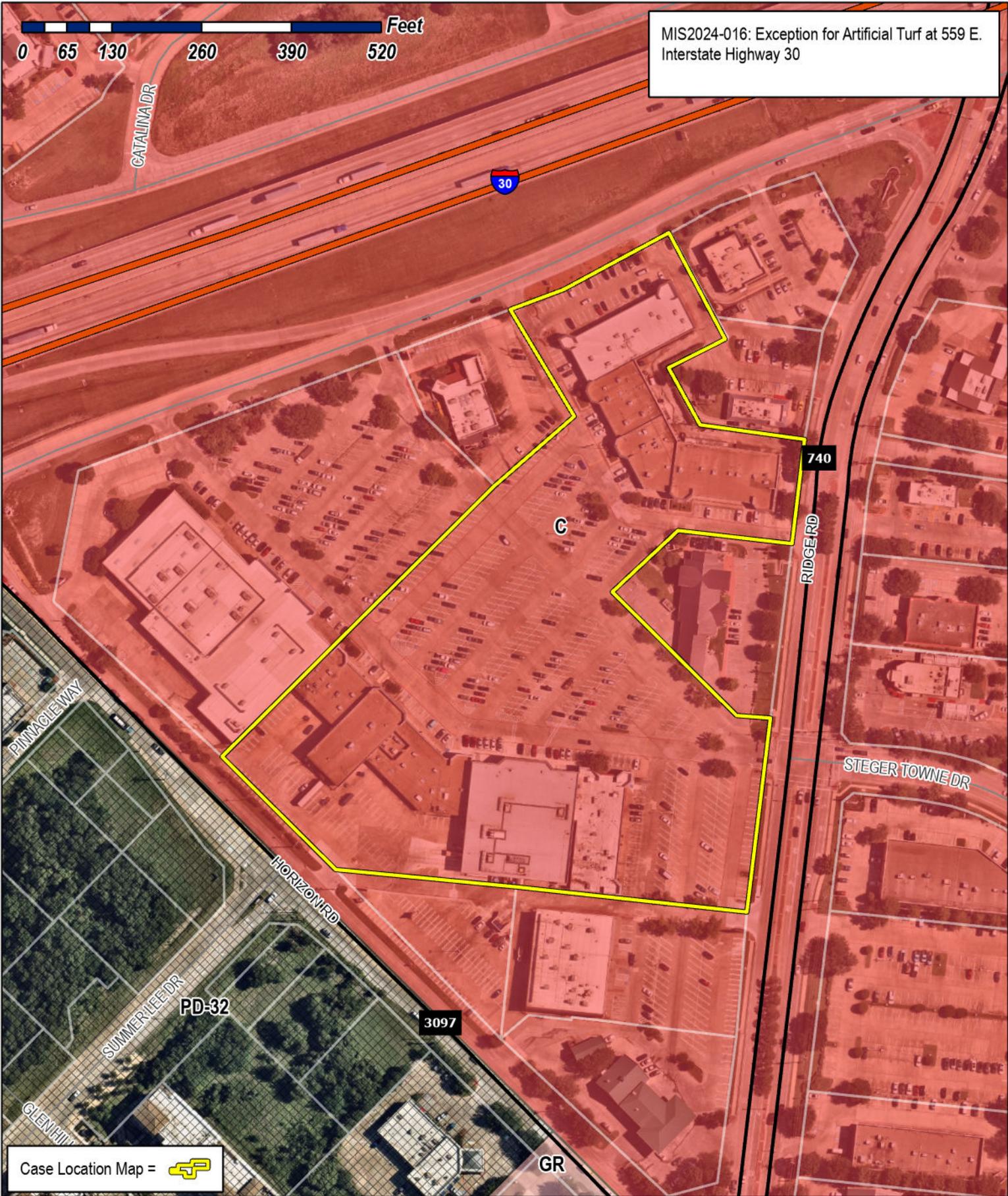


JAMIE JOHNSON
 Notary Public
 STATE OF TEXAS
 My Comm. Exp. 03-09-26
 -Notary ID # 12398679-4-

MY COMMISSION EXPIRES 03/09/26



MIS2024-016: Exception for Artificial Turf at 559 E. Interstate Highway 30



Case Location Map =



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.









cicis pizza

479

cicis
PIZZA

- LAD BARBERSHOP
- ROCKWALL SPIRIT
- SUNSTONE YOGA
- LIBERTY DRACEM
- KNOCKOUTS
- CRICKET WIRELESS
- SCHEMATIC
- BOARD & BRUSH
- ROCKWALL SPORTS
- SUGARBOYS
- APX THREAD SALON
- ROCKWALL RESTORATION

City of Rockwall
Planning & Zoning

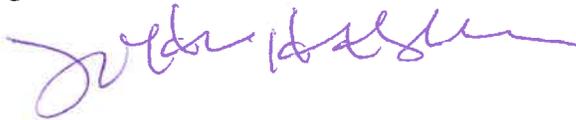
I request a variance for the application of artificial turf on parking lot islands in the Rockwall Village shopping center located on the corner of Ridge Road & Interstate 30.

The use of this material aids in the maintenance and cleanliness of not only the shopping center, but more importantly the cleanliness of the businesses in close proximity. Retail customers are no longer bringing in additional dust and debris into the suites. This is not only beneficial to the business but essential when it comes to controlling allergens and airborne bacteria that is normally associated with natural plantings. This also helps to create a lush landscape feeling which is part of the visual appeal to consumers spending their money in local stores, but to the owners themselves and seeing added value in executing and renewing leases in this location.

Although this application has already been installed I wish for the board to make an exception and use this location as a case study for additional requests in the future of Rockwall.

Sincerely,

John Hagaman





Test Report

No.: 70.431.23.16030.02

Date: 2023-11-10

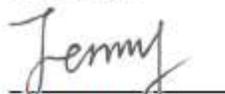
Applicant: TURF DISTRIBUTORS
Address: 42505 RIO NEDO, TEMECULA, CA 92590
Product Name: ARTIFICIAL GRASS
Model No.: Eco 85 Silver Putt,Eco 48 Silver,Eco 108 Gold,Eco 59 Silver Hybrid,Eco 94 Gold,Eco 96 Gold,EVO001,EVO002,EVO003,EVO004,EVO005,EVO006,So Natural 70,Eco 72 Silver,Eco 74 Silver,Eco 82 Silver,So Natural 90,Eco 56 Silver ,Natural 105
Receipt Date of Sample: 2023-10-24
Date of Testing: 2023-10-24 ~ 2023-11-10
Sample Submitted: The sample(s) was (were) submitted by applicant and identified.
Test Result: Refer to the data listed in following pages

Test Item	Conclusion
1. Client's Requirement- PFCAs Content	Pass

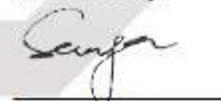
- Remarks:
1. MDL = Method Detection Limit
 2. ND = Not Detected (<MDL)
 3. ≤ Less than
 4. 1 mg/kg = 1 ppm = 0.0001%

TÜV SÜD Certification and Testing (China) Co., Ltd. Shanghai Branch
 Testing Center

Prepared by:


 Jenny Yao
 Technical Engineer

Authorized by:


 Sawyer Tang
 Technical Manager

Note:

- (1) The TÜV SÜD Certification and Testing (China) Co., Ltd. "General Terms & Conditions" applied. Any use for advertising purposes must be granted in writing. This technical report may only be quoted in full. This report is the result of a single examination of the object in question and is not generally applicable evaluation of the quality of other products in regular production. For further details, please see "Testing and certification regulation", chapter A-3.4. For full version, please visit: EN : <https://www.tuvsud.cn/zh-cn/resource/terms-and-conditions-en> ; SCN: <https://www.tuvsud.cn/zh-cn/terms-and-conditions> ; TCN: <https://www.tuvsud.com/zh-tw/terms-and-conditions>
- (2) The results relate only to the items tested.
- (3) The test report shall not be reproduced except in full without the written approval of the laboratory
- (4) **Disclaimer Measurement Uncertainty:**
 Unless otherwise agreed upon, Pass or Fail verdicts are given based on the measured values without any considerations of measurement uncertainties. Please note, every test method has a measurement uncertainty which has been evaluated by the laboratory according to ISO/IEC 17025 requirements. By taking measurement uncertainties into account it might happen that measured values can neither be assessed as Pass nor as Fail.

Laboratory:
 TÜV SÜD Certification and Testing (China) Co., Ltd.
 Shanghai Branch, Testing Center
 Building B,C, No. 1999 and Building D, No. 2059,
 Duhui Road, Minhang District, Shanghai

Phone: +86 21 60376300
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Regd. Office:
 TÜV SÜD Certification and Testing (China) Co., Ltd.
 Shanghai Branch, TÜV SÜD Group
 Floor 11-12, No 151, Hengtong Road, Jing'an District, Shanghai



Greater China

Test Report No.: 70.300.23.10245.01 R1
Dated: 2023-10-24
PFOS, its salts and related compounds

Perfluorooctanesulfonic acid (PFOS)	1763-23-1	mg/kg	0.01	ND
Note 1				
N-ethylperfluoro-1-octanesulfonamide (N-EtFOSA)	4151-50-2	mg/kg	0.01	ND
N-methylperfluoro-1-octanesulfonamide (N-MeFOSA)	31506-32-8	mg/kg	0.01	ND
2-(N-ethylperfluoro-1-octanesulfonamido)-ethanol (N-EtFOSE)	1691-99-2	mg/kg	0.01	ND
2-(N-methylperfluoro-1-octanesulfonamido)-ethanol (N-MeFOSE)	24448-09-7	mg/kg	0.01	ND
Perfluorooctane Sulfonamide (PFOSA) Note 25	754-91-6	mg/kg	0.01	ND
Sum of Perfluorooctane sulfonates (PFOS) and its derivatives		mg/kg	-	ND
PFOA, its salts				
Perfluorooctanoic acid (PFOA) Note 2	335-67-1	mg/kg	0.01	ND
PFOA-related compound				
1H,1H,2H,2H-Perfluorodecanesulfonic acid (8:2 FTS) Note 3	39108-34-4	mg/kg	0.01	ND
Methyl perfluorooctanoate (Me-PFOA)	376-27-2	mg/kg	0.1	ND
Ethyl perfluorooctanoate (Et-PFOA)	3108-24-5	mg/kg	0.1	ND
1H,1H,2H,2H-Perfluorodecyl acrylate (8:2 FTA) Note 3	27905-45-9	mg/kg	0.1	ND



Greater China

Test Report No.: 70.300.23.10245.01 R1

Dated: 2023-10-24

<u>Test Item(s)</u>	<u>CAS NO.</u>	<u>Unit</u>	<u>MDL</u>	<u>001</u>
1H,1H,2H,2H-Perfluorodecyl methacrylate (8:2 FTMA) Note 3	1996-88-9	mg/kg	0.1	ND
Perfluoro-1-iodooctane (PFOI)	507-63-1	mg/kg	0.1	ND
2H,2H Perfluorodecane Acid (H ₂ PFDA / 8:2 FTCA) Note 3, Note 11	27854-31-5	mg/kg	0.01	ND
1H,1H,2H,2H-Perfluoro-1-decanol (8:2 FTOH) Note 3	678-39-7	mg/kg	0.1	ND
Sum of PFOA-related compounds C9-C14 PFCA, their salts		mg/kg	-	ND
Perfluorononane Acid (PFNA) Note 4	375-95-1	mg/kg	0.01	ND
Perfluorodecane Acid (PFDA) Note 4	335-76-2	mg/kg	0.01	ND
Perfluoroundecanoic Acid (PFUnDA) Note 22	2058-94-8	mg/kg	0.01	ND
Perfluorododecanoic Acid (PFDoDA) Note 4	307-55-1	mg/kg	0.01	ND
Perfluorotridecanoic Acid (PFTTrDA) Note 24	72629-94-8	mg/kg	0.01	ND
Perfluorotetradecanoic Acid (PFTDA)	376-06-7	mg/kg	0.01	ND
Perfluoro-3,7-dimethyloctanoic Acid (PF-3,7-DMOA)	172155-07-6	mg/kg	0.01	ND
Sum of C9-C14 PFCA, their salts		mg/kg	-	ND
C9_C14_PFCA_related_substances				
Perfluorodecane sulfonic Acid (PFDS) Note 10	335-77-3	mg/kg	0.01	ND
1H,1H,2H,2H-Perfluoro-1-dodecanol (10:2 FTOH)	865-86-1	mg/kg	0.1	ND
1H,1H,2H,2H-Perfluorododecylacrylate (10:2 FTA)	17741-60-5	mg/kg	0.1	ND
1-Iodo-1H,1H,2H,2H-perfluorodecane (8:2 FTI)	2043-53-0	mg/kg	0.1	ND
1H,1H,2H,2H-Perfluorodecyltriethoxysilane (8:2 FTSi(OC ₂ H ₅) ₃)	101947-16-4	mg/kg	0.1	ND
2H,2H,3H,3H-Perfluoroundecanoic Acid (H ₄ PFUnDA / 8:3 FTCA) Note 12	34598-33-9	mg/kg	0.01	ND
1H,1H,2H,2H-Perfluorododecyl methacrylate (10:2 FTMA)	2144-54-9	mg/kg	0.1	ND
1H,1H,2H,2H-perfluorotetradecan-1-ol(12:2 FTOH)	39239-77-5	mg/kg	0.1	ND
1H,1H,2H,2H-Perfluorododecane sulfonic acid (10:2FTS)	120226-60-0	mg/kg	0.01	ND
1H,1H,2H,2H-Perfluorododecyl iodide (10:2 FTI)	2043-54-1	mg/kg	0.1	ND
1H,1H,2H,2H-Perfluorotetradecyl iodide (12:2 FTI)	30046-31-2	mg/kg	0.1	ND
1H,1H,2H,2H-Perfluorodecanesulfonic acid (8:2 FTS) Note 3	39108-34-4	mg/kg	0.01	ND



Greater China

Test Report **No.: 70.300.23.10245.01 R1**

Dated: 2023-10-24

<u>Test Item(s)</u>	<u>CAS NO.</u>	<u>Unit</u>	<u>MDL</u>	<u>001</u>
1H,1H,2H,2H-Perfluorodecyl acrylate (8:2 FTA) Note 3	27905-45-9	mg/kg	0.1	ND
1H,1H,2H,2H-Perfluorodecyl methacrylate (8:2 FTMA) Note 3	1996-88-9	mg/kg	0.1	ND
2H,2H Perfluorodecane Acid (H ₂ PFDA / 8:2 FTCA) Note 3, Note 11	27854-31-5	mg/kg	0.01	ND
1H,1H,2H,2H-Perfluoro-1-decanol (8:2 FTOH) Note 3	678-39-7	mg/kg	0.1	ND
Sum of C9-C14-related substances		mg/kg	-	ND
PFHxS, its salts				
Perfluorohexanesulfonic acid (PFHxS) Note 7	355-46-4	mg/kg	0.01	ND
PFHxS-related compounds				
N-Methylperfluoro-1-hexane sulfonamide (N-Me-FHxSA)	68259-15-4	mg/kg	0.01	ND
N-[3-(dimethylamino)propyl]tridecafluorohexanesulphonamide (N-AP-FHxSA)	50598-28-2	mg/kg	0.01	ND
Perfluorohexane sulfonamide (PFHxSA)	41997-13-1	mg/kg	0.01	ND
2-[methyl[(tridecafluorohexyl) sulphonyl]amino]ethyl acrylate)) (N-MeFHSEA)	67584-57-0	mg/kg	0.5	ND
Other PFAS				
Perfluorobutane acid (PFBA) Note 13	375-22-4	mg/kg	0.01	ND
Perfluorobutanesulfonic acid (PFBS) Note 5	375-73-5	mg/kg	0.01	ND
1,1,2,2,3,3,4,4,4-nonafluoro-N-(2-hydroxyethyl)-N-methylbutane-1-sulphonamide (PFBS-NC ₅ H ₉ O)	34454-97-2	mg/kg	0.01	ND
Perfluoropentane acid (PFPeA) Note 17	2706-90-3	mg/kg	0.01	ND
Perfluorohexane acid (PFHxA) Note 6	307-24-4	mg/kg	0.01	ND
Perfluoroheptane acid (PFHpA) Note 14	375-85-9	mg/kg	0.01	ND
Perfluoroheptanesulfonic acid (PFHpS) Note 8	375-92-8	mg/kg	0.01	ND
7H-Dodecafluoroheptane acid (7HPFHpA)	1546-95-8	mg/kg	0.01	ND
1H,1H,2H,2H-Perfluorooctanesulphonic acid (6:2 FTS) Note 26	27619-97-2	mg/kg	0.01	ND
1H,1H,2H,2H-Perfluorooctylacrylate (6:2 FTA)	17527-29-6	mg/kg	0.1	ND
1H,1H,2H,2H-Perfluoro-1-hexanol (4:2 FTOH)	2043-47-2	mg/kg	0.1	ND
1H,1H,2H,2H-Perfluoro-1-octanol (6:2 FTOH)	647-42-7	mg/kg	0.1	ND
2,3,3,3-tetrafluoro-2-(heptafluoropropoxy) propionic acid, its salts and its acyl halides (HPFO-DA) Note 9	13252-13-6	mg/kg	0.01	ND



Greater China

Test Report No.: 70.300.23.10245.01 R1

Dated: 2023-10-24

<u>Test Item(s)</u>	<u>CAS NO.</u>	<u>Unit</u>	<u>MDL</u>	<u>001</u>
1H, 1H, 2H, 2H-Perfluorohexanesulfonic Acid (4:2 FTS)	757124-72-4	mg/kg	0.01	ND
Perfluorooctane sulfonamidoacetic acid (FOSAA)	2806-24-8	mg/kg	0.01	ND
N-Methylperfluoro-1-octanesulfonamidoacetic acid (N-MeFOSAA)	2355-31-9	mg/kg	0.01	ND
N-Ethylperfluorooctane sulfonamidoacetic acid (N-EtFOSAA)	2991-50-6	mg/kg	0.01	ND
Perfluoropentane sulfonic acid (PFPeS) Note 18	2706-91-4	mg/kg	0.01	ND
Perfluorononane sulfonic acid (PFNS) Note 19	68259-12-1	mg/kg	0.01	ND
Perfluoroundecane sulfonic acid (PFUnDS) Note 16	749786-16-1	mg/kg	0.01	ND
Perfluorododecane sulfonic acid (PFDoDS) Note 20	79780-39-5	mg/kg	0.01	ND
Perfluorotridecane sulfonic acid (PFTrDS) Note 21	791563-89-8	mg/kg	0.01	ND
2-Perfluorohexyl ethanoic acid (6:2 FTCA)	53826-12-3	mg/kg	0.01	ND
3-Perfluoropentyl propanoic acid (5:3 FTCA)	914637-49-3	mg/kg	0.01	ND
Perfluorohexadecanoic Acid (PFHxDA)	67905-19-5	mg/kg	0.01	ND
Perfluorooctadecanoic Acid (PFODA)	16517-11-6	mg/kg	0.01	ND
bis(3,3,4,4,5,5,6,6,7,7,8,8,9,9,10,10,10-heptadecafluorodecyl) hydrogen phosphate (8:2 diPAP) Note 15	678-41-1	mg/kg	0.01	ND
1H,1H,2H,2H-Perfluorooctyl methacrylate (6:2 FTMA)	2144-53-8	mg/kg	0.1	ND
4,8-Dioxa-3H-perfluorononanoic acid (ADONA)	919005-14-4	mg/kg	0.01	ND
Perfluoro-3-methoxypropanoic acid (PFMPA)	377-73-1	mg/kg	0.01	ND
Perfluorodecyl iodide (PFDI)	423-62-1	mg/kg	0.1	ND
Perfluoro-4-methoxybutanoic acid (PFMBA)	863090-89-5	mg/kg	0.01	ND
Nonafluoro-3,6-dioxaheptanoic acid (NFDHA)	151772-58-6	mg/kg	0.01	ND
9-Chlorohexadecafluoro-3-oxanonane-1-sulfonic acid (9Cl-PF3ONS)	756426-58-1	mg/kg	0.01	ND
11-Chloroeicosafluoro-3-oxaundecane-1-sulfonic acid (11Cl-PF3OUdS)	763051-92-9	mg/kg	0.01	ND
Perfluoro(2-ethoxyethane)sulfonic acid (PFEESA)	113507-82-7	mg/kg	0.01	ND
3-Perfluoropropyl propanoic acid (3:3FTCA)	356-02-5	mg/kg	0.01	ND
3-Perfluoroheptyl propanoic acid (7:3FTCA)	812-70-4	mg/kg	0.01	ND
Perfluoropentadecanoic Acid (PFPeDA)	141074-63-7	mg/kg	0.1	ND



Greater China

Test Report **No.: 70.300.23.10245.01 R1**

Dated: 2023-10-24

<u>Test Item(s)</u>	<u>CAS NO.</u>	<u>Unit</u>	<u>MDL</u>	<u>001</u>
1H,1H,2H,2H-Perfluorohexyl methacrylate (4:2 FTMA)	1799-84-4	mg/kg	0.1	ND
2-(N-ethylperfluorooctanesulfamido) ethyl acrylate (EtFOSAC)	423-82-5	mg/kg	0.1	ND
1H,1H,2H-Heptadecafluoro-1-decene (PFDE)	21652-58-4	mg/kg	0.1	ND
Perfluorooctyl triethoxysilane (POTS)	51851-37-7	mg/kg	0.1	ND
Perfluorododecyl iodide (PFDoDI)	307-60-8	mg/kg	0.1	ND
11H-Perfluoroundecanoic acid (11H-PFUnDA)	1765-48-6	mg/kg	0.1	ND

Note 23

Notes :

(1)PFOS refer to its salts/derivative including

- PFOS-K CAS No.: 2795-39-3
- PFOS-Li CAS No.: 29457-72-5
- PFOS-Na CAS No.: 4021-47-0
- PFOS-NH₄ CAS No.: 29081-56-9
- PFOS-NH₂(C₂H₅OH)₂ CAS No.: 70225-14-8
- PFOS-N(C₂H₅)₂ CAS No.: 56773-42-3
- PFOS-N(C₁₀H₂₁)₂(CH₃)₂ CAS No.: 251099-16-8
- POSF CAS No.: 307-35-7
- POSF-Mg CAS No.: 91036-71-4

(2)PFOA refer to its salts/derivative including

- PFOA-Na CAS No.: 335-95-5
- PFOA-K CAS No.: 2395-00-8
- PFOA-Ag CAS No.: 335-93-3
- PFOA-F CAS No.: 335-66-0
- APFO CAS No.: 3825-26-1
- PFOA-Li CAS No.: 17125-58-5

(3) PFAS classified as both PFOA-related compounds and C9-C14 PFCA-related substances.

- 8:2 FTS refer to its salts including
- 8:2 FTS-K CAS No.: 438237-73-1
- 8:2 FTS-NH₄ CAS No.: 149724-40-3
- 8:2 FTS-Na CAS No.: 27619-96-1

(4)PFNA refer to its salts including

- PFNA-Na CAS No.: 21049-39-8

**Test Report No.: 70.300.23.10245.01 R1****Dated: 2023-10-24**PFNA-NH₄ CAS No.: 4149-60-4

PFNA-K CAS No.: 21049-38-7

PFNA-Li CAS No.: 60871-92-3

PFNA-Ag CAS No.: 7358-16-9

(5)PFDA refer to its salts including

PFDA-Na CAS No. 3830-45-3

PFDA-NH₄ CAS No: 3108-42-7

PFDA-K CAS No: 51604-85-4

PFDA-Ag CAS No: 5784-82-7

PFDA-Li CAS No: 84743-32-8

(6)PFDoDA refer to its salts including

PFDoDA-NH₄ CAS No: 3793-74-6

PFDoDA-Na CAS No: 60872-01-7

(7)PFBS refers to its salts/derivative including

PFBS-K CAS No.: 29420-49-3

PFBS-H₂O CAS No.: 59933-66-3

PFBS-Li CAS No.: 131651-65-5

TPS-PFBS CAS No.: 144317-44-2

PFBS-S(CH₃)₂C₄H₉ CAS No.: 220133-51-7PFBS-P(C₄H₉)₃ CAS No.: 220689-12-3PFBS-N(C₂H₅)₃ CAS No.: 25628-08-4

PFBS-F CAS No.: 375-72-4

PFBS-NC₄H₉O CAS No.: 503155-89-3

PFBS-Mg CAS No.: 507453-86-3

PFBS-NH₄ CAS No.: 68259-10-9PFBS-SC₄H₉O CAS No.: 209482-18-8

PFBS-Cl CAS No.: 2991-84-6

PFBS-NaCAS No.: 60453-92-1

PFBS-I(C₄H₉)₂(C₂H₅)₂ CAS No.: 194999-85-4PFBS-NH(C₂H₅O)₂ CAS No.: 70225-18-2

(8)PFHxA refers to its salt including

APFHx CAS No.: 21615-47-4



Test Report No.: 70.300.23.10245.01 R1

Dated: 2023-10-24

PFHxA-Na CAS No.: 2923-26-4

PFHxA-K CAS No.: 3109-94-2

PFHxA-F CAS No.: 355-38-4

PFHxA-Ag CAS No.: 336-02-7

PFHxA-Li CAS No.: 90430-61-8

(9)PFHxS refers to its salts including

PFHxS-Na CAS No.: 82382-12-5

PFHxS-K CAS No.: 3871-99-6

PFHxS-Li CAS No.: 55120-77-9

PFHxS-NH₄ CAS No.: 68259-08-5

PFHxS-BTPP CAS No.: 1000597-52-3

PFHxS-N(C₂H₅)₂ CAS No.: 108427-54-9

PFHxS-N(C₂H₅)₂ CAS No.: 108427-55-0

PFHxS-NC₆H₅ CAS No.: 1187817-57-7

PFHxS-(NC₁₀H₁₄)₂C₆H₅ CAS No.: 1310480-24-0

PFHxS-(NC₈H₁₆)₂C₁₂H₁₂ CAS No.: 1310480-27-3

PFHxS-(NC₈H₁₆)₂C₁₇H₁₂ CAS No.: 1310480-28-4

PFHxS-C₆H₇O₂ CAS No.: 1329995-45-0

PFHxS-C₈H₁₀O₂ CAS No.: 1329995-69-8

TPS-PFHxS CAS No.: 144116-10-9

PFHxS-C₄H₇N₂O₂ CAS No.: 1462414-59-0

PFHxS-I(C₆H₅)₂ CAS No.: 153443-35-7

PFHxS-TMA CAS No.: 189274-31-5

PFHxS-NH₂(CH₃)₂ CAS No.: 202189-84-2

PFHxS-I(C₆H₅)₂(C₆H₅)₂ CAS No.: 213740-81-9

PFHxS-Ga CAS No.: 341035-71-0

PFHxS-S(C₂H₅)₂C₆H₅ CAS No.: 341548-85-4

PFHxS-Sc CAS No.: 350836-93-0

PFHxS-Nd CAS No.: 41184-65-0

PFHxS-Y CAS No.: 41242-12-0

PFHxS-S₂(C₆H₅)₂(C₆H₅)₂ CAS No.: 421555-73-9

PFHxS-I(C₆H₅)₂(C₆H₁₁)₂ CAS No.: 421555-74-0

PFHxS-F CAS No.: 423-50-7



Greater China

Test Report No.: 70.300.23.10245.01 R1

Dated: 2023-10-24

PFHxS-S(C₈H₁₇)₂(C₈H₁₇)₂ CAS No.: 425670-70-8

PFHxS-Zn CAS No.: 70136-72-0

PFHxS-NH(C₂H₅O)₂ CAS No.: 70225-16-0

PFHxS-N(C₂H₅)₂ CAS No.: 72033-41-1

PFHxS-I(C₈H₁₇)₂(C₈H₁₇)₂ CAS No.: 866621-50-3

PFHxS-S(C₈H₁₇)₂C₇H₇ CAS No.: 910606-39-2

PFHxS-S(C₈H₁₇)₂C₁₀H₁₈O₂ CAS No.: 911027-68-4

PFHxS-Cs CAS No.: 92011-17-1

PFHxS-SC₂₈H₅₈O₄ CAS No.: 928049-42-7

PFHxS-Cl CAS No.: 55591-23-6

(10) PFHpS refers to its salts including

PFHpS-Na CAS No.: 21934-50-9

PFHpS-K CAS No.: 60270-55-5

PFHpS-NH₄ CAS No.: 68259-07-4

PFHpS-Li CAS No.: 117806-54-9

(11) HFPO-DA refers to its salts including

HFPO-DA-NH₄ CAS No.: 62037-80-3

HFPO-DA-K CAS No.: 67118-55-2

HFPO-DA-F CAS No.: 2062-98-8

(12) PFDS refer to its salts including

PFDS-Na CAS No.: 2806-15-7

PFDS-K CAS No.: 2806-16-8

PFDS-NH₄ CAS No.: 67906-42-7

(13) H₂PFDA / 8:2 FTCA refer to its salt/derivative including

8:2 FTCA-P(C₈H₁₇)₄ CAS No.: 882489-14-7

(14) H₄PFUnDA/ 8:3 FTCA refer to its salts including

H₄PFUnDA-K CAS No.: 83310-58-1

(15) PFBA refers to its salts including

PFBA-NH₄ CAS No.: 10495-86-0

PFBA-Na CAS No.: 2218-54-4

PFBA-K CAS No.: 2966-54-3

PFBA-Ag CAS No.: 3794-64-7



Test Report **No.: 70.300.23.10245.01 R1**

Dated: 2023-10-24

PFBA-Li CAS No.: 4146-76-3

(16) PFHpA refers to its salts including

PFHpA-Na CAS No.: 20109-59-5

PFHpA-K CAS No.: 21049-36-5

PFHpA-NH₄ CAS No.: 6130-43-4

PFHpA-Cs CAS No.: 171198-24-6

PFHpA-Ag CAS No.: 424-05-5

PFHpA-Li CAS No.: 60871-90-1

(17) 8:2diPAP refers to its salts including

8:2diPAP-Na CAS No.: 114519-85-6

(18) PFUnDS refers to its salts including

PFUnDS-Na CAS No.: 441296-91-9 (anion)

(19) PFPeA refers to its salts including

PFPeA-Na CAS No.: 2706-89-0

PFPeA-K CAS No.: 336-23-2

PFPeA-NH₄ CAS No.: 68259-11-0

PFPeA-Li CAS No.: 198482-22-3

PFPeA-Ag CAS No.: 2795-30-4

(20) PFPeS refers to its salts including

PFPeS-Na CAS No.: 630402-22-1

PFPeS-K CAS No.: 3872-25-1

PFPeS-NH₄ CAS No.: 68259-09-6

(21) PFNS refers to its salts including

PFNS-Na CAS No.: 98789-57-2

PFNS-NH₄ CAS No.: 17202-41-4

PFNS-K CAS No.: 29359-39-5

(22) PFDoDS refers to its salts including

PFDoDS-Na CAS No.: 1260224-54-1

(23) PFTrDS refers to its salts including

PFTrDS-Na CAS No.: 174675-49-1

(24) PFUnDA refers to its salts including

PFUnDA-Na CAS No.: 60871-96-7

PFUnDA-NH₄ CAS No.: 4234-23-5



Test Report No.: 70.300.23.10245.01 R1

Dated: 2023-10-24

PFUnDA-K CAS No.: 30377-53-8

(25) 11H-PFUnDA refers to its salts including

11H-PFUnDA-K CAS No.: 307-71-1

11H-PFUnDA-NH₄ CAS No.: 5081-02-7

(26) PFTrDA refers to its salts including

PFTrDA-NH₄ CAS No.: 4288-72-6

(27) PFOSA refers to its salts including

PFOSA-Li CAS No.: 76752-79-9

(28) 6:2 FTS refers to its salts including

6:2 FTS-Na CAS No.: 27619-94-9

6:2 FTS-K CAS No.: 59587-38-1

6:2 FTS-NH₄ CAS No.: 59587-39-2

Remark: Unless otherwise stated, the decision rule for conformity reporting is based on Binary Statement for Simple Acceptance Rule ($w=0$) stated in ILAC-G8:09/2019.

- End of Test Report -

PROJECT COMMENTS



CITY OF ROCKWALL
385 S. GOLIAD STREET
ROCKWALL, TEXAS 75087
PHONE: (972) 771-7700

DATE: 7/24/2024

PROJECT NUMBER: Z2024-031
PROJECT NAME: SUP for Residential Infill 510 W. Kaufman Street
SITE ADDRESS/LOCATIONS: 510 W KAUFMAN ST

CASE CAPTION: Hold a public hearing to discuss and consider a request by Paul and Dioselina Curbow for the approval of a Specific Use Permit (SUP) for Residential Infill Adjacent to an Established Subdivision on a 0.2753-acre tract of land identified as a portion of Block 20 of the Lowe & Allen Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 10 (SF-10) District, addressed as 510 W. Kaufman Street, and take any action necessary.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
	Angelica Guevara	07/22/2024	Approved w/ Comments

07/22/2024: Z2024-031; Specific Use Permit (SUP) for Residential Infill Adjacent to an Established Subdivision for 510 W. Kaufman Street
Please address the following comments (M= Mandatory Comments; I = Informational Comments)

I.1 This is a request for the approval of a Specific Use Permit (SUP) for Residential Infill Adjacent to an Established Subdivision on a 0.2753-acre tract of land identified as a portion of Block 20 of the Lowe & Allen Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 10 (SF-10) District, addressed as 510 W. Kaufman Street.

I.2 For questions or comments concerning this case, please contact Angelica Guevara in the Planning Department at (972) 772-6438 or email aguevara@rockwall.com.

M.3 For reference, include the case number (Z2024-031) in the lower right-hand corner of all pages on future submittals.

I.4 According to Subsection 02.03(B)(11), Residential Infill in or Adjacent to an Established Subdivision, of Article 05, District Development Standards, of the Unified Development Code (UDC), an Established Subdivision is defined as any subdivision that [1] consists of five (5) or more lots, [2] that is 90% or more developed, and [3] that has been in existence for more than ten (10) years. In this case, the subject property is located adjacent to the Highwood Subdivision, which is 100% developed, consists of 74 residential lots, and has been in existence since July 1, 1955.

I.5 Subsection 02.03(B)(11), Residential Infill in or Adjacent to an Established Subdivision, of Article 05, District Development Standards, of the Unified Development Code (UDC), states that "(i)n reviewing the Specific Use Permit (SUP), the Planning and Zoning Commission and City Council shall consider the proposed size, location, and architecture of the home compared to the existing housing in the Established Subdivision ... {and} all housing proposed under this section shall be constructed to be architecturally and visually similar or complimentary to the existing housing in the Established Subdivision."

M.6 According to Subsection 04.01(B), Lots Less Than Five Acres, of Article 06, Parking and Loading, garages located in single family districts must be located 20-feet behind the front façade of the building. In this case the proposed garage is located even with the front façade of the single-family home. This will require a waiver to the requirements of the Unified Development Code (UDC).

M.7 Please review the attached Draft Ordinance prior to the July 30, 2024 Planning and Zoning Commission Work Session meeting, and provide staff with your markups by no later than August 6, 2024.

I.8 Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that is requested. Revisions for this case will be due on August 6, 2024; however, it is encouraged for applicants to submit revisions as soon as possible to give staff ample time to review the case prior to the August 13, 2024 Planning and Zoning Commission Public Hearing Meeting.

I.9 The projected City Council meeting dates for this case will be August 19, 2024 (1st Reading) and September 3, 2024 (2nd Reading).

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
ENGINEERING	Madelyn Price	07/24/2024	Approved w/ Comments

- 07/24/2024:
1. Additional comments may be provided at time of building permit.
 2. House will have to have a fire sprinkler system if larger than 5,000 sf.
 3. Be aware that the property to the east is draining water onto this site.
 4. Install 5' sidewalk along the entire frontage of W. Kaufman, 2' inside the right-of-way.
 5. Maximum driveway width is 24' at the property line for a 2 car garage. You will need to tie into west kaufman street using 5' curb returns, not flares.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
BUILDING	Craig Foshee	07/22/2024	Approved w/ Comments

07/22/2024: IF APPROVED WILL REQUIRE A SEPARATE BUILDING PERMIT SUBMITTAL

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
FIRE	Ariana Kistner	07/24/2024	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
GIS	Lance Singleton	07/22/2024	Approved

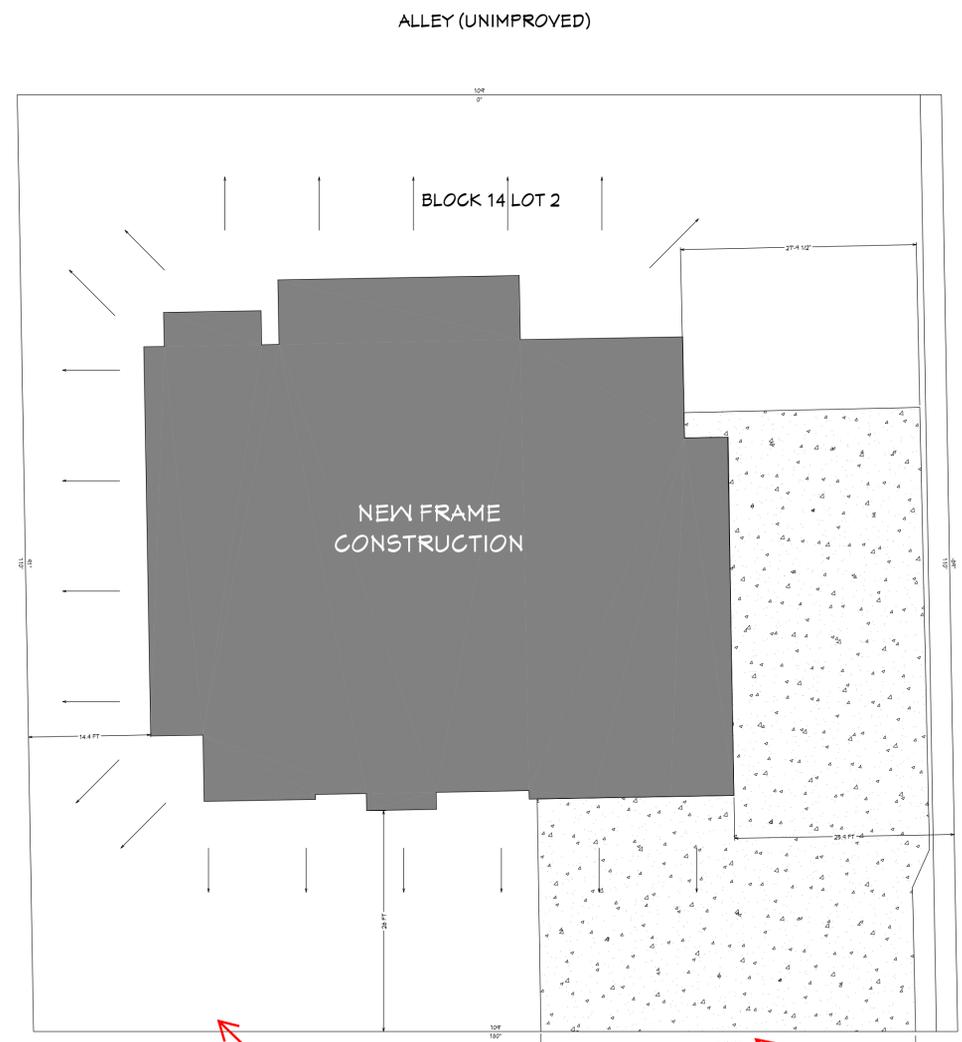
No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
POLICE	Chris Cleveland	07/15/2024	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PARKS	Travis Sales	07/22/2024	Approved

No Comments



N



Additional comments may be provided at time of building permit.

House will have to have a fire sprinkler system if larger than 5,000 sf.

Be aware that the property to the east is draining water onto this site

LOT 1

WEST KAUFMAN STREET

Maximum driveway width is 24' at the property line for a 2 car garage.

You will need to tie into west kaufman street using 5' curb returns, not flares.

Install 5' sidewalk along the entire frontage of W. Kaufman, 2' inside the right-of-way

GENERAL NOTES:

1. All penetrations in top or bottom plates for plumbing or electrical runs to be sealed. See electrical notes for additional specifications.
2. All linear dimensions located on exterior walls originate at outside of veneer.
3. All linear dimensions located on interior walls originate at framing layer.

SITE NOTES:

1. Confirm zoning setbacks.



NUMBER	DATE	REVISION BY	DESCRIPTION

DRAWN FOR:
 Paul Curbow
 510 W. Kaufman
 Rockwall, TX 75227
 | 469-623-2192

Plot Plan

DRAWINGS PROVIDED BY:
homeMADE Design
 David B. Lawson, Designer
 david@homemadedesign.net | 940-331-6093

DATE:

5/14/2024

SCALE:

1" = 10'

SHEET:

12

SHEET INDEX	
1	Project Overview
2	Floor Plan Dimensioned
3	Floor Plan Dimensioned
4	Exterior Elevations
5	Exterior Elevations
6	Wall Section Details
7	Roof Detail
8	Roof Detail
9	Foundation Detail
10	Electrical Plan
11	Electrical Plan
12	Plot Plan

All construction must meet or exceed locally adopted building codes.



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. _____

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- REPLAT (\$300.00 + \$20.00 ACRE) ¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ^{1 & 2}
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) ²

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
²: A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 510 W. Kaufman St Rockwall, TX 75087

SUBDIVISION Lowe & Allen Block LOT 20 BLOCK -

GENERAL LOCATION _____

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING _____

CURRENT USE _____

PROPOSED ZONING _____

PROPOSED USE Single Family Residential

ACREAGE .27

LOTS [CURRENT] _____

LOTS [PROPOSED] _____

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER Paul & Dioselina Carbow

APPLICANT _____

CONTACT PERSON Paul Carbow

CONTACT PERSON _____

ADDRESS 7137 Lanyon Dr

ADDRESS _____

CITY, STATE & ZIP Dallas, TX 75227

CITY, STATE & ZIP _____

PHONE 469-623-2192

PHONE _____

E-MAIL pcarbow@dallasisd.org

E-MAIL _____

NOTARY VERIFICATION [REQUIRED]

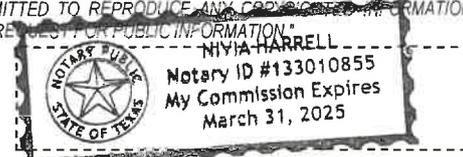
BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Paul Carbow [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 215 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 12th DAY OF July, 2024 BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPIED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 12th DAY OF July, 2024

OWNER'S SIGNATURE Paul Carbow

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS Paul Harrell



MY COMMISSION EXPIRES _____



Z2024-031: Specific Use Permit (SUP) for Residential Infill in an Established Subdivision 510 W. Kaufman Street.

SF-10

W KAUFMAN ST

SF-7

Case Location Map = 



City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75087
 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

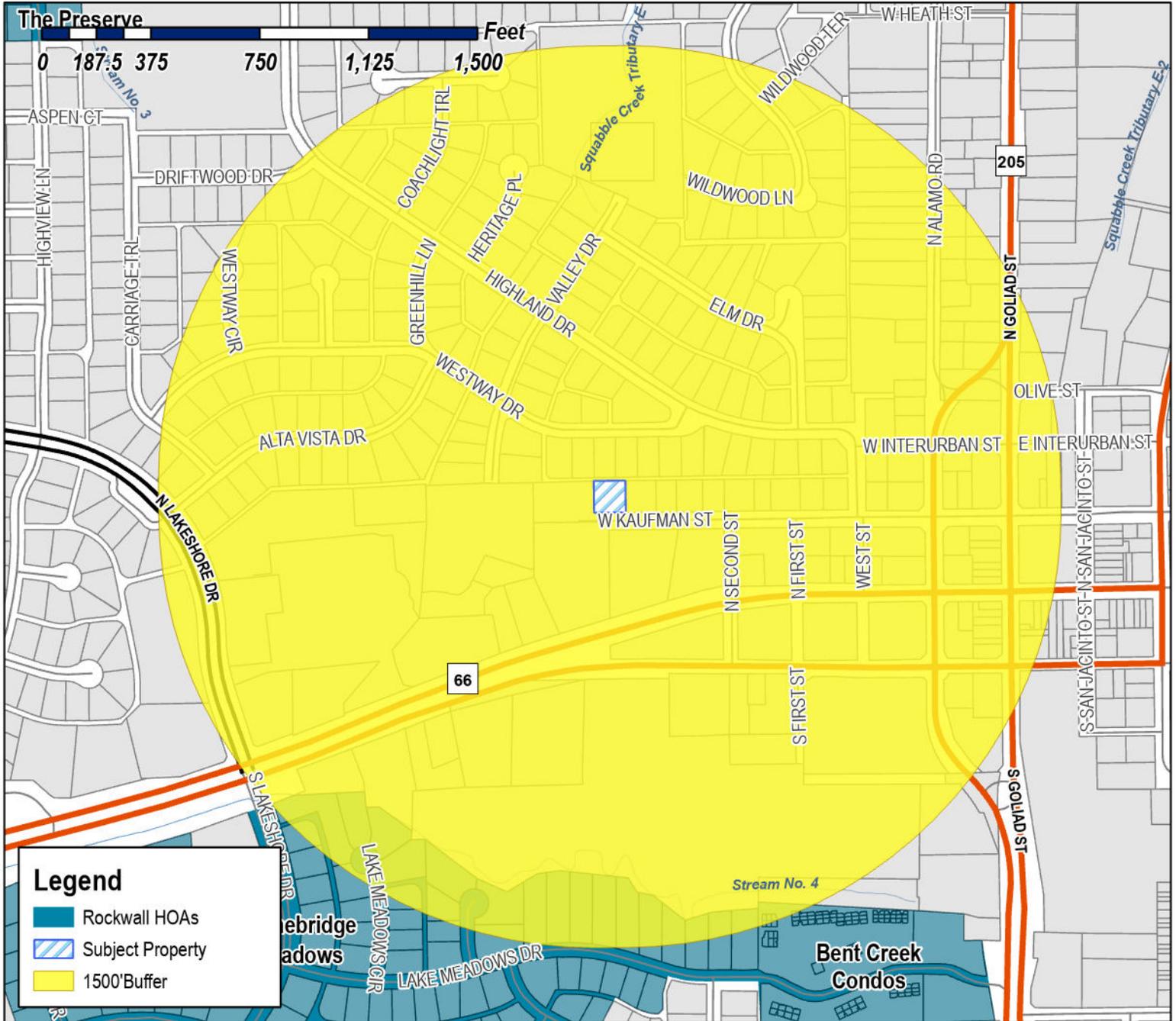




City of Rockwall

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Case Number: Z2024-031
Case Name: SUP for Residential Infill
Case Type: Zoning
Zoning: Single-Family 10 (SF-10) District
Case Address: 510 W. Kaufman Street

Date Saved: 7/12/2024
 For Questions on this Case Call (972) 771-7745



From: [Guevara, Angelica](#)
Cc: [Miller, Ryan](#); [Lee, Henry](#); [Zavala, Melanie](#); [Ross, Bethany](#)
Bcc: [REDACTED]
Subject: Neighborhood Notification Email [Z2024-031]
Date: Wednesday, July 24, 2024 3:06:00 PM
Attachments: [Public Notice \(P&Z\).pdf](#)
[HOA Map \(07.12.2024\).pdf](#)

HOA/Neighborhood Association Representative:

Per your participation in the Neighborhood Notification Program, you are receiving this notice to inform your organization that a zoning case has been filed with the City of Rockwall that is located within 1,500-feet of the boundaries of your neighborhood. As the contact listed for your organization, you are encouraged to share this information with the residents of your subdivision. Please find the attached map detailing the property requesting to be rezoned in relation to your subdivision boundaries. Additionally, below is the summary of the zoning case that will be published in the Rockwall Herald Banner on Friday, July 26, 2024. The Planning and Zoning Commission will hold a public hearing on Tuesday, August 13, 2024 at 6:00 PM, and the City Council will hold a public hearing on Monday, August 19, 2024 at 6:00 PM. Both hearings will take place at 6:00 PM at City Hall, 385 S. Goliad, Rockwall, TX 75087.

All interested parties are encouraged to submit public comments via email to Planning@rockwall.com at least 30 minutes in advance of the meeting. Please include your name, address, and the case number your comments are referring to. These comments will be read into the record during each of the public hearings. Additional information on all current development cases can be found on the City's website: <https://sites.google.com/site/rockwallplanning/development/development-cases>.

Z2024-031: SUP for Residential Infill Adjacent to an Established Subdivision at 510 W. Kaufman Street
Hold a public hearing to discuss and consider a request by Paul and Dioselina Curbow for the approval of a Specific Use Permit (SUP) for Residential Infill Adjacent to an Established Subdivision on a 0.2753-acre tract of land identified as a portion of Block 20 of the Lowe & Allen Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 10 (SF-10) District, addressed as 510 W. Kaufman Street, and take any action necessary.

Thank you,

Angelica Guevara

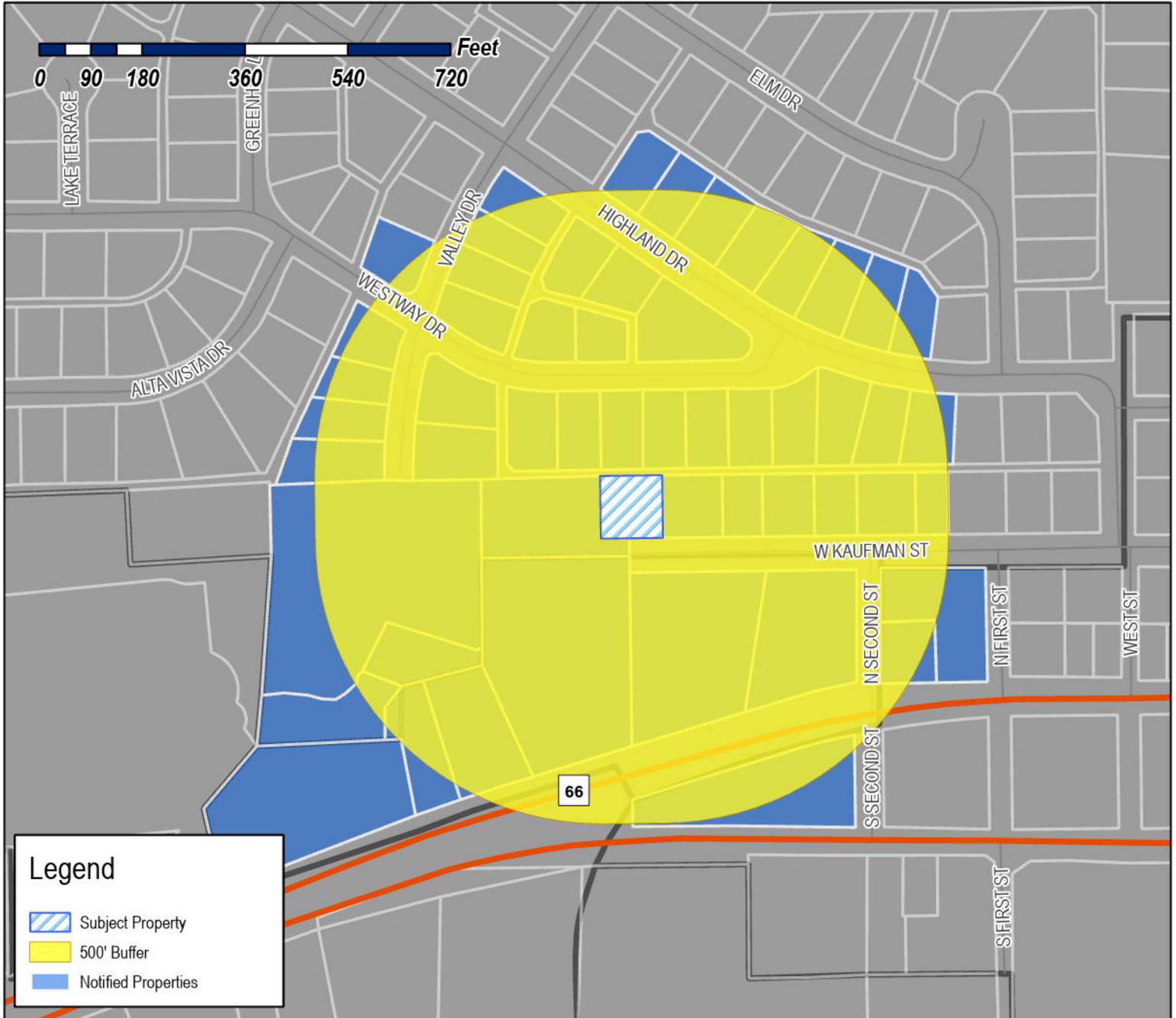
Planning Technician
City of Rockwall Planning & Zoning
385 S. Goliad Street
Rockwall, TX 75087
Office: 972-771-7745
Direct: 972-772-6438



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

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Legend

- Subject Property
- 500' Buffer
- Notified Properties

Case Number: Z2024-031
Case Name: SUP for Residential Infill
Case Type: Zoning
Zoning: Single-Family 10 (SF-10) District
Case Address: 510 W. Kaufman Street



Date Saved: 7/12/2024

For Questions on this Case Call: (972) 771-7745

PUBLIC NOTICE



CITY OF ROCKWALL
PLANNING AND ZONING DEPARTMENT
PHONE: (972) 771-7745
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

Z2024-031: SUP for Residential Infill Adjacent to an Established Subdivision

Hold a public hearing to discuss and consider a request by Paul and Dioselina Curbow for the approval of a Specific Use Permit (SUP) for Residential Infill Adjacent to an Established Subdivision on a 0.2753-acre tract of land identified as a portion of Block 20 of the Lowe & Allen Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 10 (SF-10) District, addressed as 510 W. Kaufman Street, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on Tuesday, August 13, 2024 at 6:00 PM, and the City Council will hold a public hearing on Monday, August 19, 2024 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

Angelica Guevara
Rockwall Planning and Zoning Dept.
385 S. Goliad Street
Rockwall, TX 75087

You may also email your comments to the Planning Department at planning@rockwall.com. If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Monday, August 19, 2024 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

Ryan Miller, AICP
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

--- PLEASE RETURN THE BELOW FORM ---

Case No. Z2024-031: SUP for Residential Infill Adjacent to an Established Subdivision

Please place a check mark on the appropriate line below:

- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

[Four horizontal grey bars for providing reasons for support or opposition]

Name: [Grey bar]
Address: [Grey bar]

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

SPARKS ROBERT & TANA
103 N 1ST ST
ROCKWALL, TX 75087

ASHLEY CHRISTOPHER H
1107 BAY SHORE DRIVE
ROCKWALL, TX 75087

GILLESPIE RICHARD M AND DONNA M
1130 SIERRA PASS
ROCKWALL, TX 75087

RADNEY JAMES AND PATTI
1972 CR 2296
QUINLAN, TX 75474

LINDSEY NOEL
201 VALLEY DR
ROCKWALL, TX 75087

GARRISON DAVID C AND MICHEL J
202 VALLEY DR
ROCKWALL, TX 75087

MCELROY LEAH KIMBERLY
203 VALLEYB DR
ROCKWALL, TX 75087

PHIPPS RICKIE LYNN AND
204 VALLEY DRIVE
ROCKWALL, TX 75087

RSIDENT
205 VALLEY DR
ROCKWALL, TX 75087

MILLS KAY SUSAN
207 VALLEY DR
ROCKWALL, TX 75087

BALL JUSTIN D
2155 CLUBVIEW DR
ROCKWALL, TX 75087

VISTAGE PROPERTIES LLC
2625 DISCOVERY BLVD
ROCKWALL, TX 75032

ALTA VISTA BNB LLC
2701 WHISPERING OAKS
ROCKWALL, TX 75087

RSIDENT
301 VALLEY DR
ROCKWALL, TX 75087

PAINTER MICAH
301 VALLEY DRIVE
ROCKWALL, TX 75087

GREENAWALT M GENE & CLAUDINE
302 VALLEY DR
ROCKWALL, TX 75087

CHAMBERLAIN MARCUS P
304 VALLEY DR
ROCKWALL, TX 75087

EDMINSON JACOB K AND SUSAN C
306 VALLEY DR
ROCKWALL, TX 75087

KLEPPER LINDA C (POLLARD)
307 HIGHLAND DR
ROCKWALL, TX 75087

RSIDENT
308 VALLEY DR
ROCKWALL, TX 75087

WEBB TEDDY DOUGLAS & AURORA
308 HIGHLAND DRIVE
ROCKWALL, TX 75087

PENCE ALLEE
309 HIGHLAND DRIVE
ROCKWALL, TX 75087

GARCIA JOHN
310 HIGHLAND DRIVE
ROCKWALL, TX 75087

PEOPLES JOHN P
311 HIGHLAND DR
ROCKWALL, TX 75087

GARRETT GERRY B
312 HIGHLAND DR
ROCKWALL, TX 75087

RSIDENT
313 WESTWAY DR
ROCKWALL, TX 75087

DEL CASTILLO LUIS
314 HIGHLAND DRIVE
ROCKWALL, TX 75087

HARVEY JAMES
315 WESTWAY DRIVE
ROCKWALL, TX 75087

BURTON NORVELLA KAY
316 HIGHLAND DR
ROCKWALL, TX 75087

PURNELL MICHAEL & DEBORAH
317 HIGHLAND DR
ROCKWALL, TX 75087

BUTLER PAUL DAVID
317 WESTWAY DRIVE
ROCKWALL, TX 75087

STACEY MARY
318 HIGHLAND DR
ROCKWALL, TX 75087

RSIDENT
319 WESTWAY DR
ROCKWALL, TX 75087

HARRELL GRANT E
319 HIGHLAND DR
ROCKWALL, TX 75087

RSIDENT
320 HIGHLAND DR
ROCKWALL, TX 75087

CONFIDENTIAL
321 HIGHLAND DR
ROCKWALL, TX 75087

RANDOLPH JILL FOX
321 WESTWAY DRIVE
ROCKWALL, TX 75087

GOODMAN MORGAN AND AMANDA
322 HIGHLAND DRIVE
ROCKWALL, TX 75087

ROGERS OLIVER G
322 WESTWAY DR
ROCKWALL, TX 75087

RICE KAREN
323 WESTWAY DRIVE
ROCKWALL, TX 75087

DAFFRON SYBIL ANNETTE
324 WESTWAY DRIVE
ROCKWALL, TX 75087

RSIDENT
325 WESTWAY DR
ROCKWALL, TX 75087

KOVAR RACHAEL A
404 WEST KAUFMAN STREET
ROCKWALL, TX 75087

PICKETT GINA
406 W KAUFMAN ST
ROCKWALL, TX 75087

ALLEN ROBERT G DDS
406 W RUSK ST
ROCKWALL, TX 75087

ROAN-NUNN MABEL PEGGY ESTATE
419 N. TEXAS ST.
EMORY, TX 75440

CANUP PAUL RICHARD AND VICTORIA ANN
REVOCABLE LIVING TRUST
PAUL RICHARD CANUP AND VICTORIA ANN
CANUP CO-TRUSTEES
4268 AIRLINE RD
LONGVIEW, TX 75605

MCVANEY JEFFREY AND MORGAN
4761 SECRET CV
ROCKWALL, TX 75032

SPAFFORD SARAH
494 DOWELL RD
ROCKWALL, TX 75032

RSIDENT
502 W KAUFMAN
ROCKWALL, TX 75087

SMITH MARY SUE
502 W RUSK ST
ROCKWALL, TX 75087

RSIDENT
504 W KAUFMAN
ROCKWALL, TX 75087

RSIDENT
504 W RUSK
ROCKWALL, TX 75087

RSIDENT
506 W KAUFMAN
ROCKWALL, TX 75087

BARKER FRED D & JANICE
508 WEST KAUFMAN ST
ROCKWALL, TX 75087

RSIDENT
510 W KAUFMAN ST
ROCKWALL, TX 75087

CANUP DAVID & PATRICIA
602 W RUSK ST
ROCKWALL, TX 75087

RSIDENT
604 W RUSK
ROCKWALL, TX 75087

RUSK STREET DEVELOPMENT LP
636 HANBY LN
ROCKWALL, TX 75032

RSIDENT
702 W RUSK
ROCKWALL, TX 75087

CURBOW PAUL AND DIOSELINA
7137 LANYON DRIVE
DALLAS, TX 75227

STATE HIGHWAY DEPT
I 30 RT 3 L L LOFLAND
ROCKWALL, TX 75087

STEGER ANA WADE LIFE ESTATE &
DIANA WADE CHAPMAN, CYNDIE SUE PATRICK
& O L STEGER III
PO BOX 478
ROCKWALL, TX 75087

HIGHWOOD ADDITION
VOL. 50, PG. 618
D.R.R.C.T.

BLOCK 14

LOT 4

LOT 5

LOT 6

1/2" I.R.F.
(CONTROL MONUMENT)

3/8" I.R.F.
0.8' NORTH
OF PLAT COR.

15' ALLEY (UNIMPROVED)
EAST 109.00'

1/2" I.R.S.

EAST
112.15'

1/2" I.R.S.

0.7'

5.5'

12.4'

FRAME
SHED

12.2'

CHAIN LINK
FENCE

0.6'

S 01'00"00" E
110.00'

PROPERTY LINE ALONG FENCE AS CALLED BY PLAT
N 01'00"00" W
110.00'

LOT 2

LOT 1

DAMP CANUP, ET UX
VOL. 149, PG. 140
D.R.R.C.T.

1/2" I.R.S.

WEST 109.00'

1/2" I.R.S.

EAST
112.15'

PRIVATE DRIVE

STREET EXITS

WEST KAUFMAN STREET
(60' R.O.W.)
(ASPHALT PAVING)



TO ALL PARTIES INTERESTED IN PREMISES SURVEYED:
This is to certify that I have, this date, made a careful and accurate survey on the ground of property located on Kaufman Street in the City of Rockwall, Texas, described as follows:

Lot 2 of REPLAT OF PART OF BLOCK "26" IN THE LOWE AND ALLEN ADDITION, an addition to the City of Rockwall, Rockwall County, Texas, according to the plat thereof recorded in Cabinet A, Page B, Plat Records, Rockwall County, Texas.

"THIS PROPERTY IS NOT LOCATED IN A 100 YEAR FLOOD PLAIN ACCORDING TO THE FLOOD PLAIN MAP OF THE CITY OF ROCKWALL COMMUNITY PANEL NO. 480547 0005 C. MAP DATED 6/16/92 (ZONE "X")."

THERE ARE NO ENCROACHMENTS, CONFLICTS OR PROTUSIONS, EXCEPT AS SHOWN.

The plat hereon is a representation of an on the ground survey as dated thereabove, the lines and dimensions of said property being indicated, the size, location and type of buildings and improvements are as shown, all improvements being within the boundaries of the property set back from property lines the distance indicated, all easements and other matters of record of which I have been advised are as shown hereon. This survey was performed in connection with the transaction described in C.F. No. 200007710 of Rockwall County Abstract & Title Company. Use of this survey for any other purpose or by any other parties shall be at their own risk and the undersigned is not responsible to any others for any loss resulting therefrom.

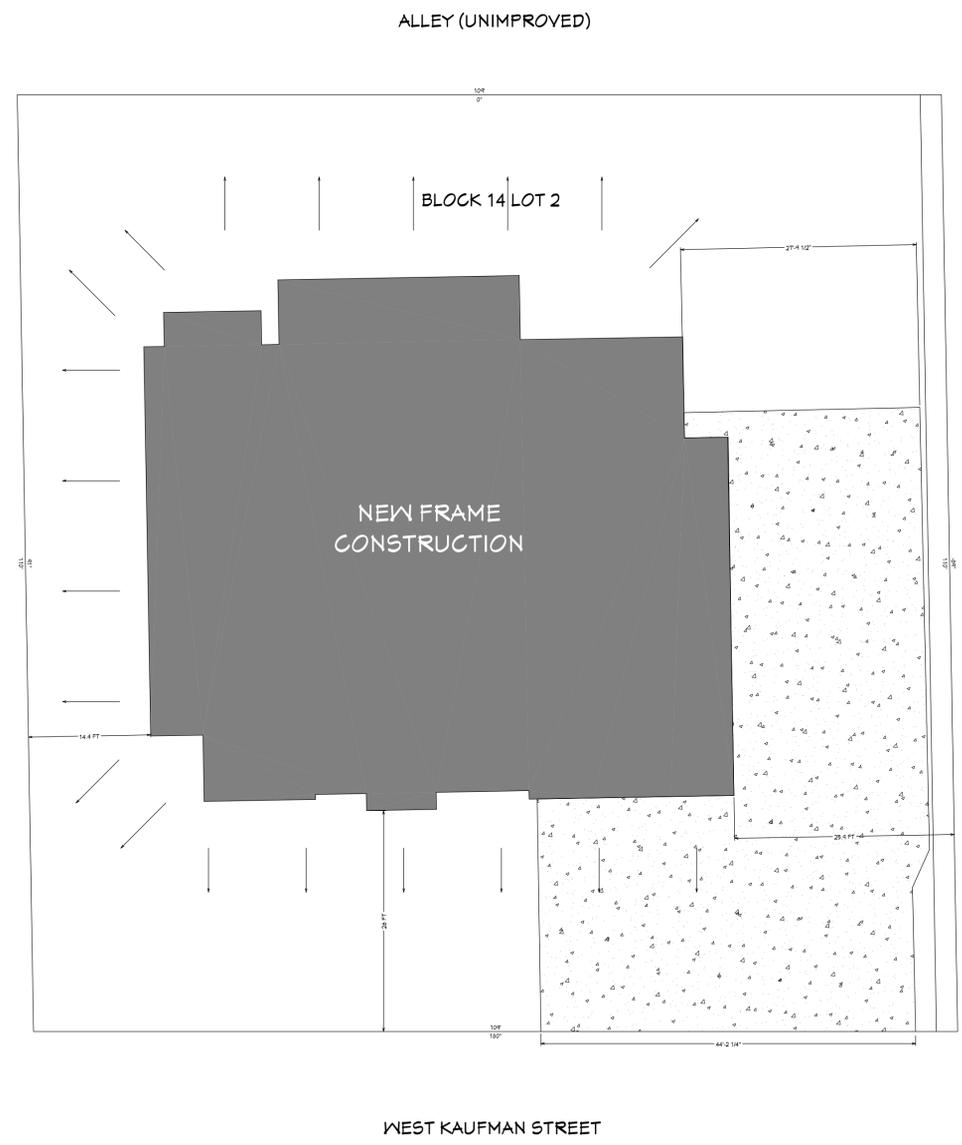
Registered Professional
Land Surveyor

Daniel A. Smith, R.P.L.S. No. 4645

1" PIPE END.
(CONTROL MONUMENT)

Daniel A. Smith Land Surveying, Inc.
309 N. GALLOWAY, SUITE 107
Mesquite, Texas 75149
(972) 216-3334 fax (972) 216-8922

Job No. 4872-B Scale: 1" = 20'
Date: 07/25/00 Drawn by: AWK



GENERAL NOTES:

1. All penetrations in top or bottom plates for plumbing or electrical runs to be sealed. See electrical notes for additional specifications.
2. All linear dimensions located on exterior walls originate at outside of veneer.
3. All linear dimensions located on interior walls originate at framing layer.

SITE NOTES:

1. Confirm zoning setbacks.



NUMBER	DATE	REVISION BY	DESCRIPTION

DRAWN FOR:
 Paul Curbow
 510 W. Kaufman
 Rockwall, TX 75227
 | 469-623-2192

Plot Plan

DRAWINGS PROVIDED BY:
homeMADE Design
 David B. Lawson, Designer
 david@homemadedesign.net | 940-331-6093

DATE:

5/14/2024

SCALE:

1" = 10'

SHEET:

12

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All construction must meet or exceed locally adopted building codes.



www.homemadedesign.net

GENERAL NOTES:

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2. All linear dimensions located on exterior walls originate at outside of veneer.
3. All linear dimensions located on interior walls originate at framing layer.

NUMBER	DATE	REVISION BY	DESCRIPTION

DRAWN FOR:
 Paul Curbow
 510 W. Kauffman
 Rockwall, TX 75227
 | 469-623-2192

EXTERIOR NOTES:

1. All exterior columns/posts to be built from 2x4 studs, wrapped by Zip System wall sheathing.
2. All brackets, gable accent, and corbels to be cedar.
3. All corner boards, fascia, soffit, frieze & trim to be composite material.
4. Entire exterior to be SmartSide composite lap unless specified otherwise.



Exterior Elevation Front



Exterior Elevation Back

All construction must meet or exceed locally adopted building codes.

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Exterior Elevations

DRAWINGS PROVIDED BY:
homeMADE Design
 David B. Lawson, Designer
 david@homemadedesign.net | 940-331-6093

DATE:

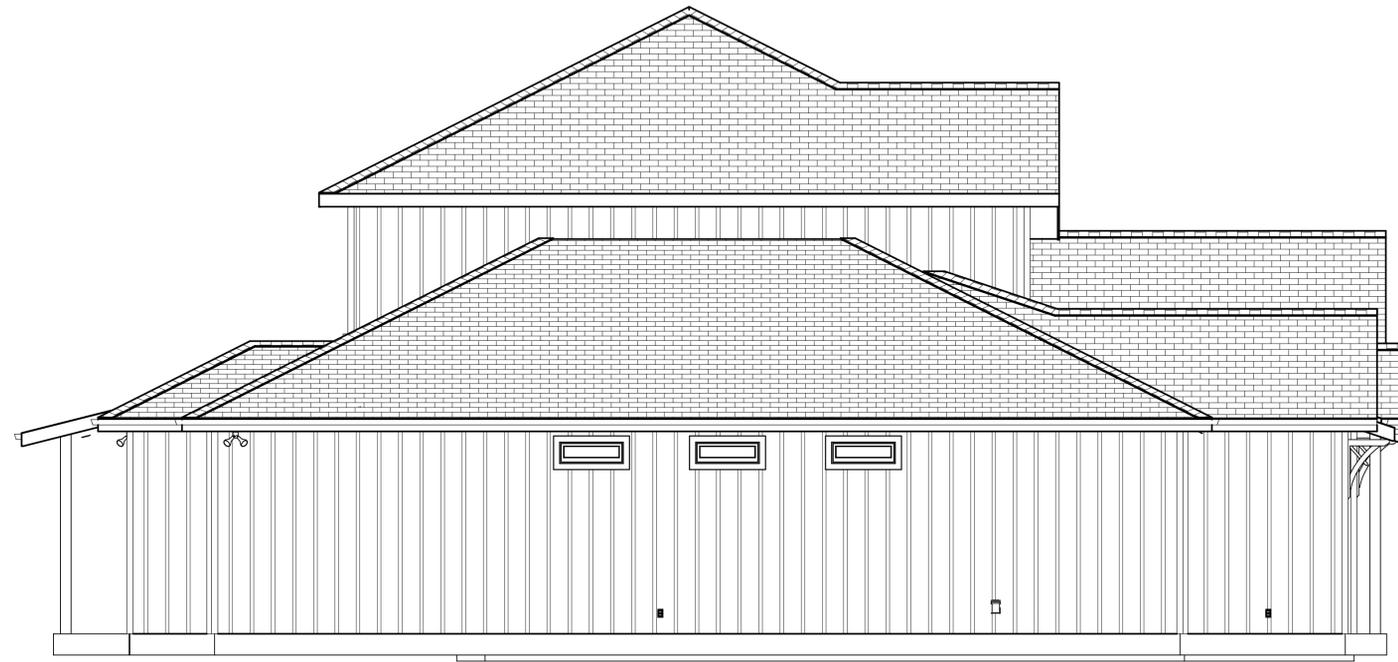
5/14/2024

SCALE:

1/4" = 1'

SHEET:

4



Exterior Elevation Left



Exterior Elevation Right

GENERAL NOTES:

1. All penetrations in top or bottom plates for plumbing or electrical runs to be sealed. See electrical notes for additional specifications.
2. All linear dimensions located on exterior walls originate at outside of veneer.
3. All linear dimensions located on interior walls originate at framing layer.

EXTERIOR NOTES:

SEE PAGE 4



NUMBER	DATE	REVISED BY	DESCRIPTION

DRAWN FOR:
 Paul Curbow
 510 W. Kaufman
 Rockwall, TX 75227
 | 469-623-2192

Exterior Elevations

DRAWINGS PROVIDED BY:
homeMADE Design
 David B. Lawson, Designer
 david@homemadedesign.net | 940-331-6093

DATE:

5/14/2024

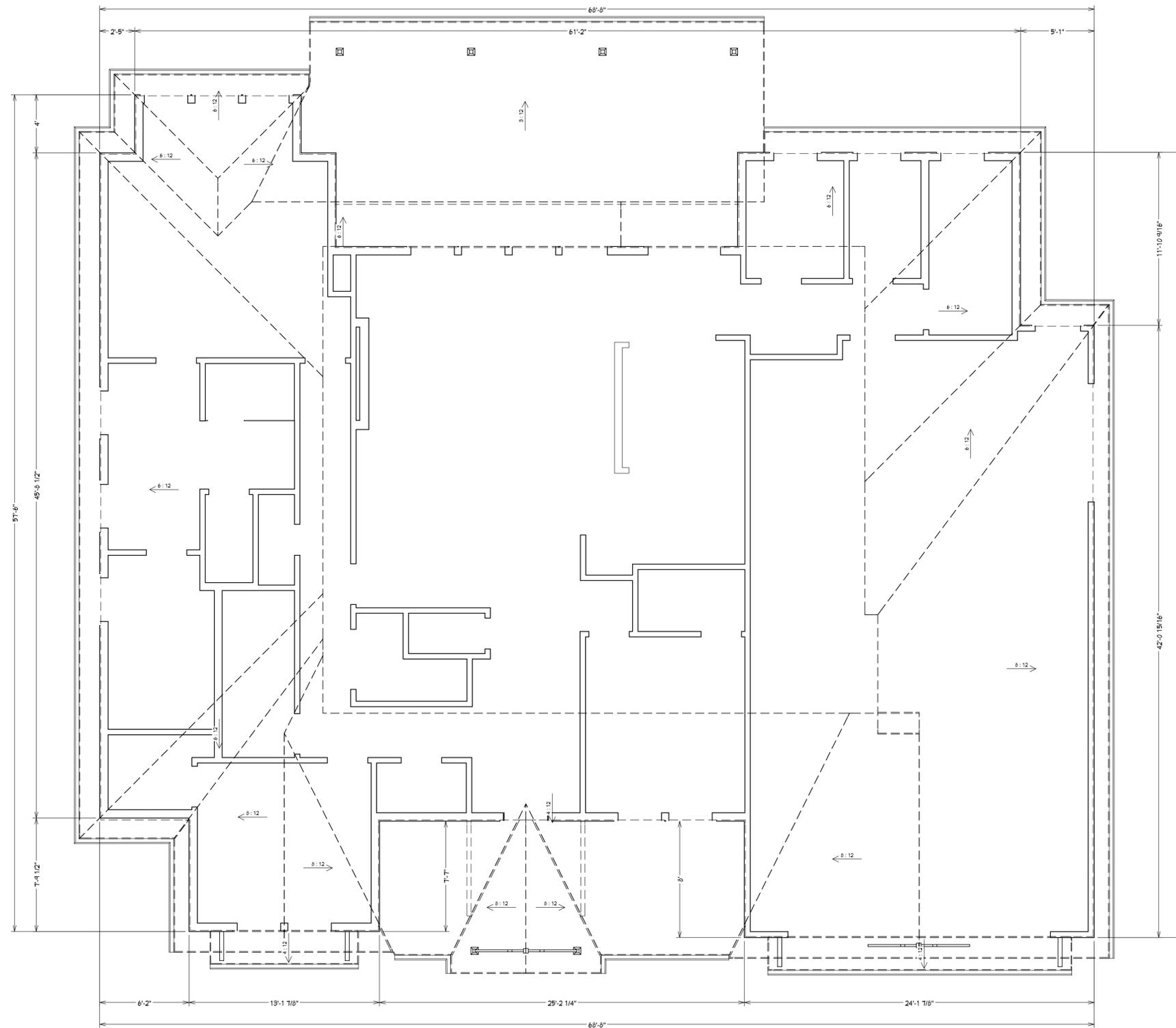
SCALE:

1/4" = 1'

SHEET:

5

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Level 1

All construction must meet or exceed locally adopted building codes.

GENERAL NOTES:

1. All penetrations in top or bottom plates for plumbing or electrical runs to be sealed. See electrical notes for additional specifications.
2. All linear dimensions located on exterior walls originate at outside of veneer.
3. All linear dimensions located on interior walls originate at framing layer.

ROOF NOTES:

1. There are multiple pitches on the roof. See labels on each roof plane.
2. Roof surfaces to be composition asphalt shingle unless specified otherwise in elevations.
3. Roof surface area: ~5037 sq. ft.

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REVISION TABLE	NUMBER	DATE	REVISION BY	DESCRIPTION

DRAWN FOR:
 Paul Curbow
 510 W. Kaufman
 Rockwall, TX 75227
 | 469-623-2192

Roof Detail

DRAWINGS PROVIDED BY:
 homeMADE Design
 David B. Lawson, Designer
 david@homemadedesign.net | 940-331.6093

DATE:

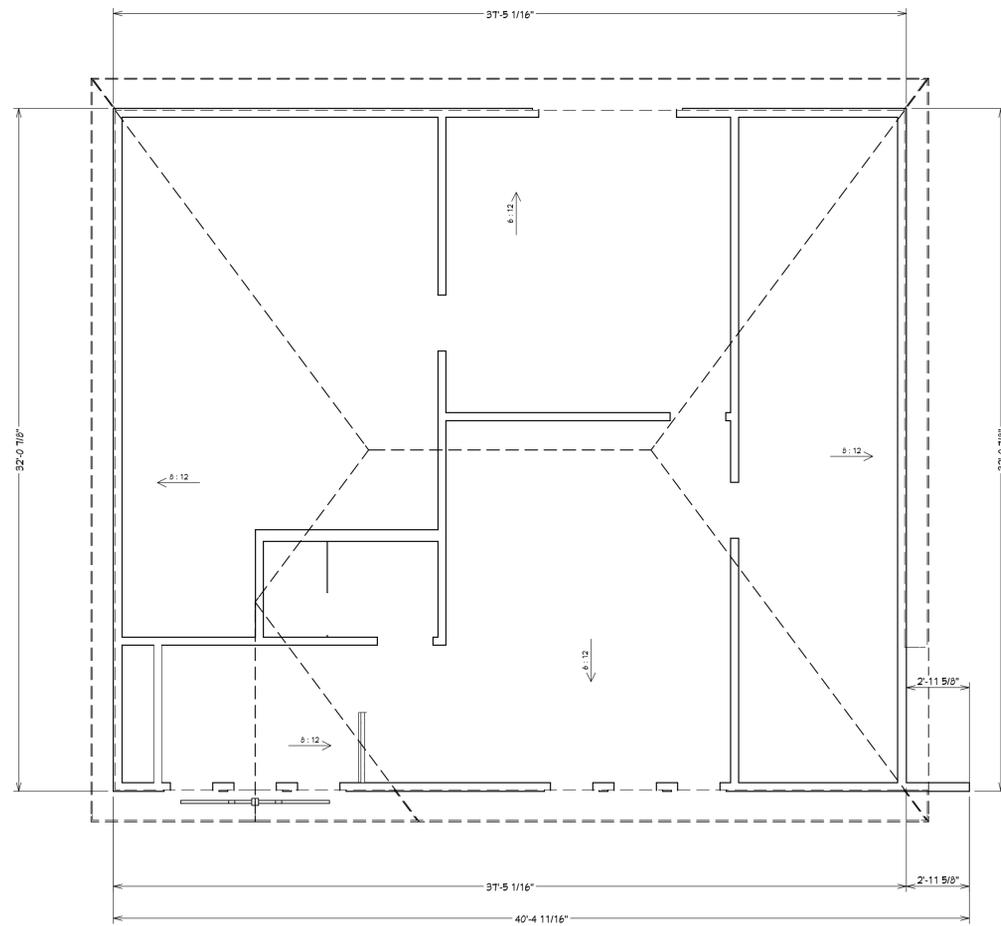
5/14/2024

SCALE:

1/4" = 1'

SHEET:

7



Level 2

GENERAL NOTES:

1. All penetrations in top or bottom plates for plumbing or electrical runs to be sealed. See electrical notes for additional specifications.
2. All linear dimensions located on exterior walls originate at outside of veneer.
3. All linear dimensions located on interior walls originate at framing layer.

ROOF NOTES:

SEE PAGE 7



NUMBER	DATE	REVISION BY	DESCRIPTION

DRAWN FOR:
 Paul Curbow
 510 W. Kaufman
 Rockwall, TX 75227
 | 469-623-2192

Roof Detail

DRAWINGS PROVIDED BY:
homeMADE Design
 David B. Lawson, Designer
 david@homemadedesign.net | 940-331-6093

DATE:

5/14/2024

SCALE:

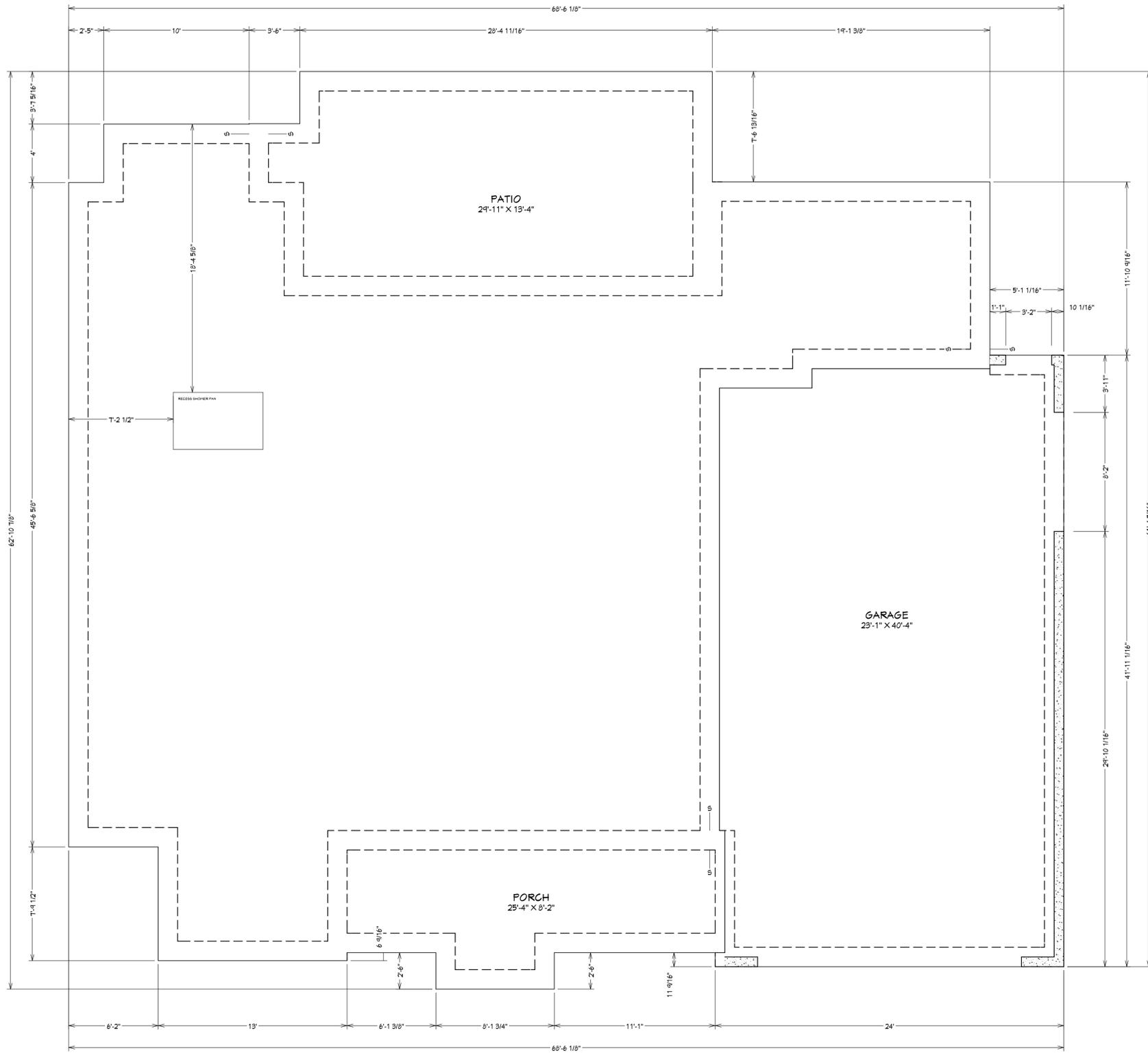
1/4" = 1'

SHEET:

8

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All construction must meet or exceed locally adopted building codes.



All construction must meet or exceed locally adopted building codes.

GENERAL NOTES:

1. All penetrations in top or bottom plates for plumbing or electrical runs to be sealed. See electrical notes for additional specifications.
2. All linear dimensions located on exterior walls originate at outside of veneer.
3. All linear dimensions located on interior walls originate at framing layer.

FOUNDATION NOTES:

1. Foundation layout is for reference only. Foundation to be designed by engineer.

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REVISION TABLE	NUMBER	DATE	REVISION BY	DESCRIPTION

DRAWN FOR:
 Paul Curbow
 510 W. Kaufman
 Rockwall, TX 75227
 | 469-623-2192

Foundation Detail

DRAWINGS PROVIDED BY:
homeMADE Design
 David B. Lawson, Designer
 david@homemadedesign.net | 940-331.6093

DATE:

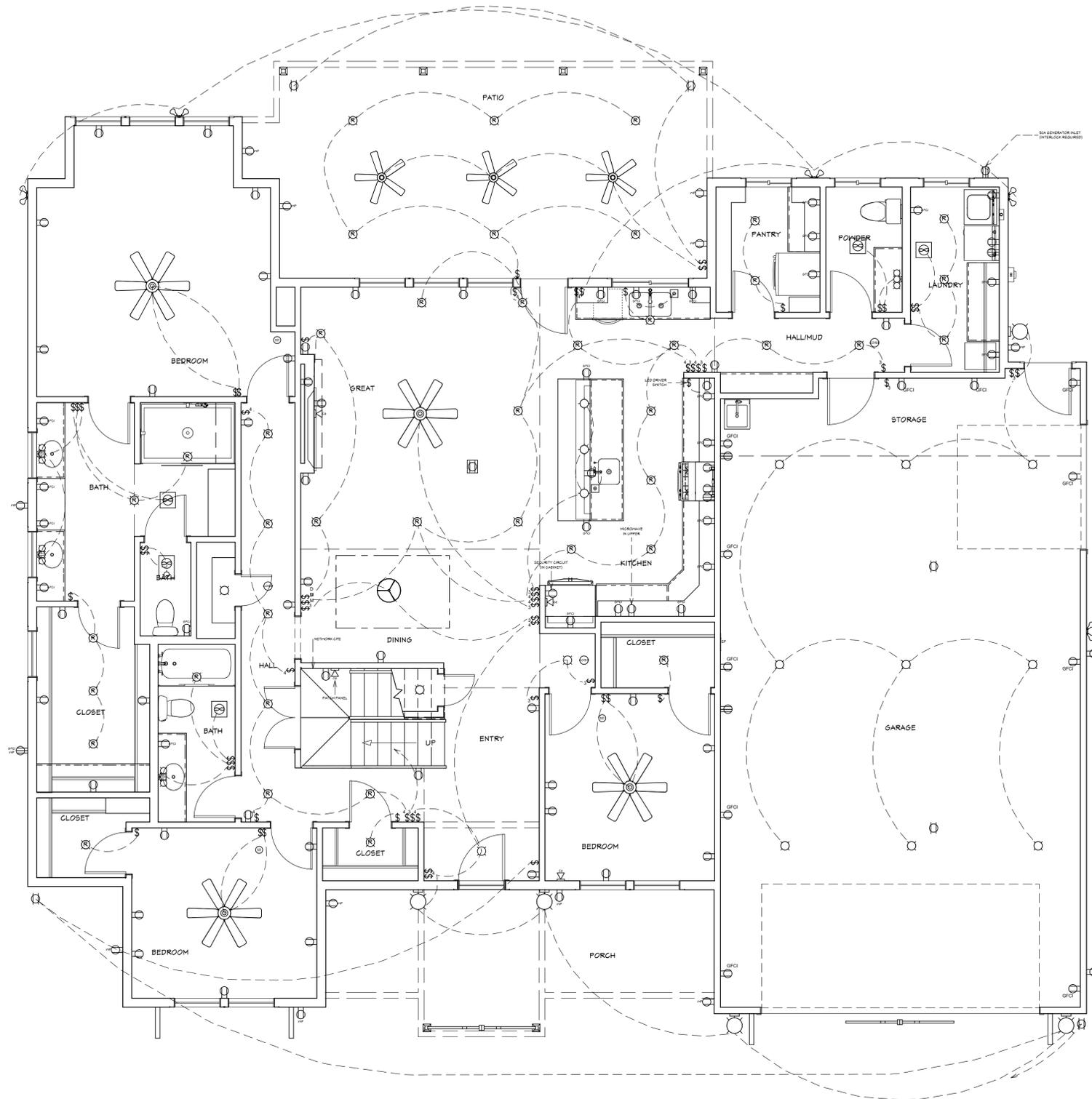
5/14/2024

SCALE:

1/4" = 1'

SHEET:

9



Level 1

All construction must meet or exceed locally adopted building codes.

GENERAL NOTES:

1. All penetrations in top or bottom plates for plumbing or electrical runs to be sealed. See electrical notes for additional specifications.
2. All linear dimensions located on exterior walls originate at outside of veneer.
3. All linear dimensions located on interior walls originate at framing layer.

ELECTRICAL NOTES:

1. Verify all electrical locations and fixtures with owner.
2. Arrows indicate connections between floors.
3. All exterior plugs and light fixtures to be water proof on a GFCI circuit.
4. All kitchen, laundry, and garage plugs to be on GFCI circuit.
5. Provide a separate circuit for microwave oven.
6. Provide a separate circuit for Network GPE and security system.
7. All recessed lights in exterior ceilings to be insulation cover rated.
8. Electrical outlet plate gaskets shall be installed on receptacle, switch, and any other boxes in exterior walls.
9. All exhaust to vent to outside air. All exhaust ducts to have dampers. Humidity-sensing fans recommended for bathroom and laundry room.
10. Verify location of make-up air and damper.
11. All ceiling fans and lights to be on standard switches. Ceiling fan locations should use three-conductor Romex.
12. Verify installation of whole-house surge protection system at EP with owner (recommended for variable-speed heat pump).
13. Garage lighting is lamp bases.
14. Exterior architectural and security exterior lighting controlled by interior switches. Verify location of soffit plugs.
15. Final panel location and meter base determined by electrician.
16. All electrical to meet all locally adopted building codes for height, spacing, tamper resistance, etc.

Electrical Service size- 200Amp

ELECTRICAL - DATA - AUDIO LEGEND	
SYMBOL	DESCRIPTION
	Ceiling Fan
	Ventilation Fans: Ceiling Mounted, Wall Mounted
	Ceiling Mounted Light Fixtures: Surface/Pendant, Recessed, Heat Lamp, Low Voltage
	Wall Mounted Light Fixtures: Flush Mounted, Wall Sconce
	Chandelier Light Fixture
	Fluorescent Light Fixture
	240V Receptacle
	110V Receptacles: Duplex, Weather Proof, GFCI
	Switches: Single Pole, Weather Proof, 3-Way, 4-Way
	Switches: Dimmer, Timer
	Audio Video: Control Panel, Switch
	Speakers: Ceiling Mounted, Wall Mounted
	Wall Jacks: CAT5, CAT5 + TV, TV/Cable
	Telephone Jack
	Intercom
	Thermostat
	Door Chime, Door Bell Button
	Smoke Detectors: Ceiling Mounted, Wall Mounted
	Electrical Breaker Panel

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REVISION TABLE	NUMBER	DATE	REVISED BY	DESCRIPTION

DRAWN FOR:
Paul Curbow
510 W. Kauffman
Rockwall, TX 75227
469-623-2192

Electrical Plan

DRAWINGS PROVIDED BY:
homeMADE Design
David B. Lawson, Designer
david@homemadedesign.net | 940-331.6093

DATE:

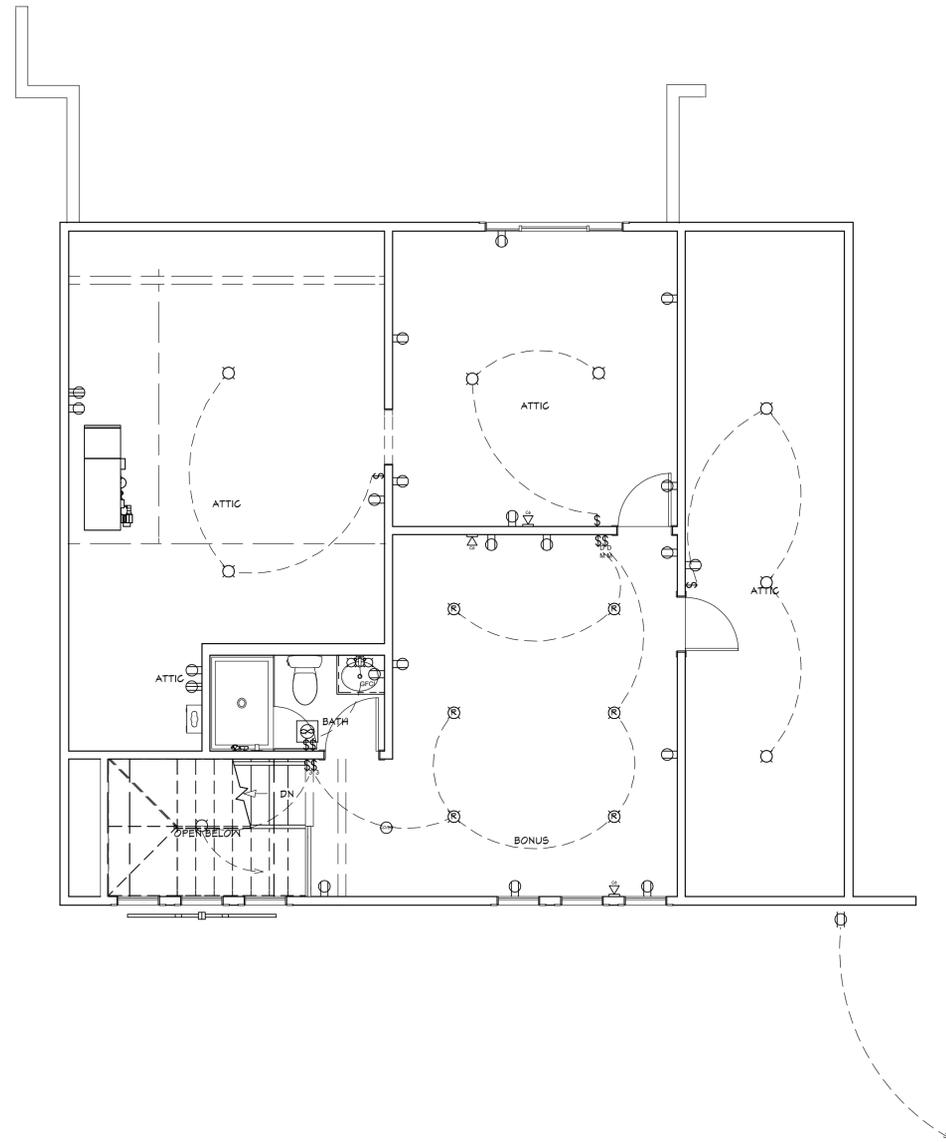
5/14/2024

SCALE:

1/4" = 1'

SHEET:

10



Level 2

GENERAL NOTES:

1. All penetrations in top or bottom plates for plumbing or electrical runs to be sealed. See electrical notes for additional specifications.
2. All linear dimensions located on exterior walls originate at outside of veneer.
3. All linear dimensions located on interior walls originate at framing layer.

ELECTRICAL NOTES:

SEE PAGE 10



NUMBER	DATE	REVISION BY	DESCRIPTION

DRAWN FOR:
 Paul Curbow
 510 W. Kaufman
 Rockwall, TX 75227
 | 469-623-2192

Electrical Plan

DRAWINGS PROVIDED BY:
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 David B. Lawson, Designer
 david@homemadedesign.net | 940-331-6093

DATE:

5/14/2024

SCALE:

1/4" = 1'

SHEET:

11

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All construction must meet or exceed locally adopted building codes.



CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2024-031

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

ADJACENT HOUSING ATTRIBUTES

ADDRESS	HOUSING TYPE	YEAR BUILT	HOUSE SF	ACCESSORY BUILDING	EXTERIOR MATERIALS
502 W. Rusk Street	Single-Family Home	1990	5,422	N/A	Brick and Siding
504 W. Rusk Street	Single-Family Home	1980	2,821	N/A	Brick and Siding
602 W. Rusk Street	Single-Family Home	1979	6,474	N/A	Brick
604 W. Rusk Street	Vacant	N/A	N/A	N/A	N/A
406 W. Kaufman Street	Single-Family Home	1985	2,653	884	Stone
502 W. Kaufman Street	Single-Family Home	1950	1,422	600	Brick
504 W. Kaufman Street	Single-Family Home	1985	1,445	960	Brick
506 W. Kaufman Street	Single-Family Home	1985	1,060	36	Siding
508 W. Kaufman Street	Single-Family Home	1990	3,016	N/A	Brick
510 W. Kaufman Street	Vacant	N/A	N/A	N/A	N/A
AVERAGES:		1981	3,039	620	



CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2024-031

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM



502 W. Rusk Street



504 W. Rusk Street



CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2024-031

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM



602 W. Rusk Street



604 W. Rusk Street



CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2024-031

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385 S. GOLIAD STREET • ROCKWALL, TX 75087

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406 W. Kaufman Street



502 W. Kaufman Street



CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2024-031

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM



504 W. Kaufman Street



506 W. Kaufman Street



CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2024-031

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM



508 W. Kaufman Street



510 W. Kaufman Street

CITY OF ROCKWALL

ORDINANCE NO. 24-XX

SPECIFIC USE PERMIT NO. S-3XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE (UDC) [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) FOR *RESIDENTIAL INFILL ADJACENT TO AN ESTABLISHED SUBDIVISION* TO ALLOW THE CONSTRUCTION OF A SINGLE-FAMILY HOME ON A 0.2753-ACRE PARCEL OF LAND, IDENTIFIED AS A PORTION OF BLOCK 20 OF THE LOWE & ALLEN ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS; AND MORE SPECIFICALLY DESCRIBED AND DEPICTED IN *EXHIBIT 'A'* OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has received a request by Paul and Dioselina Curbow for the approval of a *Specific Use Permit (SUP)* for *Residential Infill Adjacent to an Established Subdivision* for the purpose of constructing a single-family home on a 0.2753-acre parcel of land identified as a portion of Block 20 of the Lowe & Allen Addition, City of Rockwall, Rockwall County, Texas, zoned for Single-Family 10 (SF-10) District land uses, addressed as 510 W. Kaufman Street, and being more specifically described and depicted in *Exhibit 'A'* of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that the Unified Development Code (UDC) [Ordinance No. 20-02] of the City of Rockwall should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Rockwall, Texas;

SECTION 1. That the Unified Development Code (UDC) [Ordinance No. 20-02] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision* to allow for the construction of a single-family home in an established subdivision in accordance with Article 04, *Permissible Uses*, of the Unified Development Code (UDC) [Ordinance No. 20-02] on the *Subject Property*; and,

SECTION 2. That the Specific Use Permit (SUP) shall be subject to the requirements set forth in Subsection 03.01, *General Residential District Standards*, of Article 05, *District Development*

Standards, of the Unified Development Code (UDC) [Ordinance No. 20-02] -- as heretofore amended and may be amended in the future -- and with the following conditions:

2.1 OPERATIONAL CONDITIONS

The following conditions pertain to the construction of a single-family home on the *Subject Property* and conformance to these operational conditions are required:

- 1) The development of the *Subject Property* shall generally conform to the Residential Plot Plan as depicted in *Exhibit 'B'* of this ordinance.
- 2) The construction of a single-family home on the *Subject Property* shall generally conform to the Building Elevations depicted in *Exhibit 'C'* of this ordinance.
- 3) Once construction of the single-family home has been completed, inspected, and accepted by the City of Rockwall, this Specific Use Permit (SUP) shall expire, and no further action by the property owner shall be required.

2.2 COMPLIANCE

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits (SUP)* of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) will require the *Subject Property* to comply with the following:

- 1) Upon obtaining a *Building Permit*, should the contractor operating under the guidelines of this ordinance fail to meet the minimum operational requirements set forth herein and outlined in the Unified Development Code (UDC), the City may (*after proper notice*) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Subsection 02.02(F), *Revocation*, of Article 11, *Development Applications and Revision Procedures*, of the Unified Development Code (UDC) [Ordinance No. 20-02].

SECTION 3. That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

SECTION 4. That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

SECTION 5. Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

SECTION 6. If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

SECTION 7. That this ordinance shall take effect immediately from and after its passage.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,
THIS THE 3RD DAY OF SEPTEMBER, 2024.

Trace Johannesen, Mayor

ATTEST:

Kristy Teague, City Secretary

APPROVED AS TO FORM:

Frank J. Garza, City Attorney

1st Reading: August 19, 2024

2nd Reading: September 3, 2024

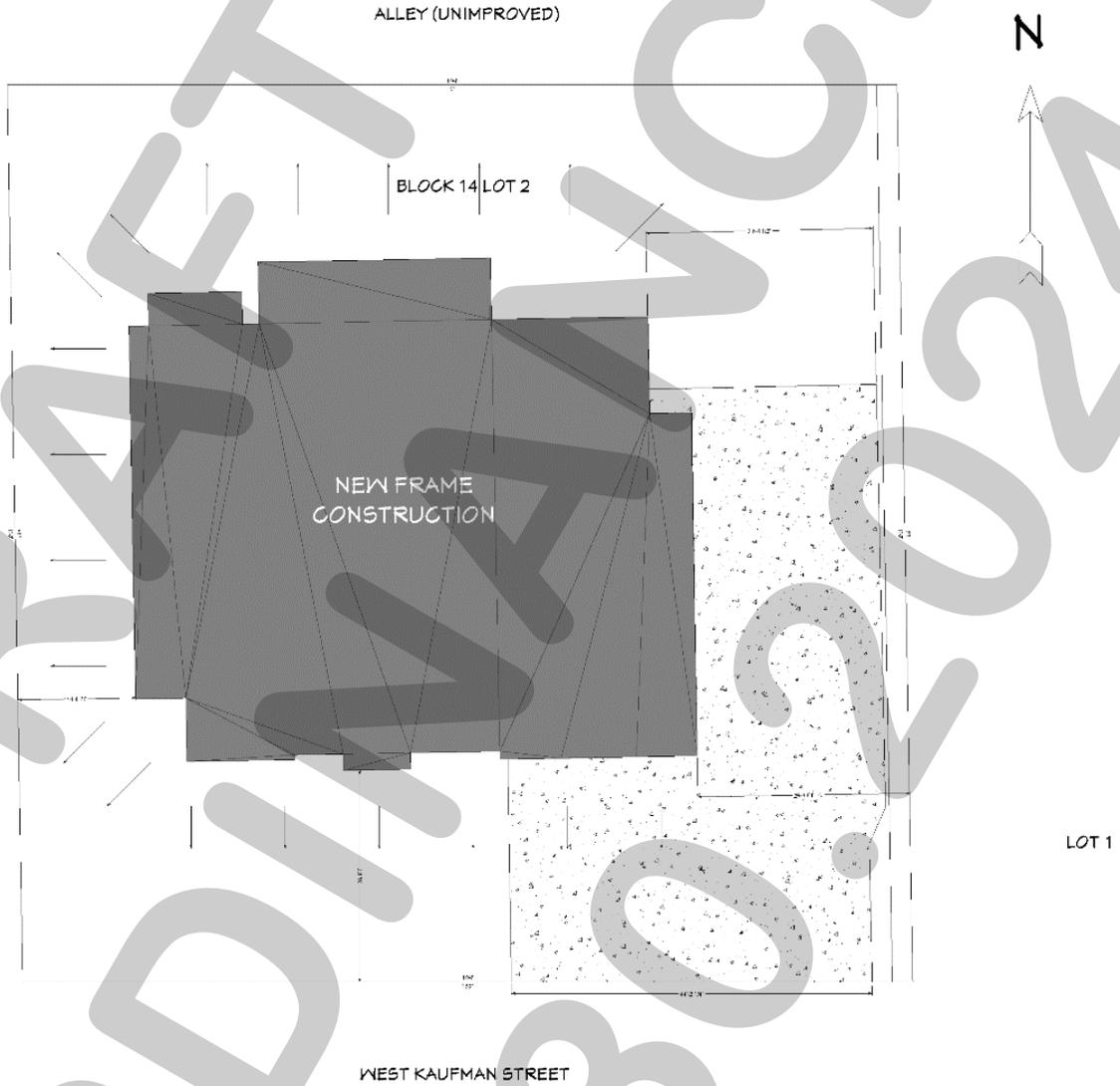
Exhibit 'A':
Location Map

Address: 510 W. Kaufman Street

Legal Description: A portion of Block 20 of the Lowe & Allen Addition



Exhibit 'B':
Residential Plot Plan



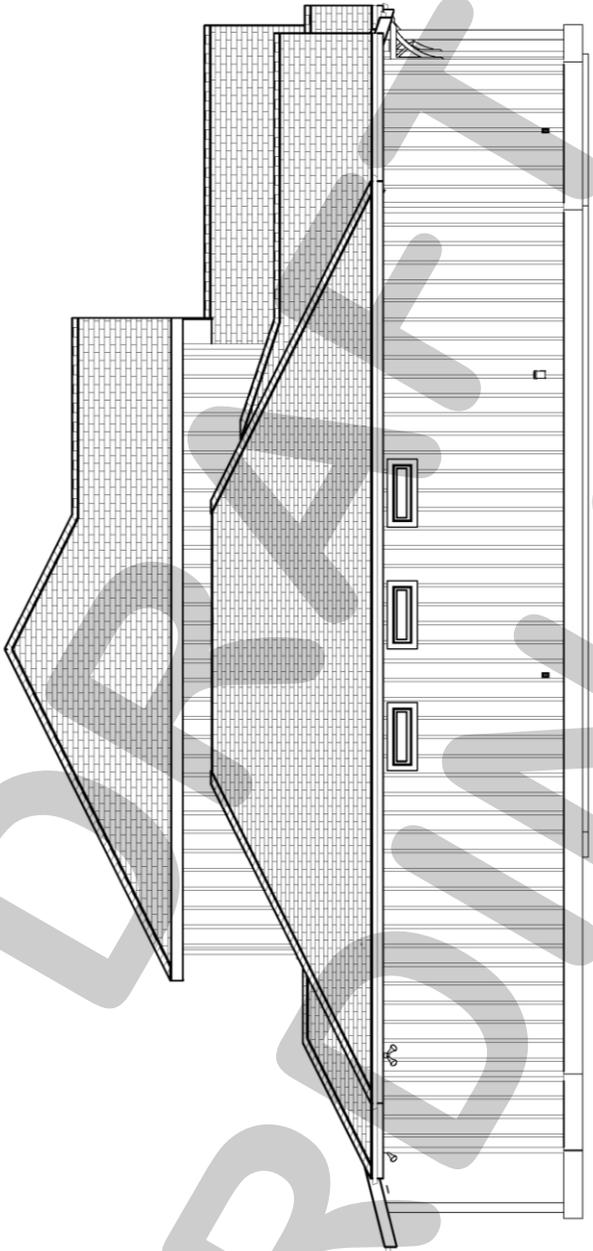
**Exhibit 'C':
Building Elevations**



Exterior Elevation Front

Exterior Elevation Back

Exhibit 'C':
Building Elevations



Exterior Elevation Left



Exterior Elevation Right



CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION MEMORANDUM

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission
FROM: Ryan Miller, *Director of Planning and Zoning*
DATE: July 30, 2024
SUBJECT: Z2024-032; Amendment to Planned Development District 13 (PD-13)

On June 5, 2023, the City Council directed staff to begin the process of initiating zoning to amend the City's older Planned Development (PD) Districts in order to prepare consolidating ordinances (*i.e. writing one [1] ordinance that supersedes all previous ordinances for the Planned Development Districts*). The purpose of this effort is to [1] make zoning easier to understand for the City's external customers (*i.e. developers, homebuilders, and citizens*), and [2] to make the zoning ordinances easier to interpret internally by City staff; however, the proposed consolidating ordinances are not intended to change any of the requirements, concept plans, or development standards stipulated for any Planned Development (PD) District. This was successfully done recently to the Planned Development (PD) Districts for the Chandler's Landing Subdivision (*i.e. Planned Development District 8 [PD-8]*), Lakeside Village/Turtle Cove Subdivisions (*i.e. Planned Development District 2 [PD-2]*), and the Shores Subdivision (*i.e. Planned Development District 3 [PD-3]*).

Planned Development District 13 (PD-13) -- *also known as the Windmill Ridge Estates Subdivision and the Our Savior Lutheran Church* -- was originally adopted in 1981, and currently consists of 15 pages of regulations within three (3) regulating ordinances. The Planned Development District also consists of approximately 31 development cases. The proposed draft ordinance consolidates these regulating ordinances and development cases into a single document. Staff should note that under the proposed amendment, staff is required to initiate zoning; however, the proposed consolidating ordinance will not change any of the requirements, concept plans, or development standards stipulated for any property in the Windmill Ridge Estates Subdivision or for the Our Savior Lutheran Church. To assist the Planning and Zoning Commission in understanding this zoning change, staff has included a copy of the current ordinances that make up Planned Development District 13 (PD-13), a timeline and summary of each development case associated with Planned Development District 13 (PD-13), and staff's proposed draft ordinance for comparison purposes. The proposed amendment to Planned Development District 13 (PD-13) will move forward in accordance with the following schedule:

Planning and Zoning Commission Work Session: July 30, 2024
Planning and Zoning Commission [*Public Hearing*]: August 13, 2024
City Council [*Public Hearing/First Reading*]: August 19, 2024
City Council [*Second Reading*]: September 3, 2024

Should the Planning and Zoning Commission have any questions, staff will be available at the July 30, 2024 Planning and Zoning Commission Work Session Meeting.



CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION MEMORANDUM

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

FROM: Ryan Miller, *Director of Planning and Zoning*
DATE: July 16, 2024
SUBJECT: Development Cases for Planned Development District 13 (PD-13)

Planned Development District 13 (PD-13) -- *also known as the Windmill Ridge Estates Subdivision and the Our Savior Lutheran Church* -- was originally adopted in 1981, and currently consists of 15 pages of regulations within three (3) regulating ordinances. The following is a timeline and summary of the ~31 development cases associated with this Planned Development District:

RED: EXPIRED ORDINANCES

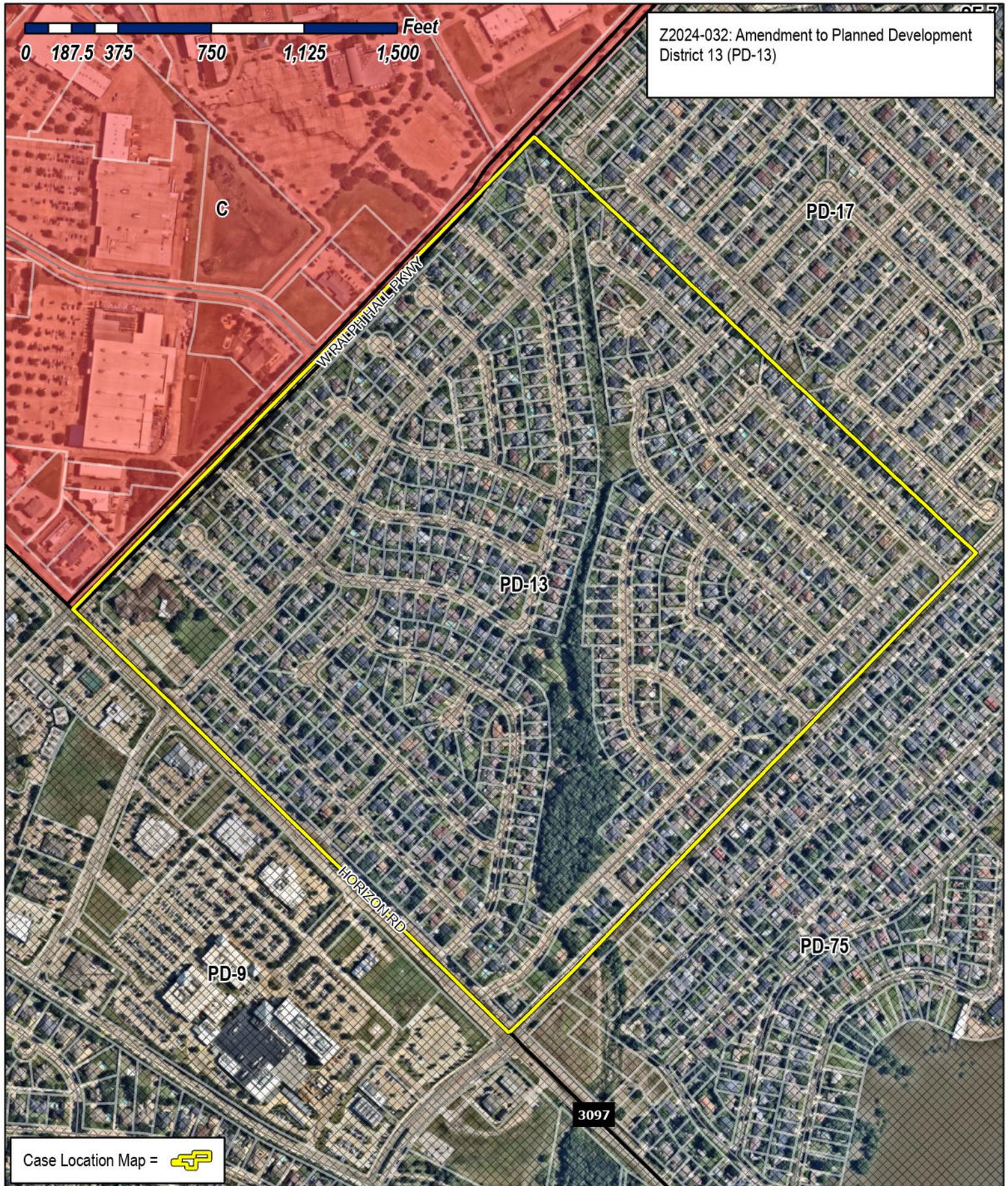
BLUE: SUPERSEDED ORDINANCES

GREEN: PARTIALLY SUPERSEDED ORDINANCES

ORANGE: ORDINANCES

- **NOVEMBER 7, 1960 (ORDINANCE NO. 60-03):** A portion of the subject property was annexed into the City of Rockwall.
- **AUGUST 2, 1976 (ORDINANCE NO. 76-11):** The remainder of the subject property was annexed into the City of Rockwall.
- **1980:** At some point in 1980, the Our Savior Lutheran Church was constructed.
- **AUGUST 2, 1976 (ORDINANCE NO. 76-12; PZ1976-004):** *Zoning Change* from an Agricultural (AG) District to Single-Family 4 (SF-4) District for a 149.97-acre tract of land (*i.e. the Windmill Ridge Estates Subdivision*). [**SUPERSEDED BY ORDINANCE NO. 81-05**]
- **FEBRUARY 2, 1981 (ORDINANCE NO. 81-05; PZ1980-011-01):** *Zoning Change* from Single-Family 4 (SF-4) District to Planned Development District 13 (PD-13) was approved by the City Council. This established the zoning for the Windmill Ridge Estates Subdivision and the Our Savior Lutheran Church. [**PARTIALLY SUPERSEDED/AMENDED BY ORDINANCE NO. 84-43 & 94-41**]
- **NOVEMBER 24, 1981 (PZ1981-018-01):** *Zoning Change* to amend Planned Development District 13 (PD-13) [*Ordinance No. 81-05*] was withdrawn.
- **AUGUST 1, 1982 (NO CASE FILE; VOLUME 15, SLIDE 26):** *Final Plat* for Windmill Ridge Estates, Phase 1A was filed with Rockwall County on August 1, 1982 and created 54 single-family residential lots.
- **1983 (PZ1983-73-01; CASE FILE MISSING):** The case file is missing, but the case log indicates that the case was concerning fencing for the Windmill Ridge Estates Subdivision.
- **FEBRUARY 6, 1984 (PZ1984-005-01 & PZ1984-005-02):** *Final Plat* and *Concept Plan* for Windmill Ridge Estates, Phase 1B was approved by the City Council.
- **MARCH 1, 1984 (PZ1984-020-01):** *Final Plat* for Windmill Ridge Estates, Phase 1B was withdrawn by the applicant.
- **MARCH 5, 1984 (PZ1984-029-01 & PZ1984-029-02):** *Preliminary Plat* and *Concept Plan* for Windmill Ridge Estates, Phase 2A was approved by the City Council.
- **APRIL 2, 1984 (PZ1984-041-01):** *Final Plat* for Windmill Ridge Estates, Phase 2A was approved by the City Council. This was filed with Rockwall County on October 15, 1984 and created 82 single-family residential lots.
- **SEPTEMBER 10, 1984 (ORDINANCE NO. 84-43; PZ1984-079-01):** Amended *Ordinance No. 81-05* to allow a *Temporary Mobile Classroom Building* for a period of two (2) years. Also, adopted a concept plan for the Our Savior Lutheran Church. [**EXPIRED; NO LONGER APPLICABLE**]
- **FEBRUARY 18, 1985 (PZ1984-132-01):** *Preliminary Plat* for Windmill Ridge Estates, Phase 3A was approved by the City Council.
- **OCTOBER 15, 1985 (PZ1985-068-01):** *Final Plat* for Windmill Ridge Estates, Phase 3A was approved by the City Council. This was filed with Rockwall County on February 18, 1986 and created 112 single-family residential lots.

- JULY 20, 1987 (PZ1987-046-01): Front yard fence for 117 and 119 Windmill Ridge Drive was approved by the City Council on July 20, 1987 allowing a split rail fence not to exceed 36-inches in height. This was for the two (2) model homes for Centennial Homes, Inc. located on Lots 1 & 2, Block B, Windmill Ridge Estates No. 1A.
- JANUARY 7, 1994 (PZ1993-038-01): *Zoning Change* to amend Planned Development District 13 (PD-13) was withdrawn on January 7, 1994.
- JANUARY 17, 1994 (PZ1993-038-02): *Preliminary Plat* for Windmill Ridge Estates, Phase 3B was approved by the City Council.
- APRIL 18, 1994 (PZ1993-038-03 or PZ1994-08B-01 & PZ1994-08B-02): *Final Plat* and *Preliminary Plat* for Windmill Ridge Estates, Phase 3B was approved by the City Council. The *Final Plat* was filed with Rockwall County on September 12, 1994 and created 79 single-family residential lots.
- JANUARY 9, 1995 (ORDINANCE NO. 94-41; PZ1994-040-01): *Zoning Change* amending Planned Development District 13 (PD-13) to change the existing zoning from allowing *Duplex* and *General Retail (GR)* District land uses to *Single-Family 6 (SF-6)* District allowing a minimum lot size of 6,600 SF and an average lot size of 7,000 SF.
- JUNE 3, 1996 (PZ1996-036-01): *Preliminary Plat* for Windmill Ridge Estates, Phases 4 & 4B was approved by the City Council.
- MARCH 17, 1997 (PZ1996-074-01): *Final Plat* for Windmill Ridge Estates, Phase 4 was approved by the City Council.
- JUNE 16, 1997 (PZ1997-033-01): *Final Plat* for Windmill Ridge Estates, Phase 4 was reapproved by the City Council. This was filed with Rockwall County on September 22, 1997 and created 78 single-family residential lots.
- JUNE 18, 2001 (PZ2000-085-01): *Final Plat* for Windmill Ridge Estates, Phase 4B was approved by the City Council. This was filed with Rockwall County on December 3, 2001 and created 166 single-family residential lots.
- APRIL 16, 2001 (PZ2001-030-01, PZ2001-030-02, PZ2001-030-03, & PZ2001-030-04): The City Council approved a *Final Plat* for the Our Savior Lutheran Church establishing it as Lot 1, Block 1, Our Savior Lutheran Church Addition. This was filed with Rockwall County on May 15, 2001. The City Council also approved a *Site Plan*, *Building Elevations*, and *Landscape Plan* for the Our Savior Lutheran Church.
- JANUARY 3, 2012 (SP2011-012): An *Administrative Site Plan* was approved for Our Savior Lutheran Church.
- JULY 31, 2012 (MIS2012-008): *Miscellaneous Case* for the removal of trees on the Our Savior Lutheran Church was approved by the Planning and Zoning Commission.
- JUNE 7, 2021 (P2021-025): The City Council approved a *Replat* for the Our Savior Lutheran Church changing the legal description from Lot 1, Block 1, Our Savior Lutheran Church Addition to Lot 2, Block 1, Our Savior Lutheran Church Addition.



Z2024-032: Amendment to Planned Development District 13 (PD-13)

0 187.5 375 750 1,125 1,500 Feet

C

PD-17

PD-13

HORIZON RD

PD-9

PD-75

3097

Case Location Map = 



City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75087
 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

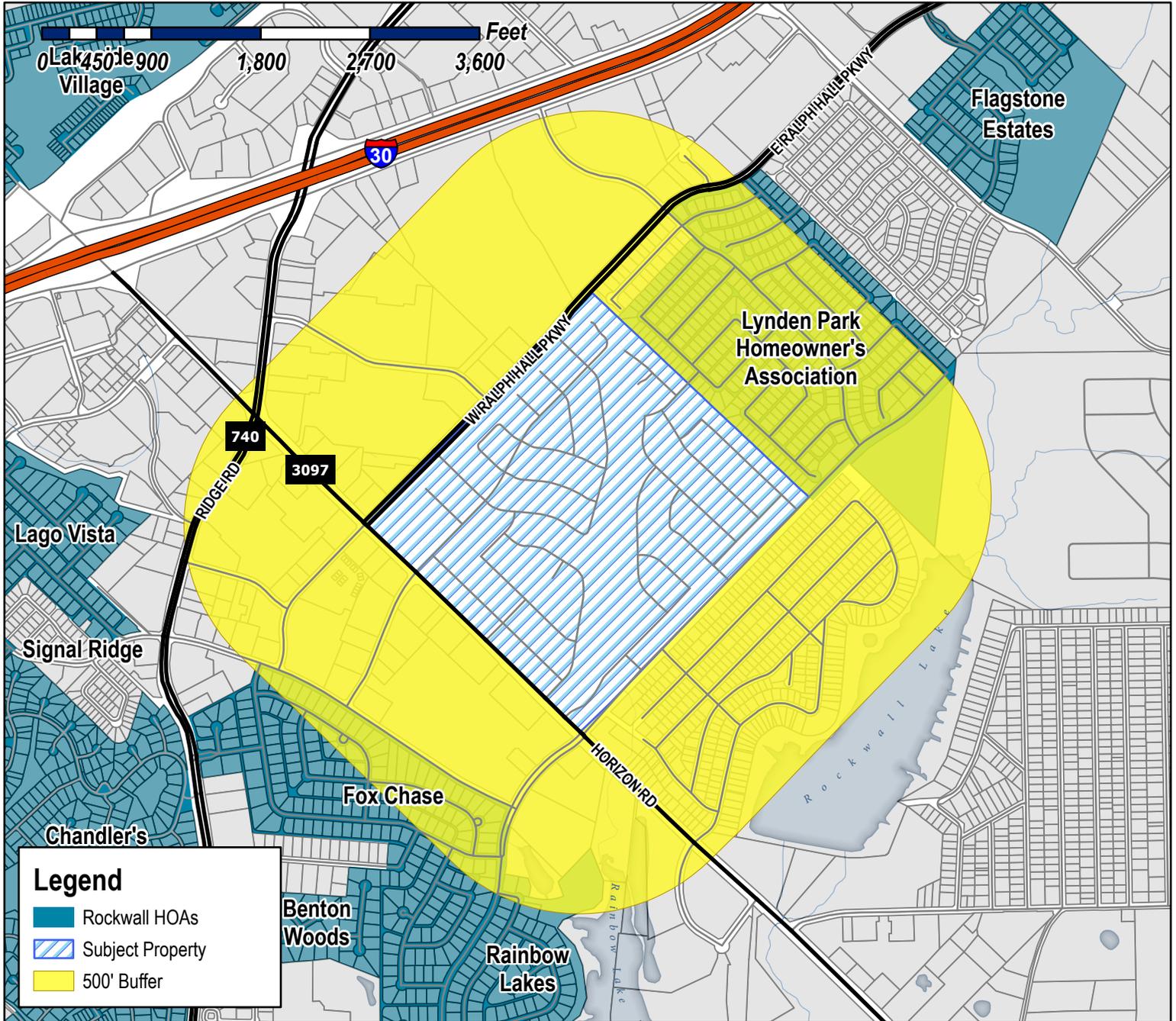
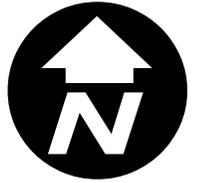




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Case Number: Z2024-032
Case Name: Amendment to Planned Development District 13 (PD-13)
Case Type: Zoning
Zoning: Planned Development 13 (PD-13)
Case Address: Windmill Ridge Estates Subdivision

Date Saved: 7/18/2024
 For Questions on this Case Call (972) 771-7745



Miller, Ryan

From: Guevara, Angelica
Sent: Wednesday, July 24, 2024 3:06 PM
Cc: Miller, Ryan; Lee, Henry; Zavala, Melanie; Ross, Bethany
Subject: Neighborhood Notification Email [Z2024-032]
Attachments: Public Notice (P&Z) (07.23.2024).pdf; HOA Map (07.23.2024).pdf

HOA/Neighborhood Association Representative:

Per your participation in the [Neighborhood Notification Program](#), you are receiving this notice to inform your organization that a zoning case has been filed with the City of Rockwall that is located within 1,500-feet of the boundaries of your neighborhood. As the contact listed for your organization, you are encouraged to share this information with the residents of your subdivision. Please find the attached map detailing the property requesting to be rezoned in relation to your subdivision boundaries. Additionally, below is the summary of the zoning case that will be published in the Rockwall Herald Banner on [Friday, July 26, 2024](#). The Planning and Zoning Commission will hold a public hearing on [Tuesday, August 13, 2024 at 6:00 PM](#), and the City Council will hold a public hearing on [Monday, August 19, 2024 at 6:00 PM](#). Both hearings will take place at 6:00 PM at City Hall, 385 S. Goliad, Rockwall, TX 75087.

All interested parties are encouraged to submit public comments via email to Planning@rockwall.com at least 30 minutes in advance of the meeting. Please include your name, address, and the case number your comments are referring to. These comments will be read into the record during each of the public hearings. Additional information on all current development cases can be found on the City's website: <https://sites.google.com/site/rockwallplanning/development/development-cases>.

Z2024-032: Zoning Change Amending Planned Development District 13 (PD-13)

Hold a public hearing to discuss and consider a request by the City of Rockwall for the approval of a [Zoning Change](#) amending Planned Development District 13 (PD-13) [*Ordinance No.'s 81-05, 84-43, & 94-41*] for the purpose of consolidating the regulating ordinances for a 149.97-acre tract of land situated within the James Smith Survey, Abstract No. 200, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 13 (PD-13) for Single-Family 7 (SF-7) District and Neighborhood Services (NS) District land uses, generally located in between W. Ralph Hall Parkway, Horizon Road [*FM-3097*], and Tubbs Road, and take any action necessary.

Thank you,

Angelica Guevara

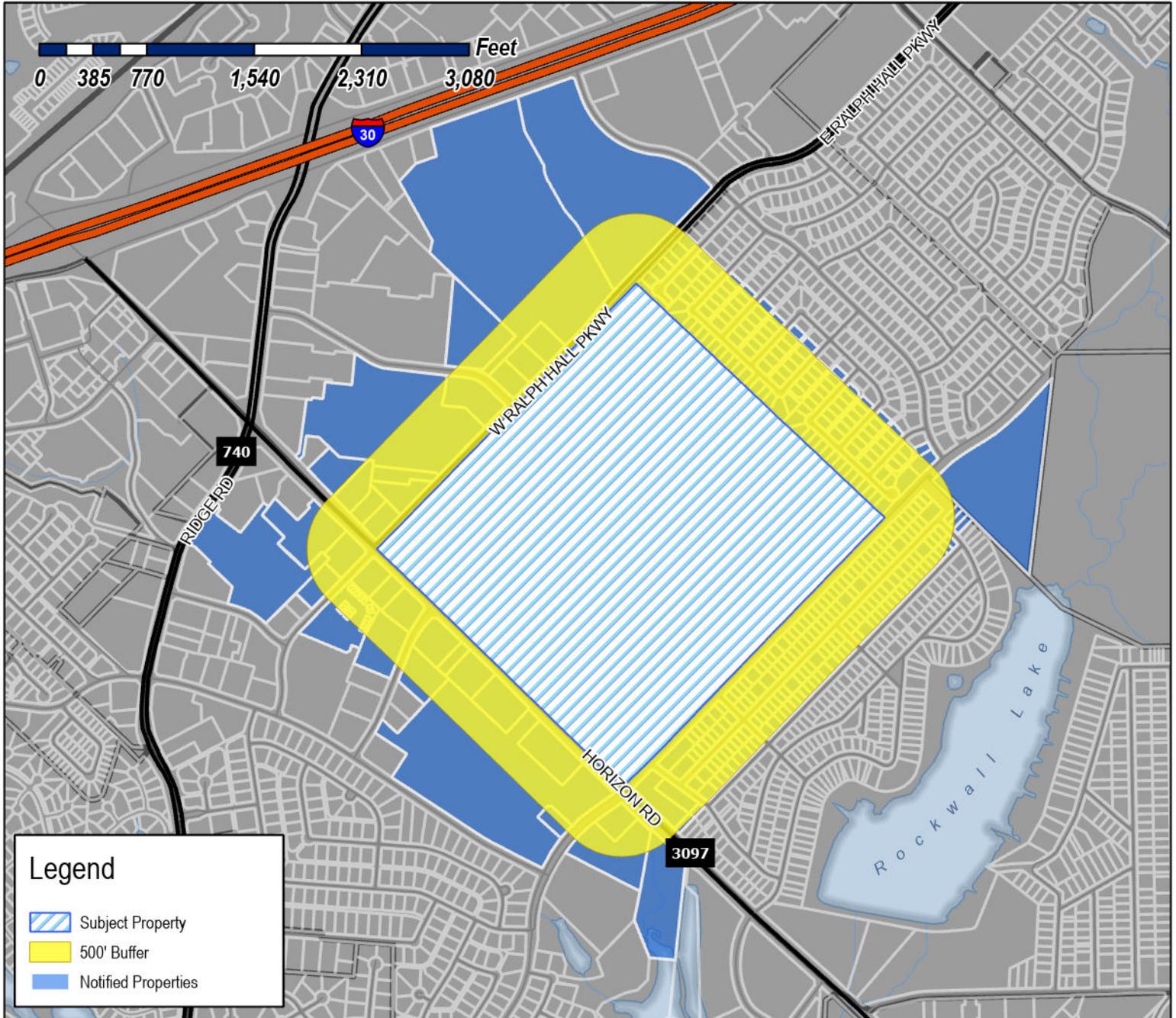
Planning Technician
City of Rockwall Planning & Zoning
385 S. Goliad Street
Rockwall, TX 75087
Office: 972-771-7745
Direct: 972-772-6438



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
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Case Number: Z2024-032
Case Name: Amendment to Planned Development District 13 (PD-13)
Case Type: Zoning
Zoning: Planned Development 13 (PD-13)
Case Address: Windmill Ridge Estates Subdivision

Date Saved: 7/17/2024

For Questions on this Case Call: (972) 771-7745



2023 S H ADAMS REVOCABLE TRUST
SHAWN LINDSEY ADAMS & HOLLI GAIL ADAMS -
TRUSTEES
1 MANOR CT
HEATH, TX 75032

RESIDENT
100 SEQUOIA RD
ROCKWALL, TX 75032

LOWES HOME CENTERS INC
1000 LOWES BLVD
MOORESVILLE, NC 28117

RESIDENT
101 BROCKWAY DR
ROCKWALL, TX 75032

RESIDENT
101 MAPLERIDGE DR
ROCKWALL, TX 75032

SHOCKLEY URIAH B
101 OAKRIDGE DR
ROCKWALL, TX 75032

FREENEY MARIA
101 WALNUT LN
ROCKWALL, TX 75032

MOULTON JENNIFER DEE
101 WINDMILL RIDGE DR
ROCKWALL, TX 75032

TORNO NATHAN B AND SARAH A
1014 MERRIBROOK LN
ALLEN, TX 75002

KROGER TEXAS LP
1014 VINE STREET
CINCINNATI, OH 45202

ISYA LIMITED PARTNERSHIP
1018 MOUNT AUBURN
DALLAS, TX 75223

FUENTES MARIA E
102 MULBERRY LN
ROCKWALL, TX 75032

VU NGOC TRI AND
LE THI THU AND DAVID VU
102 WINDMILL RIDGE DR
ROCKWALL, TX 75032

WHITE TIMOTHY AND TERRY
102 WOODCREEK DRIVE
ROCKWALL, TX 75032

LOPEZ JULLO A
1025 NORIAS DRIVE
FORNEY, TX 75126

HVCSG LLC
1027 WOODBRIDGE PLACE
HEATH, TX 75032

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103 ALTHEA RD
ROCKWALL, TX 75032

RESIDENT
103 MAPLERIDGE DR
ROCKWALL, TX 75032

RESIDENT
103 WINDMILL RIDGE DR
ROCKWALL, TX 75032

PARNELL TOMMY AND PATTI
103 BROCKWAY DRIVE
ROCKWALL, TX 75032

ROMEO HOMES TEXAS LLC
103 FOULK ROAD, SUITE 900
WILMINGTON, DE 19803

TRISTAN DAVID
103 OAKRIDGE DRIVE
ROCKWALL, TX 75032

RESIDENT
104 WOODCREEK DR
ROCKWALL, TX 75032

TREJO NICOLAS & MINDY
104 MAPLERIDGE DR
ROCKWALL, TX 75032

YORK WILLIAM
104 SEQUOIA RD
ROCKWALL, TX 75032

ROOKER ESTELLAMARIE & OBIE
104 WINDMILL RIDGE DR
ROCKWALL, TX 75032

SILVA MANUEL AVALOS
1041 E FM 552
ROCKWALL, TX 75087

KELLY NIKKI J
1041 HAMPTON BAY DR
ROCKWALL, TX 75087

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105 BROCKWAY DR
ROCKWALL, TX 75032

RESIDENT
105 MAPLERIDGE DR
ROCKWALL, TX 75032

RESIDENT
105 OAKRIDGE DR
ROCKWALL, TX 75032

RESIDENT
105 WALNUT LN
ROCKWALL, TX 75032

RESIDENT
105 WINDMILL RIDGE DR
ROCKWALL, TX 75032

JDS & BHK PROPERTY MANAGEMENT FIRM LP
105 CLIPPER COURT
ROCKWALL, TX 75032

RYDER LIVING TRUST
105 MULBERRY LANE
ROCKWALL, TX 75032

LI JIAN & MARSHAL LI
1055 BAYSHORE DR
ROCKWALL, TX 75087

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106 MAPLERIDGE DR
ROCKWALL, TX 75032

ALLEN DONNA A
106 WINDMILL RIDGE DR
ROCKWALL, TX 75032

ASKREN MARJORIE BERNICE
106 WOODCREEK DR
ROCKWALL, TX 75032

RESIDENT
107 OAKRIDGE DR
ROCKWALL, TX 75032

ORTIZ ADAN AND ANA
107 BROCKWAY DR
ROCKWALL, TX 75032

VALDEZ EULOGIO & JESUSA A
107 MAPLERIDGE DR
ROCKWALL, TX 75032

SAUDER WILLIAM MICHAEL TRAN
107 WINDMILL RIDGE DRIVE
ROCKWALL, TX 75032

RESIDENT
108 MAGNOLIA LN
ROCKWALL, TX 75032

RESIDENT
108 MULBERRY LN
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108 SEQUOIA RD
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RITCHIE SHIRLEY
108 MAPLERIDGE DR
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ZIMMERMAN ALFRED
108 PINION LN
ROCKWALL, TX 75032

MENJIVAR ALEXANDER & OLGA MARICELA
108 WALNUT LANE
ROCKWALL, TX 75032

GEIST JOANN
108 WINDMILL RIDGE DR
ROCKWALL, TX 75032

RESIDENT
109 BROCKWAY DR
ROCKWALL, TX 75032

RESIDENT
109 WINDMILL RIDGE DR
ROCKWALL, TX 75032

FATE FAMILY TRUST
GARY MARTIN FATE & LINDA FRANCES FATE -
TRUSTEES
109 DUNFORD DR
HEATH, TX 75032

HO JIMMY AND
LENA B LE
109 MAGNOLIA LANE
ROCKWALL, TX 75032

BARTHALT JULIE AND JOHN JR
109 MAPLERIDGE DRIVE
ROCKWALL, TX 75032

CASTANEDA JOY AND JULITO
109 OAKRIDGE DRIVE
ROCKWALL, TX 75032

STAMPS LUKE MATTHEW
109 PINON LANE
ROCKWALL, TX 75032

MILEK MAGDALENA
109 SEQUOIA ROAD
ROCKWALL, TX 75032

WITHROW DEBRA LYNN
109 WALNUT LN
ROCKWALL, TX 75032

WHITE CURTIS C
10902 BARBAROSA DR
DALLAS, TX 75228

GAITAN JOSE EFRAIN
110 MAPLERIDGE DR
ROCKWALL, TX 75032

EKWURUKE ROSE
110 SEELY RD AMEN COR
LONDO SW179QU,

CROWTHER CHAD ETHAN
110 WINDMILL RIDGE DRIVE
ROCKWALL, TX 75032

VILLA ROBERTO AND RITA
110 WOODCREEK DR
ROCKWALL, TX 75032

JOHNSON DAVID M & KIMBERLY D
1107 EDGEWOOD DR
GREENVILLE, TX 75402

RESIDENT
111 OAKRIDGE DR
ROCKWALL, TX 75032

RESIDENT
111 WINDMILL RIDGE DR
ROCKWALL, TX 75032

KERR NICHOLAS H &
THOMAS C KERR
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ROCKWALL, TX 75032

LONG DAMON & HEIDI
111 MAPLERIDGE DR
ROCKWALL, TX 75032

FROST BANK
111 W HOUSTON STREET
SAN ANTONIO, TX 78205

MODERN PYRAMIDS INC
1111 BELTLINE RD STE #100
GARLAND, TX 75040

RESIDENT
112 MAGNOLIA LN
ROCKWALL, TX 75032

RESIDENT
112 MAPLERIDGE DR
ROCKWALL, TX 75032

RESIDENT
112 MAYWOOD DR
ROCKWALL, TX 75032

RESIDENT
112 WALNUT LN
ROCKWALL, TX 75032

RESIDENT
112 WOODCREEK DR
ROCKWALL, TX 75032

SHEA MARY ANN
112 PINION LN
ROCKWALL, TX 75032

LAZANAS KOSTAS AND HOLLY MURDOCK
112 SEQUOIA RD
ROCKWALL, TX 75032

UNRUH CASSIDY A
112 WINDMILL RIDGE RD
ROCKWALL, TX 75032

MUNOZ LOURDES
1120 SILVERTHORN CT
MESQUITE, TX 75150

RESIDENT
113 LANSHIRE DR
ROCKWALL, TX 75032

RESIDENT
113 WALNUT LN
ROCKWALL, TX 75032

RESIDENT
113 WINDMILL RIDGE DR
ROCKWALL, TX 75032

HEFFERNAN JOHN R
113 BROCKWAY DR
ROCKWALL, TX 75032

OLIVER JOEL PATRICK
113 MAGNOLIA LANE
ROCKWALL, TX 75032

WILLIAMS GEORGE CRAIG
113 MAPLERIDGE DRIVE
ROCKWALL, TX 75032

GONZALEZ VICTOR M
113 MAYWOOD
ROCKWALL, TX 75032

MATLOCK CRAIG ALAN
113 OAKRIDGE DRIVE
ROCKWALL, TX 75032

DOHERTY BAILEE
113 PINION LANE
ROCKWALL, TX 75032

VERELL THOMAS H JR
113 SEQUOIA RD
ROCKWALL, TX 75032

CSH PROPERTY ONE, LLC
1131 W WARNER RD STE 102
TEMPE, AZ 85284

RESIDENT
114 MAPLERIDGE DR
ROCKWALL, TX 75032

RESIDENT
114 MAYWOOD DR
ROCKWALL, TX 75032

RESIDENT
114 RUTHERFORD DR
ROCKWALL, TX 75032

RESIDENT
114 WINDMILL RIDGE DR
ROCKWALL, TX 75032

LECLERC ANDRE
114 LANSHIRE DR
ROCKWALL, TX 75032

DOMINGUEZ OSCAR TORREZ
114 WOODCREEK DRIVE
ROCKWALL, TX 75032

RESIDENT
115 BROCKWAY DR
ROCKWALL, TX 75032

RESIDENT
115 LANSHIRE DR
ROCKWALL, TX 75032

RESIDENT
115 MAPLERIDGE DR
ROCKWALL, TX 75032

RESIDENT
115 MAYWOOD DR
ROCKWALL, TX 75032

RESIDENT
115 MULBERRY LN
ROCKWALL, TX 75032

RESIDENT
115 WINDMILL RIDGE DR
ROCKWALL, TX 75032

LO CHAYRA & JUDY LAM
115 RUTHERFORD DR
ROCKWALL, TX 75032

ERVIN PROPERTIES LLC
1155 W WALL STREET SUITE 101
GRAPEVINE, TX 76051

RESIDENT
116 BASS RD
ROCKWALL, TX 75032

RESIDENT
116 MAYWOOD DR
ROCKWALL, TX 75032

RESIDENT
116 WINDMILL RIDGE DR
ROCKWALL, TX 75032

WATERS TONJA LYNN
116 MAGNOLIA LN
ROCKWALL, TX 75087

WYONT RONALD M
116 MAPLERIDGE DR
ROCKWALL, TX 75032

BEKTESHI BUJAR AND FATLUME
116 PINION LN
ROCKWALL, TX 75032

LO TIENKHAM
116 RUTHERFORD DR
ROCKWALL, TX 75032

WALLER DARLENE
116 SEQUOIA ROAD
ROCKWALL, TX 75032

CROSS DARRELL LEE & PRISSY
116 WALNUT LN
ROCKWALL, TX 75032

SANDLIN MELANIE B
116 WOODCREEK DR
ROCKWALL, TX 75032

RESIDENT
117 BROCKWAY DR
ROCKWALL, TX 75032

RESIDENT
117 LANSHIRE DR
ROCKWALL, TX 75032

RESIDENT
117 SEQUOIA RD
ROCKWALL, TX 75032

GAMINO RYAN
117 MAGNOLIA LANE
ROCKWALL, TX 75032

LIMON MARIA ARACELY AND NORBERTO
117 MAYWOOD
ROCKWALL, TX 75032

THOMAS JIMMY B & FLOR L
117 PINION LN
ROCKWALL, TX 75032

CLARK ERIC DWAYNE & PATRICIA D
117 RUTHERFORD DR
ROCKWALL, TX 75032

ZEPEDA FELIBERTO J & GUADALUPE
117 WALNUT LN
ROCKWALL, TX 75032

VILLARREAL SELINA NICOLE
117 WINDMILL RIDGE DR
ROCKWALL, TX 75032

RESIDENT
118 MAYWOOD DR
ROCKWALL, TX 75032

RESIDENT
118 WOODCREEK DR
ROCKWALL, TX 75032

VAN HEYST DAUAN N & RANDALL
118 LANSHIRE DR
ROCKWALL, TX 75032

BROWN ALLENDOR
118 RUTHERFORD DR
ROCKWALL, TX 75032

PORTILLO LINDA FRANCES
118 WINDMILL RIDGE DR
ROCKWALL, TX 75032

RESIDENT
119 SOUTHLAKE DR
ROCKWALL, TX 75032

RESIDENT
119 WINDMILL RIDGE DR
ROCKWALL, TX 75032

PORTER VICKI
119 BROCKWAY DR
ROCKWALL, TX 75032

PAGADUAN KEVIN I & DEEJAY
119 LANDSHIRE DRIVE
ROCKWALL, TX 75032

NUNEZ ARMANDO M & DELIA ANGUIANO
119 MAYWOOD
ROCKWALL, TX 75032

SOUMIE NAHNAH P
119 RUTHERFORD DR
ROCKWALL, TX 75032

AOYAMA KATSUAKI
C/O OPEN HOUSE CO., LTD
11TH FLOOR, 10-1 GINZA 6-CHOME, CHUO-KU
TOKYO, 104-0061, JAPAN,

YAMAZAKI RYO
C/O OPEN HOUSE CO., LTD
11TH FLOOR, 10-1, GINZA 6-CHOME, CHUO-KU
TOKYO, 104-0061, JAPAN,

ITO MAKOTO
C/O OPEN HOUSE CO LTD
11TH FLOOR, 10-1, GINZA 6-CHOME, CHUO-KU
TOKYO, 104-0061, JAPAN,

RS RENTAL II LLC
ATTN: AVENUE ONE
11TH FLOOR, 31 HUDSON YARDS
NEW YORK, NY 10001

YOUNG PRESTON & EMILIE
12 GOFF STREET
DALEVILLE, AL 36322

RESIDENT
120 LANSHIRE DR
ROCKWALL, TX 75032

RESIDENT
120 MAGNOLIA LN
ROCKWALL, TX 75032

RESIDENT
120 PINION LN
ROCKWALL, TX 75032

RESIDENT
120 SEQUOIA RD
ROCKWALL, TX 75032

SAMMIS FLEETWOOD & MELONIE
120 MAYWOOD
ROCKWALL, TX 75032

SFR BORROWER 2021-2 LLC
120 S RIVERSIDE PLAZ SUITE 2000
CHICAGO, IL 60606

SFR TEXAS ACQUISITIONS 2022 LLC
120 S RIVERSIDE PLZ STE 2000
CHICAGO, IL 60606

HPA TEXAS SUB 2017-1 LLC
120 S RIVERSIDE PLZ STE 2000
CHICAGO, IL 60606

FILIC VINKO & VERONIKA
120 WALNUT LN
ROCKWALL, TX 75032

GONZALEZ ANTONIO & MARIA
120 WINDMILL RIDGE DR
ROCKWALL, TX 75032

NANNIS JOEL DAVID & ERIKA D
120 WOODCREEK DR
ROCKWALL, TX 75032

US REO LLC SERIES M
1200 JUPITER ROAD SUITE #940414
PLANO, TX 75094

US REO LLC SERIES M
1200 JUPITER ROAD SUITE #940414
PLANO, TX 75094

SMITH BRIAN L
1209 NORTHWEST HWY
GARLAND, TX 75041

RESIDENT
121 BROCKWAY DR
ROCKWALL, TX 75032

RESIDENT
121 MAYWOOD DR
ROCKWALL, TX 75032

RESIDENT
121 PINION LN
ROCKWALL, TX 75032

RESIDENT
121 RUTHERFORD DR
ROCKWALL, TX 75032

RESIDENT
121 SEQUOIA RD
ROCKWALL, TX 75032

RESIDENT
121 WALNUT LN
ROCKWALL, TX 75032

RUBIO MANUEL JESSE
121 BOWIE DR
ROCKWALL, TX 75032

UKPAI OGBEYALU
121 LANSHIRE DR
ROCKWALL, TX 75032

RUIZ LETICIA AND
JULIO MUNOZ
121 MAGNOLIA LANE
ROCKWALL, TX 75032

BELT JACKIE
121 MULBERRY LN
ROCKWALL, TX 75032

SLAMA RAMEZ
122 BROCKWAY DR
ROCKWALL, TX 75032

HOUSER MICKEY AND
JENNIFFER MALABOSA
122 LANSHIRE DRIVE
ROCKWALL, TX 75032

CORUJO JAMES AND JANISS
122 MAYWOOD DR
ROCKWALL, TX 75032

BAKER SARAH L
122 WOODCREEK DR
ROCKWALL, TX 75032

RESIDENT
123 BROCKWAY DR
ROCKWALL, TX 75032

RESIDENT
123 WOODCREEK DR
ROCKWALL, TX 75032

COZART MICHAEL
123 LANSHIRE DR
ROCKWALL, TX 75032

MAREZ SARAH E AND MICHAEL E
123 MAYWOOD DRIVE
ROCKWALL, TX 75032

JACKSON DALE E
123 RUTHERFORD DR
ROCKWALL, TX 75032

MYLES BOBBY J JR
123 SOUTHLAKE DR
ROCKWALL, TX 75032

RESIDENT
124 WOODCREEK DR
ROCKWALL, TX 75032

HEAKE PRISCILLA A
124 BOWIE DR
ROCKWALL, TX 75032

FUNDERBURK RONNIE AND
MARISA GARZA
124 BROCKWAY DR
ROCKWALL, TX 75032

CUELLAR JOEL A & MARTHA C
124 LANSHIRE DR
ROCKWALL, TX 75032

ALAM ISHTIAQ & PARISA HOOSAIN
124 MAGNOLIA LANE
ROCKWALL, TX 75032

O'FARRIELL FREDDY E & JUDY L
124 PINION LN
ROCKWALL, TX 75032

WELCH JERL R & ANNE E
124 SCEPTRE DR
ROCKWALL, TX 75032

SANCHEZ JAYLYN MARIE
124 SEQUOIA ROAD
ROCKWALL, TX 75032

PAULOS BINIAM
124 WALNUT LANE
ROCKWALL, TX 75032

ORTIZ NINFA ACUNA
1244 CR 2278
QUINLAN, TX 75474

RESIDENT
125 BROCKWAY DR
ROCKWALL, TX 75032

RESIDENT
125 WOODCREEK DR
ROCKWALL, TX 75032

RODRIGUEZ RUBEN & LUCY
125 BERKLEY DR
ROCKWALL, TX 75032

ELKINS THOMAS
125 BLANCHARD DR
ROCKWALL, TX 75032

THOMSON DANIEL H
125 BOWIE DR
ROCKWALL, TX 75032

FISHER CHARLES F JR
125 LANSHIRE DR
ROCKWALL, TX 75032

BROWN GREGORY A
125 MAGNOLIA LN
ROCKWALL, TX 75032

LADNIER DALE L & JULIA M
125 PINION LN
ROCKWALL, TX 75032

RASA GABRIEL N & MARIA C
125 SEQUOIA RD
ROCKWALL, TX 75032

ROSALES SILVIA BLANCO AND
JOSE R PALACIOS MARTINEZ
125 WALNUT LANE
ROCKWALL, TX 75032

CERVERA DANIEL A
12513 NE 130TH WAY APT C104
KIRKLAND, WA 98034

NABI NABIULLAH AND SIMIN
126 BERKLEY DRIVE
ROCKWALL, TX 75032

GREGORY ROBERT
126 BROCKWAY DR
ROCKWALL, TX 75032

ABEITA JOHN A & DEBORAH C
126 OVERBROOK DR
ROCKWALL, TX 75032

WILLIAMS HAROLD J JR
126 WEMBLEY WAY
ROCKWALL, TX 75032

SANFORD LARRY J & HOLLY
126 WOODCREEK DR
ROCKWALL, TX 75032

RESIDENT
127 BROCKWAY DR
ROCKWALL, TX 75032

TYRELL ROBERT & KATHY
127 BASS RD
ROCKWALL, TX 75032

FAY TERRENCE R & RENEE L
127 LANSHIRE DR
ROCKWALL, TX 75032

HERNANDEZ ERIKA
127 MULBERRY LN
ROCKWALL, TX 75032

YANG BEE
127 WEMBLEY WAY
ROCKWALL, TX 75032

KEEGAN PATRICIA G
127 WOODCREEK
ROCKWALL, TX 75032

RESIDENT
128 BASS RD
ROCKWALL, TX 75032

RESIDENT
128 BROCKWAY DR
ROCKWALL, TX 75032

RESIDENT
128 MAGNOLIA LN
ROCKWALL, TX 75032

RESIDENT
128 OVERBROOK DR
ROCKWALL, TX 75032

RESIDENT
128 PINION LN
ROCKWALL, TX 75032

RESIDENT
128 SEQUOIA RD
ROCKWALL, TX 75032

GROVES JASON R & KRISTI L
128 BOWIE DR
ROCKWALL, TX 75032

DEMARS ROBERT DEAN AND LAURA M
128 WOODCREEK DR
ROCKWALL, TX 75032

RESIDENT
129 BERKLEY DR
ROCKWALL, TX 75032

RESIDENT
129 MAGNOLIA LN
ROCKWALL, TX 75032

RESIDENT
129 WALNUT LN
ROCKWALL, TX 75032

AL BANNA WALID AHMAD
129 BLANCHARD DR
ROCKWALL, TX 75032

DIAZ ANGELO VINCENZO DEVIVO
129 BOWIE DRIVE
ROCKWALL, TX 75032

WHITMARSH BARBARA E
129 BROCKWAY DR
ROCKWALL, TX 75032

HERNANDEZ TERRI
129 SEQUOIA RD
ROCKWALL, TX 75032

GILBERT CATHERINE YVETTE
129 SOUTHWOOD DR
ROCKWALL, TX 75032

SEARS MARY E
129 WOODCREEK DR
ROCKWALL, TX 75032

KUPERMAN IGOR
129F BENJAMIN COURT
PHILADELPHIA, PA 19114

RESIDENT
130 BROCKWAY DR
ROCKWALL, TX 75032

SKYLES BRENDA RENEE AND RICHARD ERIC
HYATT
130 BERKLEY DR
ROCKWALL, TX 75032

PEMBERTON DAVID S & SABRINA
130 BLANCHARD DRIVE
ROCKWALL, TX 75032

LOGG DANIEL J
130 OVERBROOK DR
ROCKWALL, TX 75032

GIST JESSE JR AND
JANAE E BARNES
130 PERCH RD
ROCKWALL, TX 75032

MATSON MICHAEL THOMAS
130 SOUTHWOOD
ROCKWALL, TX 75032

HAMEED BASIL AND
TALA ABUSAAD
130 WEMBLEY WAY
ROCKWALL, TX 75032

TURCOTTE LESLIE
130 WOODCREEK DR
ROCKWALL, TX 75032

WADLEY MARLIS
13005 W 15TH DR
GOLDEN, CO 80401

RESIDENT
131 MULBERRY LN
ROCKWALL, TX 75032

THURMAN JAMES EARL AND RETTA POWELL
131 BROCKWAY DR
ROCKWALL, TX 75032

LOPEZ ROBERTO A
131 OVERBROOK DR
ROCKWALL, TX 75032

BANKS LIDIA ELIZABETH & DARREL JAMES
131 SOUTHLAKE DRIVE
ROCKWALL, TX 75032

ABBAS RAZA AND
SAIRA HUSSAIN
131 WEMBLEY WAY
ROCKWALL, TX 75032

ROLDAN JOSE L & MARTHA L
131 WOODCREEK DR
ROCKWALL, TX 75032

RESIDENT
132 MAGNOLIA LN
ROCKWALL, TX 75032

RESIDENT
132 OVERBROOK DR
ROCKWALL, TX 75032

RESIDENT
132 WOODCREEK DR
ROCKWALL, TX 75032

GUERRERO JUAN JAIME
132 ELMRIDGE CIR
ROCKWALL, TX 75032

ESCOBAR CARLOS AGUILAR
132 PINION LANE
ROCKWALL, TX 75032

COKELEZ KENAN
132 SEQUOIA ROAD
ROCKWALL, TX 75032

WATERS KEESTON AND KAYLA
132 WALNUT LANE
ROCKWALL, TX 75032

PROPERTY RENAISSANCE INVESTMENTS LLC
1321 UPLAND DR UNIT 6293
HOUSTON, TX 77043

RESIDENT
133 BERKLEY DR
ROCKWALL, TX 75032

RESIDENT
133 BOWIE DR
ROCKWALL, TX 75032

RESIDENT
133 BROCKWAY DR
ROCKWALL, TX 75032

RESIDENT
133 SEQUOIA RD
ROCKWALL, TX 75032

UDOFIA UKO
133 BLANCHARD DR
ROCKWALL, TX 75032

HOLT LEANNA M
133 MAGNOLIA LN
ROCKWALL, TX 75032

STAFFORD DAVID E
133 OVERBROOK DR
ROCKWALL, TX 75032

COLET FAUSTO
133 SOUTHWOOD DR
ROCKWALL, TX 75032

GAVRILESCU GHEORGHE & JEANINA
133 WALNUT LN
ROCKWALL, TX 75032

DUPREY GUIN & MELISSA
133 WOODCREEK DR
ROCKWALL, TX 75032

SIMS BENJAMIN D
1335 CHAMPIONS DR
ROCKWALL, TX 75087

RESIDENT
134 BOWIE DR
ROCKWALL, TX 75032

RESIDENT
134 WOODCREEK DR
ROCKWALL, TX 75032

NAIDOO VINCENT PAUL & SCHENNEL PEREIRA &
PONAMAL NAIDOO
134 BERKLEY DR
ROCKWALL, TX 75032

BIRDSONG SERENA AND
BILLY COCHARD
134 BLANCHARD DR
ROCKWALL, TX 75032

WAGNER AUSTEN AND TONYA
134 ELMRIDGE CIR
ROCKWALL, TX 75032

KLESMIT DESTINY
134 OVERBROOK DRIVE
ROCKWALL, TX 75087

RUBERT GARY E
134 SOUTHWOOD DR
ROCKWALL, TX 75032

ABMAS TROY S & ERICA A
134 WEMBLEY WAY
ROCKWALL, TX 75032

RESIDENT
135 MESQUITE CT
ROCKWALL, TX 75032

RESIDENT
135 WEMBLEY WAY
ROCKWALL, TX 75032

ALLEN RODNEY AND REBECCA
135 BROCKWAY DR
ROCKWALL, TX 75032

RHODES TREVOR
135 WOODCREEK DRIVE
ROCKWALL, TX 75032

YANG SHAYING
13574 BALINT LN
FRISCO, TX 75035

RESIDENT
136 PINION LN
ROCKWALL, TX 75032

RESIDENT
136 SEQUOIA RD
ROCKWALL, TX 75032

RESIDENT
136 WOODCREEK DR
ROCKWALL, TX 75032

BOWERMAN DAWN J & TONY
136 ELMRIDGE CIR
ROCKWALL, TX 75032

PORTER KRISTEN
136 MAGNOLIA LN
ROCKWALL, TX 75032

SKYLES ERIK
136 OVERBROOK DRIVE
ROCKWALL, TX 75032

PETERSON CHARLES E & WANDA J
136 WALNUT LANE
ROCKWALL, TX 75032

GSI PORTFOLIO LLC
13601 PRESTON RD STE W-810
DALLAS, TX 75240

RESIDENT
137 BLANCHARD DR
ROCKWALL, TX 75032

RESIDENT
137 BOWIE DR
ROCKWALL, TX 75032

RESIDENT
137 SEQUOIA RD
ROCKWALL, TX 75032

WESTERVELT BARBARA
137 BERKLEY DR
ROCKWALL, TX 75032

NEVELS EDWARD LEE
137 BROCKWAY
ROCKWALL, TX 75032

DELA CRUZ VICTOR J AND RADHA JUNE AND
VINCENT DAVID DELA CRUZ AND VICTOR
JOSHUA DELA CRUZ
137 M AGNOLIA LN
ROCKWALL, TX 75032

HALL SHAWN M
137 OVERBROOK DR
ROCKWALL, TX 75032

ELBANNA AHMAD A
137 SOUTHWOOD DR
ROCKWALL, TX 75032

WILSON KAREN
137 WALNUT LN
ROCKWALL, TX 75032

LEE JAMES A & EVA
137 WOODCREEK DR
ROCKWALL, TX 75032

RESIDENT
138 BERKLEY DR
ROCKWALL, TX 75032

RESIDENT
138 BLANCHARD DR
ROCKWALL, TX 75032

RESIDENT
138 BOWIE DR
ROCKWALL, TX 75032

RESIDENT
138 WOODCREEK DR
ROCKWALL, TX 75032

HASHIM RAFID
138 ELMRIDGE CIRCLE
ROCKWALL, TX 75032

COLTHARP LIVING TRUST
138 OVERBROOK DR
ROCKWALL, TX 75032

CONTRERAS JOSE H
138 SOUTHWOOD
ROCKWALL, TX 75032

RESIDENT
139 MESQUITE CT
ROCKWALL, TX 75032

SALVATO SUSAN
139 BROCKWAY DR
ROCKWALL, TX 75032

YOUNG SCOTT ALLEN & VETRICA LANITA YOUNG
139 SOUTHLAKE DR
ROCKWALL, TX 75032

BECKER DAKOTA B AND ANGELA
139 WEMBLEY WAY
ROCKWALL, TX 75032

MILO JOSEPH MIRANDA
139 WOODCREEK DRIVE
ROCKWALL, TX 75032

RESIDENT
140 MAGNOLIA LN
ROCKWALL, TX 75032

BREWER DOUGLAS D
140 ELMRIDGE CIRCLE
ROCKWALL, TX 75032

TRAVIS JARED AND BRENDA
140 OVERBROOK DR
ROCKWALL, TX 75032

SIMPSON CHERYL HUNT
140 PINION LANE
ROCKWALL, TX 75032

PETE MICHAEL A & SHANNAN D
140 SEQUOIA RD
ROCKWALL, TX 75032

MESSENGER MICHELLE
140 WALNUT LN
ROCKWALL, TX 75032

TEAGUE KENNETH T & TAMERA J
140 WOODCREEK DR
ROCKWALL, TX 75032

YIM STEVE K AND ELLA K
1407 LANDSFORD DR
ALLEN, TX 75013

TUTTLE LEON & BILLIE JEAN
1408 DHAKA DR
ROCKWALL, TX 75087

RESIDENT
141 SEQUOIA RD
ROCKWALL, TX 75032

RESIDENT
141 SOUTHWOOD DR
ROCKWALL, TX 75032

RESIDENT
141 WALNUT LN
ROCKWALL, TX 75032

SANCHEZ NANCY C AND VIDAL SANCHEZ-CRUZ
141 BASS RD
ROCKWALL, TX 75032

DEDNER WANDA G
141 BERKLEY DR
ROCKWALL, TX 75032

MORGAN PAULA
141 BLANCHARD DR
ROCKWALL, TX 75032

BRUTON PHILLIP R
141 BROCKWAY DR
ROCKWALL, TX 75032

JAMSHIDI MIKE M & JOELLEN
141 CRESTHAVEN DR
ROCKWALL, TX 75032

GUERRERA SALLY & RICHARD T
141 MAGNOLIA LN
ROCKWALL, TX 75032

MORAN ANTHONY L & ANDREA PIA SANTANA
GUILLEN
141 SUMMERHILL DRIVE
ROCKWALL, TX 75032

STEINHOFF NICOLE M
141 WESTWOOD DR
ROCKWALL, TX 75032

SVOBODA GREGORY THOMAS & MARGARET J
141 WOODCREEK DR
ROCKWALL, TX 75032

RESIDENT
142 BASS RD
ROCKWALL, TX 75032

RESIDENT
142 BOWIE DR
ROCKWALL, TX 75032

RESIDENT
142 ELMRIDGE CIR
ROCKWALL, TX 75032

RESIDENT
142 PERCH RD
ROCKWALL, TX 75032

RESIDENT
142 SOUTHWOOD DR
ROCKWALL, TX 75032

JOSEPH STEPHEN K & JESSY
142 BERKLEY DR
ROCKWALL, TX 75032

CONFIDENTIAL
142 BLANCHARD DRIVE
ROCKWALL, TX 75032

HALL GREGORY S & GINGER L
142 SUMMERHILL DR
ROCKWALL, TX 75032

TEANG SAROEUN AND CHANTHEA CHIN
142 WEMBLEY WAY
ROCKWALL, TX 75032

SKYLES CHARLES W & CONNIE
142 WESTWOOD DR
ROCKWALL, TX 75032

NGUYEN VINH AND GINA
14264 FAITH DR
FRISCO, TX 75035

RESIDENT
143 BROCKWAY DR
ROCKWALL, TX 75032

RESIDENT
143 MESQUITE CT
ROCKWALL, TX 75032

RESIDENT
143 WOODCREEK DR
ROCKWALL, TX 75032

BRUNT SCOTT JR
143 CRESTHAVEN DR
ROCKWALL, TX 75032

NAVA ANDRES ANTONIO AND
MARIA G BARRERA
143 SOUTHLAKE DR
ROCKWALL, TX 75032

CARLTON LEWIS
HELEN D KIMM
143 SUMMERHILL DR
ROCKWALL, TX 75032

MCDOWELL ROBERT & KELLI
143 WEMBLEY WAY
ROCKWALL, TX 75032

AINGE KYLE L AND RYLEE L
143 WESTWOOD DRIVE
ROCKWALL, TX 75032

MCG SFR PROPERTY OWNER 1B LLC
14355 COMMERCE WAY
MIAMI LAKES, FL 33016

MCH SFR PROPERTY OWNER 3 LLC
14355 COMMERCE WAY
MIAMI LAKES, FL 33016

RESIDENT
144 MULBERRY LN
ROCKWALL, TX 75032

RESIDENT
144 PINION LN
ROCKWALL, TX 75032

RESIDENT
144 SUMMERHILL DR
ROCKWALL, TX 75032

DUNHAM DONNA LEE
144 ELMRIDGE CIR
ROCKWALL, TX 75032

MURPHREE APRIL L
144 MAGNOLIA LN
ROCKWALL, TX 75032

WATSON LANCE & LAUREN
144 OXFORD DR
ROCKWALL, TX 75032

SEDLAK AMANDA MARIE
144 SEQUOIA ROAD
ROCKWALL, TX 75032

MALDONADO BENITO
144 WALNUT LN
ROCKWALL, TX 75032

MORCHOWER JANICE LYNN
144 WESTWOOD DRIVE
ROCKWALL, TX 75032

BAILEY BLAKE C AND LAINE E
144 WOODCREEK DRIVE
ROCKWALL, TX 75032

RESIDENT
145 SEQUOIA RD
ROCKWALL, TX 75032

THOMAS MAKIA S
145 BERKLEY DR
ROCKWALL, TX 75032

TATUM LANCE
145 BLANCHARD DR
ROCKWALL, TX 75032

ROSS EMMA R
145 BROCKWAY DR
ROCKWALL, TX 75032

HAYNES MARSHA
145 CRESTHAVEN DR
ROCKWALL, TX 75032

ALLEN JEFFREY C & JENNIFER S
145 MAGNOLIA LN
ROCKWALL, TX 75032

MEDRANO CIPRIANO & PATRICIA
145 SOUTHWOOD DR
ROCKWALL, TX 75032

WITT JANIS L
145 WALNUT LN
ROCKWALL, TX 75032

KAHLE CHERYL J
145 WESTWOOD DR
ROCKWALL, TX 75032

RESIDENT
146 BOWIE DR
ROCKWALL, TX 75032

RESIDENT
146 SOUTHWOOD DR
ROCKWALL, TX 75032

RESIDENT
146 SUMMERHILL DR
ROCKWALL, TX 75032

GONZALEZ GRACIELA & ROLANDO
146 BERKLEY DR
ROCKWALL, TX 75032

MURPHY AUDREY LENEY ANDREWS
146 BLANCHARD DR
ROCKWALL, TX 75032

ANTONY ROSE M
146 ELMRIDGE CIR
ROCKWALL, TX 75032

MARTINEZ HERBER A AND
ANA G AGUILAR SORIANO
146 WEMBLEY WAY
ROCKWALL, TX 75032

WALLER ALVIN JR AND LOLA
146 WESTWOOD DR
ROCKWALL, TX 75032

CLARK SUSAN
146 WOODCREEK DR
ROCKWALL, TX 75032

RESIDENT
147 BROCKWAY DR
ROCKWALL, TX 75032

RESIDENT
147 MESQUITE CT
ROCKWALL, TX 75032

RESIDENT
147 SOUTHLAKE DR
ROCKWALL, TX 75032

RESIDENT
147 WESTWOOD DR
ROCKWALL, TX 75032

MONK MARIAN A
147 CRESTHAVEN DR
ROCKWALL, TX 75032

HYDE REBEKAH
147 WEMBLEY WAY
ROCKWALL, TX 75032

RESIDENT
148 BROCKWAY DR
ROCKWALL, TX 75032

RESIDENT
148 SEQUOIA RD
ROCKWALL, TX 75032

DAVIS KORY TYLER
148 BROCKWAY DRIVE
ROCKWALL, TX 75032

ROVILLOS JOHN ISRAEL AMANDE AND GRACE
HALIMA
148 MAGNOLIA LANE
ROCKWALL, TX 75032

GREEN ELISA A
148 PINION LN
ROCKWALL, TX 75032

DAVILA CHRISTA AND AARON
148 SUMMERHILL DR
ROCKWALL, TX 75032

HERBST PHILLIP CARSON
148 WESTWOOD DR
ROCKWALL, TX 75032

HAWKINS COURTNEY AND JIMMIE
148 WOODCREEK DR
ROCKWALL, TX 75032

FREAUF SEAN ROSS & LAUREN
149 BROCKWAY DRIVE
ROCKWALL, TX 75032

BRAND STEPHANIE & ROBERT
149 CRESTHAVEN DR
ROCKWALL, TX 75032

LACY TAMARA J AND EBOW K
149 MAGNOLIA LN
ROCKWALL, TX 75032

MENO ROLAND A & WAYNETTE M
149 SEQUOIA RD
ROCKWALL, TX 75032

TAHA MOHAMED E
149 SOUTHWOOD DR
ROCKWALL, TX 75032

COBURN ROBERT A JR & CLAUDIA
149 SUMMERHILL DR
ROCKWALL, TX 75032

BOJARSKI JULIA B AND
RANDALL CASEY COVELLI
149 WALNUT LANE
ROCKWALL, TX 75032

KUPOVICS ARANKA
149 WESTWOOD DR
ROCKWALL, TX 75032

STOKES AARON
15 KERIMORE COURT
HEATH, TX 75032

PARNES DROR & ALEXANDRA
15 KESTREL COURT
ROCKWALL, TX 75032

PARNES DROR & ALEXANDRA
15 KESTREL CT
HEATH, TX 75032

RESIDENT
150 BOWIE DR
ROCKWALL, TX 75032

RESIDENT
150 BOWIE DR
ROCKWALL, TX 75032

RESIDENT
150 SOUTHWOOD DR
ROCKWALL, TX 75032

RESIDENT
150 SUMMERHILL DR
ROCKWALL, TX 75032

BOYD SONIA B AND
MACEO R PRICE JR
150 BLANCHARD DRIVE
ROCKWALL, TX 75032

WALKER CAROL B
150 BROCKWAY DR
ROCKWALL, TX 75032

ALLEN VIRGINIA D
150 MULBERRY LN
ROCKWALL, TX 75032

GUYN STEVEN B ETUX
150 WESTWOOD DR
ROCKWALL, TX 75032

BURCHFIEL FAMILY SEPTEMBER 2002
REVOCABLE TRUST AND
RICHARD LARSON AND TRACI LARSON
1500 E. DANA PLACE
ORANGE, CA 92866

RESIDENT
151 BASS RD
ROCKWALL, TX 75032

RESIDENT
151 BROCKWAY DR
ROCKWALL, TX 75032

RESIDENT
151 SUMMERHILL DR
ROCKWALL, TX 75032

RESIDENT
151 WESTWOOD DR
ROCKWALL, TX 75032

STEWART DONNA J
151 CRESTHAVEN DR
ROCKWALL, TX 75087

SILVA LIVING TRUST
CARLOS PERALES SILVA & MARIAN MARSH
SILVA, CO-TRUSTEES
151 SOUTHLAKE DR
ROCKWALL, TX 75032

RESIDENT
152 BASS RD
ROCKWALL, TX 75032

RESIDENT
152 PINION LN
ROCKWALL, TX 75032

RESIDENT
152 SUMMERHILL DR
ROCKWALL, TX 75032

LIECHTY STEVEN L & CINDY L
152 BROCKWAY DR
ROCKWALL, TX 75032

GARDNER EDWIN & DIANNE
152 MAGNOLIA
ROCKWALL, TX 75032

PEREZ JOSE D & MARIA M
152 PERCH RD
ROCKWALL, TX 75032

TUNNELL DAVID AND PENNY
152 SEQUOIA ROAD
ROCKWALL, TX 75032

POSTON SANDRA C
152 WESTWOOD DR
ROCKWALL, TX 75032

ARGONAUT RENTALS SERIES B LLC
1521 FAIRFIELD DR
PLANO, TX 75074

AID PROPERTIES LLC
15213 CESENA RD
ROGERS, AR 72756

WILSON FAMILY TRUST
15297 BOHLMAN RD
SARATOGA, CA 95070

RESIDENT
153 CRESTHAVEN DR
ROCKWALL, TX 75032

RESIDENT
153 SEQUOIA RD
ROCKWALL, TX 75032

RESIDENT
153 SUMMERHILL DR
ROCKWALL, TX 75032

RESIDENT
153 WESTWOOD DR
ROCKWALL, TX 75032

THOMPSON ZACHARY SKY
153 BROCKWAY DR
ROCKWALL, TX 75032

JAMES LENNY D
153 SOUTHWOOD DRIVE
ROCKWALL, TX 75032

HARRELSON WILLIAM AND SARA
153 WALNUT LN
ROCKWALL, TX 75032

SERNA EMERARDO
154 BROCKWAY DRIVE
ROCKWALL, TX 75032

GAMEZ SERGIO ZAPATA & ARACELI ARELLANO
154 SUMMERHILL DR
ROCKWALL, TX 75032

KROGMAN DIANE LYNN
154 WESTWOOD DR
ROCKWALL, TX 75032

RESIDENT
155 CRESTHAVEN DR
ROCKWALL, TX 75032

SEAHOLM TIMOTHY ETUX
155 BROCKWAY DR
ROCKWALL, TX 75032

PROVENCIO DAVID L & LILLIAN P
155 SOUTHLAKE DR
ROCKWALL, TX 75032

GELINO JASON & TRESSA
155 SUMMERHILL DR
ROCKWALL, TX 75032

MORRISON JAMES B & SUSAN KAYE AND
MITCHELL B MORRISON
155 WESTWOOD DR
ROCKWALL, TX 75032

CARLSON KEVIN R & NATALIE L
1553 VZ COUNTY ROAD 1213
CANTON, TX 75103

GRYZIECKI CHASE
1553 VZCR 1213
CANTON, TX 75103

HUNT CYNTHIA L
156 BROCKWAY DR
ROCKWALL, TX 75032

CARSON MICHELE L
156 MAGNOLIA LN
ROCKWALL, TX 75032

BURK JOHN AARON
156 PINION LN
ROCKWALL, TX 75032

SHAH VIREN
156 SEQUOIA
ROCKWALL, TX 75032

PRUITT HAROLD LEE
156 SUMMERHILL DRIVE
ROCKWALL, TX 75032

WHITFIELD BONNIE D
156 WESTWOOD DR
ROCKWALL, TX 75032

SU AMANDA C AND
MATTHEW G CROSS
1567 POETS WAY
ALLEN, TX 75002

RESIDENT
157 SEQUOIA RD
ROCKWALL, TX 75032

TAYLOR MARTHA
157 BROCKWAY DR
ROCKWALL, TX 75032

MARICH TRACY M
157 CRESTHAVEN DR
ROCKWALL, TX 75032

GUSTAFSON RICHARD K & MARGARET
157 SUMMERHILL DR
ROCKWALL, TX 75032

PARKER REBECCA D
157 WALNUT LN
ROCKWALL, TX 75032

WILLIAMS LISA D
157 WESTWOOD DR
ROCKWALL, TX 75032

SFR JV-1 2021-1 BORROWER LLC
C/O. TRICON AMERICAN HOMES LLC
15771 RED HILL AVE
TUSTN, CA 92780

SFR JV-1-202-1 BORROWER LLC
15771 RED HILL AVE
TUSTIN, CA 92780

SFR JV-1 2021-1 BORROWER LLC
C/O. TRICON AMERICAN HOMES LLC
15771 RED HILL AVE
TUSTN, CA 92780

SFR JV-1 2019-1 BORROWER LLC
15771 RED HILL AVE
TUSTIN, CA 92780

SFR JV-1-202-1 BORROWER LLC
15771 RED HILL AVE
TUSTIN, CA 92780

SFR JV-1-202-1 BORROWER LLC
15771 RED HILL AVE
TUSTIN, CA 92780

RESIDENT
158 BROCKWAY DR
ROCKWALL, TX 75032

RESIDENT
158 WESTWOOD DR
ROCKWALL, TX 75032

RESIDENT
158 SUMMERHILL DR
ROCKWALL, TX 75032

RESIDENT
159 CRESTHAVEN DR
ROCKWALL, TX 75032

RESIDENT
159 SUMMERHILL DR
ROCKWALL, TX 75032

JUST HILDA R ENHANCED LIFE ESTATE AND
KRISTINA MARIE WOLOV AND WILLIAM BRYAN
JUST
159 SOUTHLAKE DR
ROCKWALL, TX 75032

BOYLE HEBRON VICTORIA
16 GUMBLE CT
HILLSBOROUGH, NJ 8844

SC ROCKWALL LLC
16 VILLAGE LN STE 250
COLLEYVILLE, TX 76034

RESIDENT
160 SUMMERHILL DR
ROCKWALL, TX 75032

RESIDENT
160 SUMMERHILL DR
ROCKWALL, TX 75032

RESIDENT
160 WESTWOOD DR
ROCKWALL, TX 75032

ABUNDIS ROBERTO AND YADIRA
160 MAGNOLIA LANE
ROCKWALL, TX 75087

MCGINNIS LEVIN L
160 PINION LN
ROCKWALL, TX 75032

MENCHACA JENNIFER
160 SEQUOIA RD
ROCKWALL, TX 75032

PEARSON MARILYN
1606 WILLOW CREST DR
RICHARDSON, TX 75081

RESIDENT
161 CRESTHAVEN DR
ROCKWALL, TX 75032

RESIDENT
161 SUMMERHILL DR
ROCKWALL, TX 75032

WATSON JAMES S & MICHELENE M
161 MAGNOLIA LN
ROCKWALL, TX 75032

KAO GEN FANG
161 PINE DR
PORT TOWNSEND, WA 98368

SIPES RICKY W
161 SEQUOIA ROAD
ROCKWALL, TX 75032

MAYFIELD KARI JLAYNE
161 WALNUT LANE
ROCKWALL, TX 75032

RESIDENT
162 WESTWOOD DR
ROCKWALL, TX 75032

TURNER JEREMEY SCOTT AND MAGGIE WHITE
162 CRESTHAVEN DRIVE
ROCKWALL, TX 75032

RODRIGUEZ SONIA M AND RODRIGO
162 SUMMERHILL DR
ROCKWALL, TX 75032

RESIDENT
163 SOUTHLAKE DR
ROCKWALL, TX 75032

AGUILLON ARTEMISA
163 BASS RD
ROCKWALL, TX 75032

AGUILLON ARTEMISA
163 BASS RD
ROCKWALL, TX 75032

AGUILLON ARTEMISA
163 BASS RD
ROCKWALL, TX 75032

RAMOS MARTHA A
163 SUMMERHILL DR
ROCKWALL, TX 75032

RESIDENT
164 WESTWOOD DR
ROCKWALL, TX 75032

GERRY KRISTOPHER ALEXANDER
164 PINION LANE
ROCKWALL, TX 75032

SUAREZ MARIA J & BETSY M
164 SEQUOIA RD
ROCKWALL, TX 75032

WHITE JUSTIN D
165 MAGNOLIA LN
ROCKWALL, TX 75032

WILKINSON DONNA G & DAVID E
16670 E ANNA CADE RD
ROCKWALL, TX 75087

RESIDENT
167 SOUTHLAKE DR
ROCKWALL, TX 75032

RESIDENT
167 SOUTHLAKE DR
ROCKWALL, TX 75032

PEDRAZA FRANCISCO JAVIER AND
LUZ MARIA GARCIA
168 PERCH RD
ROCKWALL, TX 75032

MARONEY RHONDA
168 PINION LANE
ROCKWALL, TX 75032

LE THAO M AND
THAI PHAM
168 SEQUOIA ROAD
ROCKWALL, TX 75032

PRODAHL DALE A & KAREN S
1685 PLUMMER DR
ROCKWALL, TX 75087

CONFIDENTIAL
169 MAGNOLIA LN
ROCKWALL, TX 75032

MUNOZ BIANCA & JONATHAN MEADOWS
1701 E HEBRON PKWY APT 2104
CARROLLTON, TX 75010

YU JINWEN
1701 PAYNE ST APT 2006
DALLAS, TX 75201

MILLS GLEN EDWARD AND SUZAN EILLEN
171 SOUTHLAKE DR
ROCKWALL, TX 75032

CSH PROPERTY ONE LLC
1717 MAIN STREET SUITE 2000
DALLAS, TX 75201

RESIDENT
172 BASS RD
ROCKWALL, TX 75032

RESIDENT
172 PINION LN
ROCKWALL, TX 75032

MORROW APRIL
173 MAGNOLIA LN
ROCKWALL, TX 75032

LIMANS 024 LLC
17416 SW 35TH CT
MIRAMAR, FL 33029

AGUILLON JOSE SANTOS ETUX
175 BASS RD
ROCKWALL, TX 75032

SHORT CHAD & KAYDEE
175 SOUTHLAKE DR
ROCKWALL, TX 75032

RESIDENT
176 PINION LN
ROCKWALL, TX 75032

GARCIA VINCENT & ANA T GARCIA
177 PINION LN
ROCKWALL, TX 75032

DETWEILER RICHARD P AND SHANGTING
17839 BENCHMARK DR.
DALLAS, TX 75252

RODRIGUEZ GREGORIO & MARIA
180 PERCH RD
ROCKWALL, TX 75032

RESIDENT
181 PINION LN
ROCKWALL, TX 75032

WU WEIMIN
1811 MARSHALL DRIVE
ALLEN, TX 75013

GIRASOLES HOME BUYERS LLC
1812 CRESTHAVEN DR
PANTEGO, TX 76013

MYHOMESTEAD PARTNERS LLC
1821 N LAKE FOREST, #700-382
MCKINNEY, TX 75071

RESIDENT
183 BASS RD
ROCKWALL, TX 75032

GUINAN DANIEL J & MELING M
185 PINION LN
ROCKWALL, TX 75087

FKH SFR PROPCO J LP
1850 PARKWY PL STE 900
MARIETTA, GA 30067

TAMEZ JAVIER A & CLARA
188 BASS RD
ROCKWALL, TX 75032

TAMEZ JAVIER A & CLARA I
188 BASS ROAD
ROCKWALL, TX 75032

OLIVAS MARIA D CONSUELO RAZCON
189 PERCH RD
ROCKWALL, TX 75032

FAIR TRAVIS
1905 GLENBROOK MEADOWS DR
GARLAND, TX 75040

SMITH CAMERON AND HEATHER
192 PERCH RD
ROCKWALL, TX 75032

FAEC HOLDINGS (ROCKWALL) LLC
C/O HCP INC
1920 MAIN ST SUITE 1200
IRVINE, CA 92614

RESIDENT
193 BASS RD
ROCKWALL, TX 75032

RIDGEWAY RYAN A & HARRIS H JORGENSEN
1935 WIND HILL RD
ROCKWALL, TX 75087

RESIDENT
194 SUNFISH
ROCKWALL, TX 75032

MCCURLEY FRED W & KAY O'REAR
1941 W FM 550
ROCKWALL, TX 75032

RS RENTAL III-A LLC
ATTN: AVENUE ONE
199 LAFAYETTE ST APT 7A
NEW YORK, NY 10012

DAVIS BLAKE C AND KATHRYN E
2 PINTAIL PT
HEATH, TX 75032

MASSEY WAYNE O ETUX
200 MAPLERIDGE DR
ROCKWALL, TX 75032

MILLENNIUM TRUST COMPANY LLC
CUSTODIAN FBO MARY JO SHELTON
2001 SPRING ROAD SUITE 700
OAK BROOK, IL 60523

RESIDENT
201 BASS RD
ROCKWALL, TX 75032

RESIDENT
201 PARKWAY CT
ROCKWALL, TX 75032

RESIDENT
201 WOODCREEK DR
ROCKWALL, TX 75032

COCUZZI MARC WILLIAM
201 AUTUMN CT
ROCKWALL, TX 75032

COLLINS MARIANNE R
201 MAPLERIDGE DR
ROCKWALL, TX 75032

HODGES MITCHELL AHREN
201 OVERBROOK COURT
ROCKWALL, TX 75032

REED BRANDON
201 WINDMILL RIDGE DR
ROCKWALL, TX 75032

RESIDENT
202 MULBERRY LN
ROCKWALL, TX 75032

RESIDENT
202 OVERBROOK CT
ROCKWALL, TX 75032

RESIDENT
202 WINDMILL RIDGE DR
ROCKWALL, TX 75032

RESIDENT
202 WOODCREEK DR
ROCKWALL, TX 75032

BALA ARIANIT AND SERVETE
202 AUTUMN CT
ROCKWALL, TX 75032

GAITAN ALICIA S
202 BURKWOOD DRIVE
ROCKWALL, TX 75032

LEWIS CLIFFORD CONNOR
202 MAPLE RIDGE
ROCKWALL, TX 75032

RESIDENT
203 MAPLERIDGE DR
ROCKWALL, TX 75032

LIU HAIBO
203 FAIRFIELD LANE
HILLSBOROUGH, NJ 8844

BJORNSON ALLEN AND MADELINE
203 WINDMILL RIDGE DR
ROCKWALL, TX 75032

RESIDENT
204 MAPLERIDGE DR
ROCKWALL, TX 75032

RESIDENT
204 PARKWAY CT
ROCKWALL, TX 75032

RESIDENT
204 PERCH RD
ROCKWALL, TX 75032

RESIDENT
204 WINDMILL RIDGE DR
ROCKWALL, TX 75032

RESIDENT
205 MAPLERIDGE DR
ROCKWALL, TX 75032

RODRIGUEZ JOSE L JR
205 WINDMILL RIDGE DR
ROCKWALL, TX 75032

RESIDENT
206 MAPLERIDGE DR
ROCKWALL, TX 75032

RESIDENT
206 WINDMILL RIDGE DR
ROCKWALL, TX 75032

KANADY ELLEN
206 BURKWOOD DRIVE
ROCKWALL, TX 75032

RESIDENT
207 AUTUMN CT
ROCKWALL, TX 75032

RESIDENT
207 OVERBROOK CT
ROCKWALL, TX 75032

RESIDENT
207 PARKWAY CT
ROCKWALL, TX 75032

RESIDENT
207 TEXAS AVE
ROCKWALL, TX 75032

RESIDENT
207 WOODCREEK DR
ROCKWALL, TX 75032

WATERS DAVID
207 CRESTBROOK DR
ROCKWALL, TX 75087

LARUE PATRICIA
207 MAPLERIDGE DR
ROCKWALL, TX 75023

DOTSON SANDRA & WALTER NEEL
207 S BUFFALO ST
CANTON, TX 75103

MENDOZA-GARCIA FAVIOLA RUBI
207 WINDMILL RIDGE DRIVE
ROCKWALL, TX 75032

RESIDENT
208 MAPLERIDGE DR
ROCKWALL, TX 75032

RESIDENT
208 OVERBROOK CT
ROCKWALL, TX 75032

KUPOVICS THOMAS J & VIVIAN
208 AUTUMN CT
ROCKWALL, TX 75032

MAKELKE JOHN L & LORIE A
208 DARTMOUTH DR
ROCKWALL, TX 75032

SLAYTON TODD
208 MULBERRY LN
ROCKWALL, TX 75032

LOPEZ JOSE & MARIA
208 TEXAS AVE
ROCKWALL, TX 75032

GONZALEZ MARIA A
208 WINDMILL RIDGE DR
ROCKWALL, TX 75032

JOHN PRAKASH S AND BINDU K JAMES
208 WOODCREEK DR
ROCKWALL, TX 75032

RESIDENT
209 WINDMILL RIDGE DR
ROCKWALL, TX 75032

ARCILA MARIA GABRIELA MORALES AND
JOSE R MORALES ANGULO
209 MAPLERIDGE DRIVE
ROCKWALL, TX 75032

TAJI ARASH AND
ANITA WHATLEY
209 MULBERRY LANE
ROCKWALL, TX 75032

RESIDENT
210 BASS RD
ROCKWALL, TX 75032

RESIDENT
210 DARTMOUTH DR
ROCKWALL, TX 75032

GRUPO ACUORTE INC
210 GLENWOOD DRIVE
MURPHY, TX 75094

RODRIGUEZ ALICIA
210 MAPLERIDGE DR
ROCKWALL, TX 75032

CONFIDENTIAL
210 PARKWAY CT
ROCKWALL, TX 75087

CROSS RICK D & KIMBERLY
210 RAINBOW CIR
ROCKWALL, TX 75032

DEPE 31 LLC
210 W MAIN STREET SUITE 130
GUN BARREL CITY, TX 75156

NIEMEYER RYAN
210 WINDMILL RIDGE DR
ROCKWALL, TX 75032

LUBY DIANE S
2109 TWILIGHT PT
HEATH, TX 75032

RESIDENT
211 MAPLERIDGE DR
ROCKWALL, TX 75032

RESIDENT
211 WINDMILL RIDGE DR
ROCKWALL, TX 75032

HUGHES RONALD J & MELANIE D
211 BURKWOOD DR
ROCKWALL, TX 75032

BRASWELL NIDA
211 DARTMOUTH DRIVE
ROCKWALL, TX 75032

HOSSNER BRUNETTE CAMILLE & ERIC
211 PKWY CT
ROCKWALL, TX 75032

RESIDENT
212 MAPLERIDGE DR
ROCKWALL, TX 75032

PACHECO ARTURO
212 DARTMOUTH DR
ROCKWALL, TX 75032

GERANT NANCY
212 MULBERRY LN
ROCKWALL, TX 75032

ROSSMAN CONNIE
212 WINDMILL RIDGE DR
ROCKWALL, TX 75032

RESIDENT
213 DARTMOUTH DR
ROCKWALL, TX 75032

RESIDENT
213 OVERBROOK CT
ROCKWALL, TX 75032

RESIDENT
213 WOODCREEK DR
ROCKWALL, TX 75032

ROMERO RAFEL & NORA
213 AUTUMN CT
ROCKWALL, TX 75032

HERNANDEZ JOSE
213 MAPLERIDGE DR
ROCKWALL, TX 75032

TRAN DOAN DINH AND
TUYEN NGUYEN
213 MULBERRY LN
ROCKWALL, TX 75032

CLEM CHRISTOPHER AND NANCY AND
HOLLY CLEM
213 WINDMILL RIDGE
ROCKWALL, TX 75032

RESIDENT
214 AUTUMN CT
ROCKWALL, TX 75032

RESIDENT
214 MAPLERIDGE DR
ROCKWALL, TX 75032

RESIDENT
214 OVERBROOK CT
ROCKWALL, TX 75032

RESIDENT
214 PARKWAY CT
ROCKWALL, TX 75032

HINCE MARCELLA A REVOCABLE LIVING TRUST
214 BASS RD
ROCKWALL, TX 75032

HAMBRICK TIA T
214 BURKWOOD DR
ROCKWALL, TX 75032

GENTZEL DUSTIN L & SHANA M
214 FREEDOM CT
ROCKWALL, TX 75032

RAMIREZ ARACELI & GABRIEL
214 PERCH RD
ROCKWALL, TX 75032

YOUNG DANIEL JOSEPH
214 STANFORD CT
HEATH, TX 75032

LADUKE KENNETH L
214 WOODCREEK DR
ROCKWALL, TX 75032

RESIDENT
215 DARTMOUTH DR
ROCKWALL, TX 75032

MORRIS KATE E
215 MAPLERIDGE DR
ROCKWALL, TX 75032

DODGE MAJOR N III
215 PARKWAY COURT
ROCKWALL, TX 75032

SMITH JACOB
215 WINDMILL RIDGE
ROCKWALL, TX 75032

DANIELS PATSY R
216 MULBERRY LANE
ROCKWALL, TX 75032

HOPFAUF RICK
216 SUNFISH RD
ROCKWALL, TX 75032

RODRIGUEZ SUZANNA
216 WINDMILL RIDGE DR
ROCKWALL, TX 75032

RESIDENT
217 DARTMOUTH DR
ROCKWALL, TX 75032

RESIDENT
217 MULBERRY LN
ROCKWALL, TX 75032

HALL TIMOTHY D & BRENDA K
217 MAPLERIDGE DR
ROCKWALL, TX 75032

TURNER CYNTHIA J
217 WINDMILL RIDGE
ROCKWALL, TX 75032

ZHU LIN
21711 MOUNT EDEN RD
SARATOGA, CA 95070

SILVIA PETER W
218 AUTUMN COURT
ROCKWALL, TX 75032

THE VANAMBURGH CORPORATION
218 PARKWAY COURT
ROCKWALL, TX 75032

REYNA FRANCISCO & DOLORES
218 WINDMILL RIDGE DR
ROCKWALL, TX 75032

RESIDENT
219 AUTUMN CT
ROCKWALL, TX 75032

RESIDENT
219 BURKWOOD DR
ROCKWALL, TX 75032

RESIDENT
219 DARTMOUTH DR
ROCKWALL, TX 75032

SPRING KARISSA M
219 OVERBROOK CT
ROCKWALL, TX 75032

BROWN REBECCA H &
ELMER E HILL
219 WINDMILL RIDGE DR
ROCKWALL, TX 75032

RESIDENT
220 MULBERRY LN
ROCKWALL, TX 75032

RESIDENT
220 WINDMILL RIDGE DR
ROCKWALL, TX 75032

LE BUU VAN
220 COTTON WOOD CT
ROCKWALL, TX 75032

CARDOSO IVAN ALEXIS GALLARDO AND
STEPHANIE B CURIEL GALLARDO
220 OVERBROOK COURT
ROCKWALL, TX 75032

BARNES BRANDON
220 WOODCREEK DR
ROCKWALL, TX 75032

ARMANI KATYANA AND
DEVON SMITH
2204 SPRING MILLS RD
MESQUITE, TX 75181

TRUEBLOOD GERALD JENKINS
2209 COUNTRY CLUB DRIVE
PLANO, TX 75074

RESIDENT
221 MULBERRY LN
ROCKWALL, TX 75032

RESIDENT
221 WINDMILL RIDGE DR
ROCKWALL, TX 75032

SHAFFER LAURA H &
WILLIAM B WATTS
221 DARTMOUTH DR
ROCKWALL, TX 75032

RESIDENT
222 WINDMILL RIDGE DR
ROCKWALL, TX 75032

NGUYEN TYLER VO AND
MANDY MAI DINH
222 BURKWOOD DRIVE
ROCKWALL, TX 75032

SMITH WALTER M JR
222 ROBINS LANE
SEAGOVILLE, TX 75159

RESIDENT
223 BURKWOOD DR
ROCKWALL, TX 75032

RESIDENT
223 DARTMOUTH DR
ROCKWALL, TX 75032

RESIDENT
223 WINDMILL RIDGE DR
ROCKWALL, TX 75032

RESIDENT
224 COTTON WOOD CT
ROCKWALL, TX 75032

RESIDENT
224 MULBERRY LN
ROCKWALL, TX 75032

PHILLIPS JEFFREY & JENNIFER
224 MAPLE CT
ROCKWALL, TX 75032

LUU NGHIA H AND
JULIE THURSTON
224 WINDMILL RIDGE DR
ROCKWALL, TX 75032

RESIDENT
225 DARTMOUTH DR
ROCKWALL, TX 75032

RESIDENT
225 MAPLE CT
ROCKWALL, TX 75032

CLARY PATRICIA A
226 BURKWOOD DR
ROCKWALL, TX 75032

TURNER RICHARD D AND JANET L TURNER AND
ANDREW M TURNER
226 ROCKWALL PARKWAY
ROCKWALL, TX 75032

RIPP THOMAS V DR & HAZEL T
2266 LAFAYETTE LNDG
HEATH, TX 75032

YV ROCKWALL REALTY HOLDINGS LLC
2266 LAFAYETTE LNDG
ROCKWALL, TX 75032

ROSSING RYAN B AND KENDRA L LIGHT-
227 BURKWOOD DR
ROCKWALL, TX 75032

ARELLANO-CRUZ PAULA M AND FELIX
227 DARTMOUTH DR
ROCKWALL, TX 75032

TATE ANTHONY R
227 LUMSDEN CIR W APT 101
COLLIERVILLE, TN 38017

RESIDENT
228 COTTON WOOD CT
ROCKWALL, TX 75032

RESIDENT
228 MULBERRY LN
ROCKWALL, TX 75032

RESIDENT
228 ROCKWALL PKWY
ROCKWALL, TX 75032

CONNIE S BRICKER
228 MAPLE COURT
ROCKWALL, TX 75032

AUSTIN TAMIKA S
229 DARTMOUTH DR
ROCKWALL, TX 75032

HA PETER
229 MAPLE CT
ROCKWALL, TX 75032

REIMER TROY A & LISA C
23 KESWICK CT
HEATH, TX 75032

SHIPMAN KATHLEEN (MERRI)
230 ROCKWALL PKWY
ROCKWALL, TX 75032

K AND L INTERESTS INC
2308 VERSAILLES CT
HEATH, TX 75032

RESIDENT
231 TUBBS RD
ROCKWALL, TX 75032

RODRIGUEZ ROGELIO
231 DARTMOUTH DR
ROCKWALL, TX 75032

DICKINSON JIMMY AND BARBARA
2317 FAIRWAY CIR
ROCKWALL, TX 75032

RESIDENT
232 COTTON WOOD CT
ROCKWALL, TX 75032

RESIDENT
232 MAPLE CT
ROCKWALL, TX 75032

ONOFREI CONSTANTIN
232 MULBERRY LANE
ROCKWALL, TX 75032

BIANCHI VINCENT MICHAEL AND HEATHER
DAWN
232 ROCKWALL PKWY
ROCKWALL, TX 75032

BRISCO OIL INC
2323 STEVENS RD
ROCKWALL, TX 75032

RESIDENT
233 DARTMOUTH DR
ROCKWALL, TX 75032

SHARP ANTHONY W & ELIZABETH A
233 MAPLE CT
ROCKWALL, TX 75032

CASA STEGER LLC
2331 GUS THOMASSON ROAD SUITE 126
DALLAS, TX 75228

RESIDENT
234 ROCKWALL PKWY
ROCKWALL, TX 75032

MORGAN MARTHA
234 PERCH
ROCKWALL, TX 75032

DAVIS DONNA B
235 DARTMOUTH DR
ROCKWALL, TX 75032

SAGUM CHRISTOPHER AND MONICA
2351 BRITTAN AVE
SAN CARLOS, CA 94070

RESIDENT
236 MAPLE CT
ROCKWALL, TX 75032

STARNES KERRY D
236 COTTON WOOD CT
ROCKWALL, TX 75032

WREN-BITNER GWEN
236 MULBERRY LN
ROCKWALL, TX 75032

HARRIS MINDY LYNN
236 ROCKWALL PKWY
ROCKWALL, TX 75032

RESIDENT
237 MAPLE CT
ROCKWALL, TX 75032

KIWALE THEREZIA
237 DARTMOUTH DRIVE
ROCKWALL, TX 75032

SCHAEFFER PAUL RUSSELL
238 ROCKWALL PKWY
ROCKWALL, TX 75032

RESIDENT
239 TUBBS RD
ROCKWALL, TX 75032

AH4R PROPERTIES TWO LLC
23975 PARK SORRENTO SUITE 300
CALABASAS, CA 91302

AMH 2014-2 BORROWER LLC
23975 PARK SORRENTO SUITE 300
CALABASAS, CA 91302

AMERICAN HOMES 4 RENT PROPERTIES EIGHT
LLC
23975 PARK SORRENTO SUITE 300
CALABASAS, CA 91302

AH4R PROPERTIES TWO LLC
23975 PARK SORRENTO SUITE 300
CALABASAS, CA 91302

GAMEZ BRIGIDO & MARIA NATALIA
240 BASS RD
ROCKWALL, TX 75032

CLEVERINGA TRACY
240 COTTONWOOD CT
ROCKWALL, TX 75032

LOCKLEY LEONA KINES
240 MULBERRY LN
ROCKWALL, TX 75032

HARGRAVE DAVID G TRUSTEE
GEORGE H HARGRAVE JR 1994 TRUST
2400 LEGEND DR
HEATH, TX 75032

JIA LI AND BIN SHUAI
2414 W TIMBERCREEK COURT
WICHITA, KS 67204

RESIDENT
244 MULBERRY LN
ROCKWALL, TX 75032

FREDERICKSON W ALLAN
244 COTTON WOOD CT
ROCKWALL, TX 75032

SERIES 305 WINTER PARK, A PROTECTED SERIES
WITHIN
DFRW INVESTMENT HOLDING LLC
2443 FILLMORE ST #380-3288
SAN FRANCISCO, CA 94115

RESIDENT
248 MULBERRY LN
ROCKWALL, TX 75032

HLAVATY SCOTT & JILL
248 COTTON WOOD COURT
ROCKWALL, TX 75032

RESIDENT
249 TUBBS RD
ROCKWALL, TX 75032

ASTUMIAN SARA LYNN
250 COUNTY ROAD 2504
MINEOLA, TX 75773

ACOSTA JUVENTINO & MARIA
251 BASS RD
ROCKWALL, TX 75032

KERBO JERRY AND
JEREMY KERBO
251 COTTON WOOD CT
ROCKWALL, TX 75032

RESIDENT
252 ALTHEA RD
ROCKWALL, TX 75032

RESIDENT
252 COTTON WOOD CT
ROCKWALL, TX 75032

RESIDENT
252 PERCH RD
ROCKWALL, TX 75032

ANGUIANO NICHOLE E
252 MULBERRY LANE
ROCKWALL, TX 75032

THREE STARS INVESTMENT GROUP INC
2524 RIVER OAKS LN
MESQUITE, TX 75150

RESIDENT
2525 HORIZON RD
ROCKWALL, TX 75032

C M GUIDRY REVOCABLE TRUST
CHRISTOPHER MARK GUIDRY- TRUSTEE
2540 WINCREST DRIVE
ROCKWALL, TX 75032

NEVAREZ J DEL CARMEN & MARTINA
256 BASS RD
ROCKWALL, TX 75032

HEVIAYVACA DANIEL DAVID AND PAOLA LYEAN
256 COTTONWOOD COURT
ROCKWALL, TX 75032

LIU TERESA
256 EAST 10TH STREET #3F
NEW YORK, NY 10009

RESIDENT
2581 HORIZON RD
ROCKWALL, TX 75032

RESIDENT
260 BEECH DR
ROCKWALL, TX 75032

RAMIREZ EVARISTO & SANDRA
260 COTTON WOOD CT
ROCKWALL, TX 75032

RESIDENT
261 TEXAS AVE
ROCKWALL, TX 75032

CHANTACA MAURICIO & IRMA
261 TUBBS RD
ROCKWALL, TX 75032

RESIDENT
264 ALTHEA RD
ROCKWALL, TX 75032

RESIDENT
264 BASS RD
ROCKWALL, TX 75032

RESIDENT
264 BEECH DR
ROCKWALL, TX 75032

RESIDENT
265 ALTHEA RD
ROCKWALL, TX 75032

RESIDENT
268 BEECH DR
ROCKWALL, TX 75032

TYLER MATTHEW
2683 POTTER ST
EUGENE, OR 97405

KLALIB ABDULRHANAN
2686 JERRY WAY STREET
LANCASTER, TX 75134

CHAVEZ JOSE I & NINFA
269 BASS RD
ROCKWALL, TX 75032

DB MIM I LLC
27 N WACKER DR PMB 435
CHICAGO, IL 60606

CHAVEZ JUAN & JUANA M
270 PERCH RD
ROCKWALL, TX 75032

CRUZ MARIA E AND
JAMIL HASSON
271 BASS RD
ROCKWALL, TX 75032

HUDSON SFR PROPERTY HOLDINGS II LLC
2711 N HASKELL STE 1800
DALLAS, TX 75204

CLARK ASHLEY MICHELLE
272 BEECH DRIVE
ROCKWALL, TX 75032

CHEVEZ ANTONIO E
272 PERCH RD
ROCKWALL, TX 75032

CHEVEZ ERNESTO
2731 DOWELL RD
ROCKWALL, TX 75032

MORENO JOSE AND
ELIDA BERENICE ADRIAN
274 BASS RD
ROCKWALL, TX 75032

RESIDENT
276 BEECH DR
ROCKWALL, TX 75032

RAMIREZ FELIPE ETUX
279 BASS RD
ROCKWALL, TX 75032

RESIDENT
280 BEECH DR
ROCKWALL, TX 75032

RESIDENT
2805 HORIZON RD
ROCKWALL, TX 75032

HERNANDEZ JOSE
282 PERCH RD
ROCKWALL, TX 75032

RESIDENT
284 BEECH DR
ROCKWALL, TX 75032

LU TIANSHI
2840 CLEAR CREEK DRIVE
ROCKWALL, TX 75032

HUSSAIN MIR MUSTAFA & BUSHRA
2844 DEER RIDGE DR
ROCKWALL, TX 75032

MARTINEZ JOSE & ANA
285 TUBBS RD
ROCKWALL, TX 75032

T & B FAMILY LIMITED PARTNERSHIP
2879 LAGO VISTA DR
ROCKWALL, TX 75032

OCAMPO ASHLEY AND EDWIN
288 BEACH DR
ROCKWALL, TX 75032

CARRILLO MIGUEL M SR
291 BASS RD
ROCKWALL, TX 75032

TOVAR LAURA
2916 TANGLEGLEN DR
ROCKWALL, TX 75032

RESIDENT
292 BASS RD
ROCKWALL, TX 75032

RESIDENT
292 BEECH DR
ROCKWALL, TX 75032

BUDLONG GARY C & PEGGY B P
LIVING TRUST
2920 WINAM AVE
HONOLULU, HI 96816

RESIDENT
2931 RIDGE RD
ROCKWALL, TX 75032

BAKER DON
2931 RIDGE RD STE 101-220
ROCKWALL, TX 75032

BAKER DON AND KELLEY
2931 RIDGE ROAD SUITE 101 # 220
ROCKWALL, TX 75032

RESIDENT
2935 RIDGE RD
ROCKWALL, TX 75032

WHITE DAVID THOMAS
294 PERCH RD
ROCKWALL, TX 75032

STOKES LEVIN E & MISUZU
2951 RISING TIDE DR
FRISCO, TX 75034

TRAN LISA TRAM
296 BEECH DR
ROCKWALL, TX 75032

RESIDENT
2970 HORIZON RD
ROCKWALL, TX 75032

RESIDENT
2994 HORIZON RD
ROCKWALL, TX 75032

RESIDENT
2995 HORIZON RD
ROCKWALL, TX 75032

CTR GROUP LLC
3 GERMANY DR SUITE 4-4477
WILMINGTON, DE 19804

POPLAR HILLS LLC SERIES C- 140 MAGNOLIA DR
30 WINDSOR DRIVE
ROCKWALL, TX 75032

SMITH ROBERT D
300 BEECH DR
ROCKWALL, TX 75032

RESIDENT
3000 HORIZON RD
ROCKWALL, TX 75032

OUR SAVIOR EVANGELIC LUTHERAN CHURCH OF
ROCKWALL
C/O E H CONSTION
3003 HORIZON
ROCKWALL, TX 75032

EEEM ENTERPRISES LLC
3009 N SPRING CT
GARLAND, TX 75044

TEDDER JORAM AND TIERA SINCLARI
301 BASS RD
ROCKWALL, TX 75032

SUTTON DANIEL & DEBORAH
301 CRESTHAVEN DR
ROCKWALL, TX 75032

POTTS DANNY & VONDA
301 STONEBRIDGE DR.
ROCKWALL, TX 75087

MAY DIANNE
301 SUMMERHILL DR
ROCKWALL, TX 75032

ROSS CHARLES LAVERNE JR AND RAISSA V
301 WESTWOOD DRIVE
ROCKWALL, TX 75032

FAULKNER SCOTT
301 WINTER PARK
ROCKWALL, TX 75032

RESIDENT
302 WESTWOOD DR
ROCKWALL, TX 75032

MILLER BRYAN L
302 SUMMERHILL DR
ROCKWALL, TX 75032

PARTRIDGE DELENIA L
302 WINTER PARK
ROCKWALL, TX 75032

ORIGINAL CAPITAL HOLDINGS LLC AND
RAY SPERRING
3021 RIDGE RD #A66
ROCKWALL, TX 75032

5 SHARP REAL ESTATE LLC
3021 RIDGE RD #160
ROCKWALL, TX 75032

WHEELER KEITH P AND TINA KAREN MCMILLAN
303 FEATHERSTONE
ROCKWALL, TX 75087

HAYES GABRIELLE LOHELANI
303 TUBBS RD
ROCKWALL, TX 75032

RESIDENT
304 BEECH DR
ROCKWALL, TX 75032

CARLTON PAMELA RHEA
304 CRESTHAVEN DR
ROCKWALL, TX 75032

ANDERSON TROY
3049 S COYOTE CANYON
MESA, AZ 85212

RESIDENT
305 WINTER PARK
ROCKWALL, TX 75032

BUKIN LYNNE KATHERINE
305 SUMMERHILL DR
ROCKWALL, TX 75032

BAILEY JONATHON D & GERRY L
305 WESTWOOD DR
ROCKWALL, TX 75032

RESIDENT
306 PERCH RD
ROCKWALL, TX 75032

RESIDENT
306 WINTER PARK
ROCKWALL, TX 75032

GONZALEZ JUAN MANUEL VAZQUEZ
306 WESTWOOD DRIVE
ROCKWALL, TX 75032

LIU JOHN AND CONNIE Q
3069 N GOLIAD
ROCKWALL, TX 75087

WILLIAMSON ROBERT L & CORINNE D
307 CRESTHAVEN DR
ROCKWALL, TX 75032

BARTELL RICKY J
307 ROCKBROOK DR
ROCKWALL, TX 75087

BARTELL RICKY J
307 ROCKBROOK DR
ROCKWALL, TX 75087

LOREY SUSAN ANN
308 SUMMERHILL DR
ROCKWALL, TX 75032

RESIDENT
309 WINTER PARK
ROCKWALL, TX 75032

FALLS DAVID & TERRI
309 ROOKERY CT
MARCO ISLAND, FL 34145

SHEPHERD TIMOTHY ANDREW
309 SUMMERHILL DRIVE
ROCKWALL, TX 75032

RESIDENT
310 CRESTHAVEN DR
ROCKWALL, TX 75032

RESIDENT
310 WINTER PARK
ROCKWALL, TX 75032

RANANGI DHANUNJAYA
310 RIDGEWOOD DR
LEWISVILLE, TX 75067

HICKSON SAM AND BROOKE ANN
310 WESTWOOD DRIVE
ROCKWALL, TX 75032

RMC DUNHILL LLC
3100 MONTICELLO AVE STE 300
DALLAS, TX 75205

SIERRA FILEMON MARTINEZ
3111 HILLCREST DR
SAN ANTONIO, TX 78201

RESIDENT
312 BASS RD
ROCKWALL, TX 75032

RESIDENT
313 SUMMERHILL DR
ROCKWALL, TX 75032

MORTON JONNA
313 ROCKBROOK
ROCKWALL, TX 75087

SUTTON ZACKARY R AND MATALYN K
313 WESTWOOD
ROCKWALL, TX 75032

MILLS JASON E & SARAH C
313 WINTER PARK
ROCKWALL, TX 75032

RESIDENT
314 SUMMERHILL DR
ROCKWALL, TX 75032

RESIDENT
314 WESTWOOD DR
ROCKWALL, TX 75032

RESIDENT
314 WINTER PARK
ROCKWALL, TX 75032

RESIDENT
3140 HORIZON RD
ROCKWALL, TX 75032

OLIVAS ROSA LINA MEZA
315 BASS
ROCKWALL, TX 75032

JETT SHARON
315 CRESTHAVEN DR
ROCKWALL, TX 75032

GAMEZ EUSTOLIO & MARIA ELENA
315 TUBBS RD
ROCKWALL, TX 75032

RESIDENT
3150 HORIZON RD
ROCKWALL, TX 75032

LEVINE ERIC HARRIS & MARIO MONZON
CUELLAR
3155 BOURBON STREET CIRCLE
ROCKWALL, TX 75032

RESIDENT
316 CRESTHAVEN DR
ROCKWALL, TX 75032

RESIDENT
316 PERCH RD
ROCKWALL, TX 75032

RESIDENT
3164 HORIZON RD
ROCKWALL, TX 75032

MARTINEZ JAVIER TOSCANO
317 WESTWOOD DR
ROCKWALL, TX 75032

BELL CAROLYN
317 WINTER PARK
ROCKWALL, TX 75032

RESIDENT
318 BASS RD
ROCKWALL, TX 75032

KEATING STEVEN LOUIS
318 WESTWOOD DRIVE
ROCKWALL, TX 75032

MCKENZIE JESSICA
318 WINTER PARK
ROCKWALL, TX 75032

OLIVER GRISELDA SPECIAL NEEDS TRUST
THOMAS RICHARD OLIVER TRUSTEE
32 SPICER RD
WESTPORT, CT 6880

BRISCOE GREGORY AND TIFFANY
320 CRESTHAVEN DR
ROCKWALL, TX 75032

ROWLAND CHRISTOPHER CARROLL
3205 MARKET CENTER DR
ROCKWALL, TX 75032

PEREZ JENIEVA
3209 MARKET CENTER DR
ROCKWALL, TX 75032

LEEPER JOEY L & DEBORAH A
321 WESTWOOD DR
ROCKWALL, TX 75032

SWAGERTY TOMMY & DEBORAH K HARGROVE
321 WINTER PARK
ROCKWALL, TX 75032

GARCIA FATIMA YANETH BANUELOS
322 WESTWOOD DRIVE
ROCKWALL, TX 75032

CLINE ZACHARY & KAYLA CHAIKIN
322 WINTER PARK
ROCKWALL, TX 75032

RESIDENT
324 CRESTHAVEN DR
ROCKWALL, TX 75032

CORDERO ALEJANDRA LUCIA & HENRY YOVANI
325 SUMMERHILL DRIVE
ROCKWALL, TX 75032

AGRIESTI MICHAEL
325 WESTWOOD DR
ROCKWALL, TX 75032

ESTRADA GUSTAVO
326 PERCH RD
ROCKWALL, TX 75032

SLAUGHTER COREY
326 WESTWOOD DRIVE
ROCKWALL, TX 75032

CHAFFIN LEASING LLC
327 PARTRIDGE DR
ROCKWALL, TX 75032

CCC HOME RENTALS LLC
327 TUBBS RD
ROCKWALL, TX 75032

GONZALEZ MARIA D
327 TUBBS ROAD
ROCKWALL, TX 75032

CORTEZ MANUEL
328 BASS RD
ROCKWALL, TX 75032

MELVIN ENERGY, LLC
328 CRESTHAVEN DR
ROCKWALL, TX 75032

RESIDENT
329 BASS RD
ROCKWALL, TX 75032

GARLAND REALTY LLC
3302 WHITELEY RD.
WYLIE, TX 75098

KIYA ENTERPRISES INC OF ROCKWALL
3312 HAYLEY COURT
RICHARDSON, TX 75082

RESIDENT
332 CRESTHAVEN DR
ROCKWALL, TX 75032

SOUTHTRUST BANK
C/O WELLS FARGO
333 MARKET ST 10TH FLOOR 10TH
FLMACA0109-101
SAN FRANCISCO, CA 94105

SHEWA TRUCKING LLC
336 CRESTHAVEN DRIVE
ROCKWALL, TX 75032

STATON TANYA MICHELLE
337 TUBBS RD
ROCKWALL, TX 75032

RUBIO LORENA L & ALEJANDRO
3371 STATE HIGHWAY 276
ROCKWALL, TX 75032

JIMENEZ AGUSTIN &
GUMERCINDA LIMON
340 BASS RD
ROCKWALL, TX 75032

KEITH BENJAMIN C JR AND SHERYL A
3403 WATERVIEW TRAIL
ROCKWALL, TX 75087

CHANTACA EMILIANO & MARIA
341 BASS RD
ROCKWALL, TX 75032

MAZE SAMUEL TERRELL AND
AISHA DANNYALE FRANKLLIN
3431 ARTESIA BLVD #22
TORRANCE, CA 90504

SILVA BERTHA
346 PERCH RD
ROCKWALL, TX 75032

GAMEZ STEPHANIE GAMEZ &
LESLEY JANET GAMEZ & MELANIE GUADALUPE
GAMEZ
348 PERCH RD
ROCKWALL, TX 75032

RESIDENT
349 BASS RD
ROCKWALL, TX 75032

SHV HOMES 3, LLC
3495 PIEDMONT ROAD NE BUILDING 11, SUITE
300
ATLANTA, GA 30305

RESIDENT
350 BASS RD
ROCKWALL, TX 75032

RESIDENT
3520 HORIZON
ROCKWALL, TX 75032

RESIDENT
356 PERCH RD
ROCKWALL, TX 75032

GARCIA ULISES &
TERESA RAMIREZ
357 HARRIS RD
HAYWARD, CA 94544

DRIBBEN FAMILY TRUST
RONALD MARTIN DRIBBEN AND DOLLY MARNA
DRIBBEN- COTRUSTEES
357 MARIAH BAY DR
HEATH, TX 75032

MASK GRIFFIN MELVIN JR
357 TUBBS RD
ROCKWALL, TX 75032

JIMENEZ NESTOR AND SAMIRA LORENA ROSAS
359 BASS RD
ROCKWALL, TX 75032

PARKER SLURPEE 2 LLC
3600 POTOMAC AVENUE
HIGHLAND PARK, TX 75205

RESIDENT
3615 FM3097
ROCKWALL, TX 75032

VELASCO GERARDO GRANADOS AND ADRIANA
ZAPATERO PUERTO
362 BASS RD
ROCKWALL, TX 75032

RESICAP TEXAS OWNER LLC
3630 PEACHTREE ROAD NE STE 1500
ATLANTA, GA 30326

RESICAP TEXAS OWNER LLC
3630 PEACHTREE ROAD NE STE 1500
ATLANTA, GA 30326

RESIDENT
367 TUBBS RD
ROCKWALL, TX 75032

MAHONEY PATRICK & DAWN
3685 SYCAMORE LN
ROCKWALL, TX 75032

RESIDENT
3690 SYCAMORE LN
ROCKWALL, TX 75032

RESIDENT
3693 SYCAMORE LN
ROCKWALL, TX 75032

MALY ALENA TRUSTEE
ALENA MALY REVOCABLE TRUST UAD 11/19/09
3699 SYCAMORE LN
ROCKWALL, TX 75032

MALDONADO CARLOS & MARIA E
370 BASS RD
ROCKWALL, TX 75032

WOOD MARY ELIZABETH
3700 SYCAMORE LANE
ROCKWALL, TX 75032

RESIDENT
3703 SYCAMORE LN
ROCKWALL, TX 75032

MAYFIELD DANIEL
3704 SYCAMORE LN
ROCKWALL, TX 75032

RESIDENT
3707 SYCAMORE LN
ROCKWALL, TX 75032

MILEY VICKI
3708 SYCAMORE LN
ROCKWALL, TN 75032

NEVILLE BARBARA AND JEFFREY RAMOS
3712 SYCAMORE LN
ROCKWALL, TX 75032

FORTYGIN DAVID & ANNA NAKUL
3715 SYCAMORE LN
ROCKWALL, TX 75032

WILLIAMS SHEREE
3716 SYCAMORE LANE
ROCKWALL, TX 75032

ABICHE EPHREM AND
SELAM DEMSEW
3719 SYCAMORE LANE
ROCKWALL, TX 75032

AGUILLON PABLO & JULIA
372 PERCH RD
ROCKWALL, TX 75032

RESIDENT
3720 SYCAMORE LN
ROCKWALL, TX 75032

DODSON AMANDA & BRANDON
3721 SYCAMORE LANE
ROCKWALL, TX 75032

RESIDENT
3724 SYCAMORE LN
ROCKWALL, TX 75032

LIBERIS CRYSTAL A
3725 SYCAMORE LN
ROCKWALL, TX 75032

RESIDENT
3728 SYCAMORE LN
ROCKWALL, TX 75032

RESIDENT
3729 SYCAMORE LN
ROCKWALL, TX 75032

ATKINS CATHERINE COOKE
3732 SYCAMORE LANE
ROCKWALL, TX 75032

SCHOBY DARLENE D
3733 SYCAMORE LN
ROCKWALL, TX 75032

RESIDENT
377 TUBBS RD
ROCKWALL, TX 75032

RESIDENT
3775 FM3097
ROCKWALL, TX 75032

RESIDENT
378 BASS RD
ROCKWALL, TX 75032

ALVARADO MARGARITA S
379 BASS RD
ROCKWALL, TX 75032

RESIDENT
3801 SYCAMORE LN
ROCKWALL, TX 75032

SHANER MICHAEL
3801 SYCAMORE LN
ROCKWALL, TX 75032

RESIDENT
3804 SYCAMORE LN
ROCKWALL, TX 75032

RESIDENT
3805 SYCAMORE LN
ROCKWALL, TX 75032

RESIDENT
3809 SYCAMORE LN
ROCKWALL, TX 75032

SMET KEITH & LISA
3810 SYCAMORE LANE
ROCKWALL, TX 75032

GRIGGS JONAS AND JENA FER
3813 SYCAMORE DRIVE
ROCKWALL, TX 75032

CSH PROPERTY ONE LLC
3816 SYCAMORE LN
ROCKWALL, TX 75032

ONEILL MARK P & CATHRYN ANNE
3817 SYCAMORE LANE
ROCKWALL, TX 75032

CARRANZA ALEJANDRO & MARIA
382 PERCH RD
ROCKWALL, TX 75032

MANZIEL DOROTHY JAYNE
3821 SYCAMORE LN
ROCKWALL, TX 75032

RESIDENT
3825 SYCAMORE LN
ROCKWALL, TX 75032

RESIDENT
3826 SYCAMORE LN
ROCKWALL, TX 75032

NAHAR DENISE AND
WILFREDO GARCIA-DEJESUS
3829 SYCAMORE LN
ROCKWALL, TX 75032

ARAIZA JOSE ENRIQUE
3830 SYCAMORE LN
ROCKWALL, TX 75032

NASSIFF JOHN DANIEL
3833 SYCAMORE LN
ROCKWALL, TX 75032

CITY OF ROCKWALL
385 S GOLIAD ST
ROCKWALL, TX 75087

RESIDENT
387 BASS RD
ROCKWALL, TX 75032

RESIDENT
388 BASS RD
ROCKWALL, TX 75032

RESIDENT
393 TUBBS RD
ROCKWALL, TX 75032

LE THUY
394 PERCH RD
ROCKWALL, TX 75032

GUTIERREZ JAVIER
396 BASS RD
ROCKWALL, TX 75032

353 DLD LLC
404 SEIS LAGOS TRL
LUCAS, TX 75098

RESIDENT
405 TUBBS
ROCKWALL, TX 75032

RESIDENT
406 BASS RD
ROCKWALL, TX 75032

OPENDOOR PROPERTY TRUST I
410 N SCOTTSDALE RD STE 1600
TEMPE, AZ 85281

2019 HOUSES MASTER LLC
4117 BOCA BAY DR
DALLAS, TX 75244

RAVJI AAMER
412 RIDGE POINT DRIVE
HEATH, TX 75032

ALVISO HERADIO V
416 BASS ROAD
ROCKWALL, TX 75032

RESIDENT
418 PERCH RD
ROCKWALL, TX 75032

CAMACHO ALBERTO CAMACHO & JOSEFINA
CARMONA DE CAMACHO
419 TUBBS RD
ROCKWALL, TX 75032

TRANSITO AND MARTHA CASTELLANOS LIVING
TRUST
TRANSITO A CASTELLANOS AND MARHA L
CASTELLANOS- TRUSTEES
425 BASS RD
ROCKWALL, TX 75032

RESIDENT
426 BASS RD
ROCKWALL, TX 75032

ZAPIEN LEONARDO &
ANA MARIA DOMINGUEZ
427 TUBBS RD
ROCKWALL, TX 75032

URESTI ADOLFO BLAS & CLAUDIA M
4329 FAIRVIEW AVE
DOWNERS GROVE, IL 60515

MORALES JOSE L
434 BASS RD
ROCKWALL, TX 75032

HEAVENLY HOMES INC
JUAN ANJEL DELEON
434 E LINDA LN
ROYSE CITY, TX 75189

RESIDENT
436 PERCH RD
ROCKWALL, TX 75032

JIMENEZ HERNAN ESTEBAN
437 BASS RD
ROCKWALL, TX 75032

RESIDENT
439 TUBBS RD
ROCKWALL, TX 75032

RANGEL JUAN
4427 FM 550
ROYSE CITY, TX 75187

LAKESIDE SURGERY LAND HOLDINGS LLC
4450 TUBBS RD
ROCKWALL, TX 75032

OCHOA GABRIEL AND
RAFAEL DESANTIAGO PIEDRA
446 PERCH ROAD
ROCKWALL, TX 75032

RESIDENT
449 TUBBS RD
ROCKWALL, TX 75032

CRAWFORD FRANK STEVENSON
45 TOWNHOUSE LN
CORPUS CHRISTI, TX 78412

CLARK SEAN D & KATHERINE R
450 BASS RD
ROCKWALL, TX 75032

RESIDENT
451 BASS RD
ROCKWALL, TX 75032

TRUONG LONG PHUC
4512 BLUE MESA LN
MESQUITE, TX 75150

LOZA FABIOLA ESTRADA
4518 CARMEL LN
ROWLETT, TX 75088

RESIDENT
453 BASS RD
ROCKWALL, TX 75032

MARQUEZ ANA MARIA MERCEDES GRANADOS
458 PERCH ROAD
ROCKWALL, TX 75032

RESIDENT
459 TUBBS
ROCKWALL, TX 75032

CHAN RYAN Y
4614 KOCUREK STREET
AUSTIN, TX 78723

LUNA JOSE ALFREDO LOPEZ
463 BASS RD
ROCKWALL, TX 75032

RESIDENT
464 BASS RD
ROCKWALL, TX 75032

RESIDENT
464 PERCH RD
ROCKWALL, TX 75032

RESIDENT
469 TUBBS RD
ROCKWALL, TX 75032

BICKLEY AMANDA
4702 STEEPLE CHASE LN
ROCKWALL, TX 75032

CHEN QINGSHENG & YAN FENG
4715 147TH PL SE
BELLEVUE, WA 98006

RESIDENT
472 PERCH RD
ROCKWALL, TX 75032

RESIDENT
473 BASS RD
ROCKWALL, TX 75032

GAMEZ CHRISTOPHER
474 BASS RD
ROCKWALL, TX 75032

MORENO NOE & ORALIA
474 BASS RD
ROCKWALL, TX 75032

CONTRERAS DAVID & ELIZABETH
474 PERCH RD
ROCKWALL, TX 75032

NEVAREZ LUIS & ALMA
476 PERCH
ROCKWALL, TX 75032

RESIDENT
478 PERCH RD
ROCKWALL, TX 75032

NOBLE JAMES & LINDA
479 TUBBS RD
ROCKWALL, TX 75032

RESIDENT
480 PERCH RD
ROCKWALL, TX 75032

RESIDENT
481 BASS RD
ROCKWALL, TX 75032

PALOMO JULIA DEL CARMEN
482 PERCH ROAD
ROCKWALL, TX 75032

HERNANDEZ RAY R & ROSA V
484 PERCH RD
ROCKWALL, TX 75032

TORRES FROYLAN H & BRISEIDA
486 PERCH RD
ROCKWALL, TX 75032

RESIDENT
489 TUBBS RD
ROCKWALL, TX 75032

RESIDENT
492 BASS
ROCKWALL, TX 75032

LIMON EVARISTO AND ROSALBA RENOVA
493 BASS RD
ROCKWALL, TX 75032

RENOVA ROSALBA
493 BASS RD
ROCKWALL, TX 75032

LIMON EVARISTO AND ROSALBA RENOVA
493 BASS RD
ROCKWALL, TX 75032

JACKSON LINDA
497 TUBBS RD
ROCKWALL, TX 75032

BAF 3 LLC
5001 PLAZA ON THE LAKE SUITE 200
AUSTIN, TX 78746

BAF ASSETS 6 LLC
5001 PLAZA ON THE LK STE 200
AUSTIN, TX 78746

SRAM PACK 1-D LLC
5001 PLAZA ON THE LK STE 200
AUSTIN, TX 78746

ARMM ASSET COMPANY 2 LLC
5001 PLAZA ON THE LK STE 200
AUSTIN, TX 78746

BAF ASSETS 5 LLC
5001 PLAZA ON THE LK STE 200
AUSTIN, TX 78746

PENA-RUIZ MARISELA
502 BASS RD
ROCKWALL, TX 75032

KOLESNIK LLC
502 COVEY TRL
ROCKWALL, TX 75087

ALMARAZ MARIA M
505 BASS RD
ROCKWALL, TX 75032

ALSOBROOK HAROLD DAVID JR
505 CARRIAGE TR
ROCKWALL, TX 75087

ALSOBROOK HAROLD DAVID JR
505 CARRIAGE TRAIL
ROCKWALL, TX 75087

SAITO CHIEMI
5050 QUORUM DRIVE SUITE 225
DALLAS, TX 75254

KURODA AKIRA
5050 QUORUM DRIVE #120
DALLAS, TX 75254

BECKHAM JAY
509 TUBBS RD
ROCKWALL, TX 75032

PENA JERONIMO & JUANA
510 BASS RD
ROCKWALL, TX 75032

BUCHANAN DANIEL K AND MINDY M
510 CHAPS DR
HEATH, TX 75032

LACY'S INVESTMENTS ENTERPRISES LLC
510 HIGHWATER CROSSING
ROCKWALL, TX 75032

LACY INVESTMENT ENTERPRISE LLC
510 HIGHWATER CROSSING
ROCKWALL, TX 75032

LORENZ MICHAEL P AND SABINA
513 BASS RD
ROCKWALL, TX 75032

PETERS DAVID
518 SESAME DR
MESQUITE, TX 75149

LIGHT JEFFREY A AND LEIGH ANN
519 I 30 #140
ROCKWALL, TX 75032

LIGHT JEFF
519 INTERSTATE 30 #140
ROCKWALL, TX 75032

CARRIZALEZ JOSE NINO
FLORENCIO CARRIZALEZ
520 PERCH RD
ROCKWALL, TX 75032

VELEZ YVETTE
521 ROCKWALL PKWY
ROCKWALL, TX 75032

SILVA JORGE & ELIZABETH
521 TUBBS RD
ROCKWALL, TX 75087

SINGH DAWNA & ABRAHAM RAMDULAR
523 ROCKWALL PKWY
ROCKWALL, TX 75032

RESIDENT
526 BASS RD
ROCKWALL, TX 75032

RESIDENT
529 BASS RD
ROCKWALL, TX 75032

LLOYD MUSSAH AND
ALFRED E WOLO
533 TUBBS RD
ROCKWALL, TX 75032

RICO GERARDO AND LUZ
534 BASS RD
ROCKWALL, TX 75032

RUBIO MARCELINO M &
RITA ESQUEDA ZUNIGA
535 TUBBS RD
ROCKWALL, TX 75032

TYBONE PROPERTIES LLC
536 LOMA VISTA
HEATH, TX 75032

JACKSON SHEILA LASHUN
542 BASS RD
ROCKWALL, TX 75032

VELAZQUEZ JORGE & JUANA
543 BASS ROAD
ROCKWALL, TX 75032

BT ORIOLE ONE LLC
5430 LYNDON B JOHNSON FWY STE 1050

RESIDENT
545 TUBBS RD
ROCKWALL, TX 75032

RESIDENT
551 BASS RD
ROCKWALL, TX 75032

PATRICIA HAMMOND FAMILY TRUST
PATRICIA ANN HAMMOND TRUSTEE
551 HERITAGE CT
CANTON, TX 75103

HASTINGS CLAIMS SERVICE INC
5532 HUFFINES BLVD
ROYSE CITY, TX 75189

DRAKE BUSINESS PROPERTIES LTD
554 W RALPH HALL PARKWAY
ROCKWALL, TX 75032

HARRIS RICKY LYNN
555 CR 3511
SULPHUR SPRINGS, TX 75482

PRIETO GUSTAVO & ISABEL DEL ROSARIO
555 TUBBS RD
ROCKWALL, TX 75032

PIXLEY ANDREA JEAN
5560 CANADA CT
ROCKWALL, TX 75032

ESTRADA GLORIA
559 MCKINNEY TRL
FATE, TX 75087

RESIDENT
560 PERCH RD
ROCKWALL, TX 75032

GAMEZ ADELAIDO & VICENTA
560 BASS RD
ROCKWALL, TX 75032

M & M ROCKWALL PROPERTIES LLC
5601 RANGER DR
ROCKWALL, TX 75032

MACHUCA VIDAL
561 BASS RD
ROCKWALL, TX 75032

MACHUCA VIDAL
561 BASS RD
ROCKWALL, TX 75032

BELL JOSEPH ANDREW
5623 WINTON ST
DALLAS, TX 75206

RESIDENT
567 TUBBS RD
ROCKWALL, TX 75032

RESIDENT
570 PERCH RD
ROCKWALL, TX 75032

MORENO YOLANDA & FRANCISCO
571 BASS RD
ROCKWALL, TX 75032

PHAM HIEN T AND NGOC DUNG T NGUYEN
572 ENGLAND STREET
FATE, TX 75189

REDING RHEAUNA
574 BASS RD
ROCKWALL, TX 75032

RESIDENT
577 TUBBS RD
ROCKWALL, TX 75032

IIF SFR LP
58 S RIVER DR STE 150
TEMPE, AZ 85288

OQUENDO FRANCISCO J
580 PERCH RD
ROCKWALL, TX 75032

ASHLEY MARGARET PATRICIA
5808 YACHT CLUB DR
ROCKWALL, TX 75032

BAEK JOON AND KYUNGHEE K
5814 E CAMINO PINZON
ANAHEIM, CA 92807

RODRIGUEZ-RANGEL CESAR
582 BASS RD
ROCKWALL, TX 75032

RODRIGUEZ-RANGEL CESAR
582 BASS RD
ROCKWALL, TX 75032

PEREZ MARIA ELEAZAR
582 BASS ROAD
ROCKWALL, TX 75032

RESIDENT
587 TUBBS RD
ROCKWALL, TX 75032

LOERA SERGIO AUTURO & MARIA
588 PERCH RD
ROCKWALL, TX 75032

LOERA SERGIO A
588 PERCH RD
ROCKWALL, TX 75032

LOERA SERGIO A
588 PERCH RD
ROCKWALL, TX 75032

WATERS DAVID R
5900 BALCONES DR STE 100
AUSTIN, TX 78731

WATERS DAVID
5900 BALCONES DRIVE SUITE 100
AUSTIN, TX 78731

IHEW HOMES LLC
5900 BALCONES DRIVE SUITE 100
AUSTIN, TX 78731

SPT IVEY ROCKWALL MOB II LLC
C/O STARWOOD PROPERTY TRUST INC
591 WEST PUTNAM AVENUE
GREENWICH, CT 6830

RESIDENT
592 PERCH RD
ROCKWALL, TX 75032

KELECIJA MIRSAJ AND
OMER KELECIJA
593 BASS RD
ROCKWALL, TX 75032

RESIDENT
594 BASS RD
ROCKWALL, TX 75032

MARTINEZ CAMILO & MARIA &
ISAU MARTINEZ
597 TUBBS RD
ROCKWALL, TX 75032

ALLEN DON AND GINA R
600 LOMA VISTA
HEATH, TX 75032

LOZANO IGNACIO
601 BASS RD
ROCKWALL, TX 75032

LOZANO IGNACIO & GUADALUPE
601 BASS ROAD
ROCKWALL, TX 75032

RESIDENT
602 BASS RD
ROCKWALL, TX 75032

MIZELL GREGORY
605 COUNTRY CLUB DR
ROCKWALL, TX 75032

RESIDENT
607 TUBBS RD
ROCKWALL, TX 75032

LIU YONGBO
609 BELHAVEN DR
ALLEN, TX 75013

LIU YONGBO
609 BELHAVEN DR
ALLEN, TX 75013

CHEN XIANSONG
609 BELHAVEN DRIVE
ALLEN, TX 75013

CHEN XIANSONG
609 BELLHAVEN DR
ALLEN, TX 75013

ROCKWALL REGIONAL HOSPITAL LLP
612 E LAMAR BLVD STE 100
ARLINGTON, TX 76011

ROCKWALL REGIONAL HOSPITAL LLP
612 E LAMAR BLVD STE 100
ARLINGTON, TX 76011

BAILEY BLAKE C & LAINE E
613 DOVE HILL CIRCLE
HEATH, TX 75032

BAILEY BLAKE AND LAINE
613 DOVE HILL CIRCLE
HEATH, TX 75032

RESIDENT
615 TUBBS RD
ROCKWALL, TX 75032

MOORE ROSEMARY
622 BASS RD
ROCKWALL, TX 75032

RESIDENT
625 TUBBS RD
ROCKWALL, TX 75032

GJD REAL ESTATE LLC- 121 RUTHERFORD SERIES
637 FOREST BEND DRIVE
PLANO, TX 75025

GONZALES JORGE S & ANA RESENDIZ
639 TUBBS RD
ROCKWALL, TX 75032

AKP REALTY-DALROCK LLC
6411 ORCHID LN
DALLAS, TX 75230

BORJAS MARIO & MARIA
647 TUBBS RD
ROCKWALL, TX 75032

LEAL ROLAND RYAN AND ERIN TAYLOR
654 SHARPLEY
FATE, TX 75087

RESIDENT
655 TUBBS RD
ROCKWALL, TX 75032

NABIH PETER & MARIAM FAHIM YACOB
FARAHAT
6606 MAPLESHADE LN APT 15A
DALLAS, TX 75252

GUEVARA LEONARDO & PATRICIA
663 TUBBS ROW
ROCKWALL, TX 75032

HLP SOUTHLAKE LLC
6704 NORTHWOOD ROAD
DALLAS, TX 75225

RESIDENT
671 TUBBS RD
ROCKWALL, TX 75032

VAN BIBBER LILIANA
677 TUBBS RD
ROCKWALL, TX 75032

SRIKUL LLC
6801 WILD RIDGE CT
PLANO, TX 75024

RESIDENT
683 TUBBS
ROCKWALL, TX 75032

MNSF T2 SPE LLC
6836 MORRISON BLVD, SUITE 320
CHARLOTTE, NC 28211

RESIDENT
689 TUBBS RD
ROCKWALL, TX 75032

LIMA INVESTMENTS LLC
6924 FOREST COVE CR
DALLAS, TX 75230

LAKE POINTE BAPTIST CHURCH
701 E INTERSTATE 30
ROCKWALL, TX 75087

LAKE POINTE BAPTIST CHURCH
701 E INTERSTATE 30
ROCKWALL, TX 75087

LAKE POINTE BAPTIST CHURCH
701 E INTERSTATE 30
ROCKWALL, TX 75087

KENDRICK MICHAEL AND MICHELLE
7157 HAVENWOOD DR
CASTLE PINES, CO 80108

RS XII DALLAS OWNER 1 LP
717 N HARWOOD STREET SUITE 2800
DALLAS, TX 75201

LONAC SLAVICA
7302 SHAWN DR
ROWLETT, TX 75088

LOPEZ IRMA SOLARES
741 E FM 550
ROCKWALL, TX 75032

RESIDENT
750 RALPH HALL PKWY
ROCKWALL, TX 75032

PCLO LLC
750 NORTH SAINT PAUL STREET SUITE 250
PMB 84053, TX 75201

RESIDENT
751 HAIL DR
ROCKWALL, TX 75032

KROGER TEXAS LP
751 FREEPORT PKWY
COPPELL, TX 75019

RESIDENT
754 HAIL DR
ROCKWALL, TX 75032

RESIDENT
755 HAIL DR
ROCKWALL, TX 75032

RESIDENT
758 HAIL DR
ROCKWALL, TX 75032

RESIDENT
759 HAIL DR
ROCKWALL, TX 75032

RESIDENT
760 RALPH HALL
ROCKWALL, TX 75032

RESIDENT
762 HAIL DR
ROCKWALL, TX 75032

RESIDENT
763 HAIL DR
ROCKWALL, TX 75032

RESIDENT
766 HAIL DR
ROCKWALL, TX 75032

RESIDENT
767 HAIL DR
ROCKWALL, TX 75032

RESIDENT
770 HAIL DR
ROCKWALL, TX 75032

MARICH GARY C
7822 STONEHAVEN LN
ROWLETT, TX 75089

ALSAMMAK PROPERTIES LLC- SERIES 3
7857 CR 542
NEVADA, TX 75173

ROCKWALL HOUSING DEVELOPMENT
ATTN: TONY RIOS
787 HAIL DR
ROCKWALL, TX 75032

NGUYEN TAMMY AND
CUONG CHUNG
7910 SARAHVILLE DR
DALLAS, TX 75252

DIANOOSH SALEHI TRUST
DIANOOSH SALEHI - TRUSTEE
8 CRYSTAL GLEN
ALISO VIEJO, CA 92656

VANDERLICK TIMOTHY L
8 WIMBLEDON CT
HEATH, TX 75032

MORGENSTERN KEN & ROWENA
8006 WILMINGTON DR
ROWLETT, TX 75089

ARMSTRONG JOHN D
804 EAGLE PASS
HEATH, TX 75032

GARY DENNIS & DIANNE
809 COUNTY CLUB DRIVE
HEATH, TX 75032

HOLLY FISHER BRITT INVESTMENTS LLC
810 ROCKWALL PKWY SUITE 2020
ROCKWALL, TX 75032

SN DFW LLC
8390 E VIA DE VENTURA F-110 #303
SCOTTSDALE, AZ 85258

USCMF SN TEXAS A LLC
8390 E VIA DE VENTURA F-110 #303
SCOTTSDALE, AZ 85258

REZAEIZADEH MASOUD & ZAHRA MEHDIZADEH
8409 NAVIGATION DR
ROWLETT, TX 75088

RESIDENT
851 STEGER TOWNE DR
ROCKWALL, TX 75032

WANG YUN
8620 MILL CREEK
IRVING, TX 75063

BEST JAMES
870 W INTERSTATE 30 SUITE 100
GARLAND, TX 75043

ALBANNA NADIA
890 ETHEL MARIE DR
FAIRVIEW, TX 75069

HUTCHINS MATTHEW AND JULIE
9 LANTERN DRIVE
HEATH, TX 75032

SOLID ROCK HOLDINGS LLC
904 CAMPTON CT
ROCKWALL, TX 75032

NELSON SANDRA
908 BRIDLE PATH CT
HEATH, TX 75032

JOSEPH SABU & ANITAH
909 CEDAR SHORES DR
HEATH, TX 75032

CCAA INVESTMENT I, LP
909 W BELT LINE RD
CEDAR HILL, TX 75104

RESIDENT
930 W RALPH HALL PKWY
ROCKWALL, TX 75032

RESIDENT
935 W RALPH HALL
ROCKWALL, TX 75032

RESIDENT
935 W RALPH HALL
ROCKWALL, TX 75032

RESIDENT
941 STEGER TOWNE DR
ROCKWALL, TX 75032

ALLECO LLC
941 W RALPH HALL PARKWAY SUITE 101
ROCKWALL, TX 75032

REYES GALIA OLAZABAL & FRANK ALVAREZ
MOYA
945 LAKESIDE DRIVE
ROCKWALL, TX 75032

RESIDENT
947 W RALPH HALL
ROCKWALL, TX 75032

RH REALTY HOLDINGS LLC
947 W RALPH HALL PKWY SUITE 103
ROCKWALL, TX 75032

RESIDENT
955 W RALPH HALL
ROCKWALL, TX 75032

RESIDENT
957 LAKESIDE DR
ROCKWALL, TX 75032

M&K REAL ESTATE DEV LLC
959 W RALPH HALL PKWY STE 101
ROCKWALL, TX 75032

SCRITCHFIELD RICHARD AND JANE
9605 WATERVIEW PKWY
ROWLETT, TX 75089

965 RHP 103 LLC
ATTN: GARON R HORTON
965 W RALPH HALL PKWY SUITE 103
ROCKWALL, TX 75032

H4HIM LEGACY LLC-SUITE 105 SERIES
965 W RALPH HALL PKWY
ROCKWALL, TX 75032

AGUILLON JOSE L & ARTEMISA
9676 COUNTY RD 2444
ROYSE CITY, TX 75189

RESIDENT
969 LAKESIDE DR
ROCKWALL, TX 75032

HUDSON SFR PROPERTY HOLDINGS II LLC
C/O HUDSON HOME MANAGEMENT LLC
ATTN: HEATHER HAWKINS 2711 N HASKELL,
SUITE 2100
DALLAS, TX 75204

TENET EQUITY FUNDING SPE I, LLC
ATTN: MIKE ZIEG 7332 E BUTHERUS DRIVE,
SUITE 100
SCOTTSDALE, AZ 85260

AMERICAN RESIDENTIAL LEASING COMPANY LLC
ATTN: PROPERTY TAX DEPARTMENT 23975
PARK SORRENTO, SUITE 300
CALABASAS, CA 91302

750 HALL PARKWAY LLC
NTW LLC
C/O MARVIN F POER & COMPANY PO BOX
52427
ATLANTA, GA 30355

ARMSTRONG RALPH HALL LP
C/O ARMSTRONG DEVELOPMENT PROPERTIES
INC
ONE ARMSTRONG PLACE
BUTLER, PA 16004

HIGGINS DELANNE M
P O BOX 1784
ROCKWALL, TX 75087

PAIGE RYAN PROPERTIES LLC
P. O. BOX 853
WYLIE, TX 75098

SEVEN POINTS BORROWER, LLC
P.O. BOX 4090
SCOTTSDALE, AZ 85261

PROGRESS RESIDENTIAL BORROWER 11 LLC
P.O. BOX 4090
SCOTTSDALE, TX 85261

CARRIE JEFF R
P.O. BOX 714
FATE, TX 75132

CHANCE MATTHEW S & AMANDA
PO BOX 1179
ROCKWALL, TX 75087

CARRIZALES ERI & LENNY
PO BOX 1244
ROCKWALL, TX 75087

LEJ PARTNERS LTD
PO BOX 1499
PROSPER, TX 75078

RDMS PROPERTIES LLC- SERIES I (RS)
A SERIES OF RDMS PROPERTIES
PO BOX 1569
ROCKWALL, TX 75087

RSB TOKEN INVESTMENTS LLC
PO BOX 1664
ROCKWALL, TX 75087

BURKS LINDA S
PO BOX 1955
ROCKWALL, TX 75087

OGAN LOCKLIN & SHEILA
PO BOX 2304
ROCKWALL, TX 75087

S AND S FAITH FUND LLC
PO BOX 2931
GRAPEVINE, TX 76099

BURNABY TEXAS PROPERTIES LLC
PO BOX 308
WINTHROP, WA 98862

PROGRESS RESIDENTIAL BORROWER 6 LLC
PO BOX 4090
SCOTTSDALE, AZ 85261

RESIDENTIAL HOME OWNER-E 1 LLC
PO BOX 4090
SCOTTSDALE, AZ 85261

YAMASA CO LTD., A JAPANESE CORPORATION
PO BOX 4090
SCOTTSDALE, AZ 85261

OLYMPUS BORROWER LLC
PO BOX 4090
SCOTTSDALE, AZ 85261

TRUE NORTH BORROWER TEXAS LLC
PO BOX 4090
SCOTTSDALE, AZ 85261

YANDELL TRUE & DAVID
PO BOX 477
ROCKWALL, TX 75087

KENDALL MARCIA & JOHN
PO BOX 497882
GARLAND, TX 75049

HOUZZ ROCK, LLC
PO BOX 670
ROCKWALL, TX 75087

HENDERSON NORMA
PO BOX 705
ROCKWALL, TX 75087

RADIANCE CORNER LLC
PO BOX 786
WYLIE, TX 75098

MORLAND ANGELA DAWN
PO BOX 831
MCLEAN, TX 79057

HAMILTON DIRECT LLC
PO BOX 849
ROCKWALL, TX 75087

TRAN DAVID T
PO BOX 894578
MILILANI, HI 76789

PUBLIC NOTICE



CITY OF ROCKWALL
PLANNING AND ZONING DEPARTMENT
PHONE: (972) 771-7745
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

Z2024-032: Zoning Change Amending Planned Development District 13 (PD-13)

Hold a public hearing to discuss and consider a request by the City of Rockwall for the approval of a Zoning Change amending Planned Development District 13 (PD-13) [Ordinance No.'s 81-05, 84-43, & 94-41] for the purpose of consolidating the regulating ordinances for a 149.97-acre tract of land situated within the James Smith Survey, Abstract No. 200, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 13 (PD-13) for Single-Family 7 (SF-7) District and Neighborhood Services (NS) District land uses, generally located in between W. Ralph Hall Parkway, Horizon Road [FM-3097], and Tubbs Road, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on Tuesday, August 13, 2024 at 6:00 PM, and the City Council will hold a public hearing on Monday, August 19, 2024 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

Ryan Miller
Rockwall Planning and Zoning Dept.
385 S. Goliad Street
Rockwall, TX 75087

You may also email your comments to the Planning Department at planning@rockwall.com. If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Monday, August 19, 2024 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

Ryan Miller, AICP
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

--- PLEASE RETURN THE BELOW FORM -----

Case No. Z2024-032: Zoning Change Amending Planned Development District 13 (PD-13)

Please place a check mark on the appropriate line below:

- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

Name:

Address:

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE



July 22, 2024

TO: The Residents of the Windmill Ridge Estates Subdivision and the Our Savior Lutheran Church

FROM: Ryan Miller, AICP
City of Rockwall Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

SUBJECT: Case No. Z2024-032; Amendment to Planned Development District 13 (PD-13)

Property Owners and/or Residents of the Windmill Ridge Estates Subdivision and the Our Savior Lutheran Church,

The City of Rockwall has initiated an amendment to Planned Development District 13 (PD-13) for the purpose of consolidating the regulating ordinances contained within this Planned Development District. Currently, Planned Development District 13 (PD-13) -- *which regulates the Windmill Ridge Estates Subdivision and the Our Savior Lutheran Church* -- consists of over 15 pages of regulations within three (3) regulating ordinances, and over 31 development cases. The proposed amendment does not change the land uses, development requirements, or the concept plans associated with these ordinances. The proposed amendment will, however, consolidate these ordinances and development cases into a single Planned Development District ordinance. The purpose of making this change is to make the document easier to read and understand for residents and contractors looking to do work in this Subdivision, and for City staff when reviewing permits.

WHY AM I GETTING THIS NOTICE?

The Local Government Code for the State of Texas requires notices to be sent to all property owners and occupants effected by a zoning change. The City of Rockwall establishes a 500-foot notification buffer around the subject property as the notice areas. This means that you are receiving this notice because you either live within the Windmill Ridge Estates Subdivision or within 500-feet of its boundaries. The attached map is a visual representation of the subject property (*i.e. the Windmill Ridge Estates Subdivision and the Our Savior Lutheran Church*) and the 500-foot notification buffer surrounding the zoning area.

DOES THIS CHANGE MY PROPERTY'S ZONING?

NO. The proposed amendment to Planned Development District 13 (PD-13) will not change your zoning or any development requirements associated with your property or any other properties located within the Windmill Ridge Estates Subdivision or the Our Savior Lutheran Church property. It will only make it easier to find the development requirements associated with property for property owners, contractors, and city staff. Any property that is located within the 500-foot notification area -- *but is not situated within the Windmill Ridge Estates Subdivision* -- will not be affected by the proposed zoning change.

WHEN CAN I LEARN MORE ABOUT THIS AMENDMENT?

The Planning and Zoning Commission will hold a *PUBLIC HEARING* on Tuesday, August 13, 2024 at 6:00 PM, and the City Council will hold a *PUBLIC HEARING* on Tuesday, August 19, 2024 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street. Should a resident wish to attend these meetings they will be open to the public. In addition, all meetings will be available to be streamed live and via recording after the meeting through the City's website (*i.e. www.rockwall.com*). If you have specific questions about the amendment you can contact the Rockwall Planning and Zoning Department at (972) 772-6441 or email planning@rockwall.com.

Sincerely,

Ryan Miller, AICP
Director of Planning and Zoning

ORDINANCE NO. 76-12

AN ORDINANCE OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE COMPREHENSIVE ZONING ORDINANCE OF THE CITY OF ROCKWALL, AS HERETOFORE AMENDED, SO AS TO CHANGE THE ZONING ON A TRACT OF LAND FROM "A" AGRICULTURAL DISTRICT CLASSIFICATION TO "SF-4" SINGLE-FAMILY DWELLING DISTRICT CLASSIFICATION; SAID TRACT BEING MORE FULLY DESCRIBED AS FOLLOWS: BEING A TRACT OF LAND IN THE JAMES SMITH SURVEY, ABSTRACT NO. 200, ROCKWALL COUNTY, TEXAS, AND BEING IN THE SAME TRACT OF LAND CONVEYED TO FORNEY LAND DEVELOPMENT CORPORATION BY DEED AND RECORDED IN VOL. 70, PG. 461, DEED RECORDS OF ROCKWALL COUNTY, TEXAS, AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS: COMMENCING AT AN IRON ROD FOR A CORNER ON THE NORTHEAST LINE OF F.M. ROAD NO. 3097; THENCE N. $44^{\circ} 52' 59''$ E., 20.0 FEET FROM THE SOUTHEAST CORNER OF THE JAMES SMITH SURVEY, SAID POINT OF BEGINNING ALSO BEING IN THE CENTER OF A COUNTY ROAD; THENCE, N. $45^{\circ} 5' 20''$ W. WITH THE NORTHEAST LINE OF F. M. ROAD NO. 3097, 2487.0 FEET TO AN IRON ROD FOR A CORNER ON THE SOUTHEAST LINE OF A 73.9-ACRE TRACT OF LAND CONVEYED TO EMILY SUE WHITEHEAD AND O. L. STEGER, JR., BY DEED AND RECORDED IN VOL. 87, PG. 148, DEED RECORDS OF ROCKWALL COUNTY, TEXAS; THENCE, N. $44^{\circ} 54' 44''$ E. WITH A FENCE LINE AND THE SOUTHEAST LINE OF SAID 73.9-ACRE TRACT 2609.01 FEET TO AN IRON ROD FOR A CORNER ON THE SOUTHWEST LINE OF A TRACT OF LAND CONVEYED TO J. L. PEOPLES BY DEED RECORDED IN VOL. 43, PG. 136, DEED RECORDS OF ROCKWALL COUNTY, TEXAS; THENCE, S. $45^{\circ} 53' 52''$ E. WITH A FENCE LINE AND SAID SOUTHWEST LINE OF THE PEOPLES TRACT 2487.0 FEET TO AN IRON ROD IN THE CENTERLINE OF COUNTY ROAD FOR A CORNER; THENCE, S. $44^{\circ} 52' 59''$ W. WITH THE CENTER OF SAID COUNTY ROAD 2644.1 FEET TO A POINT FOR A CORNER, THE POINT OF BEGINNING CONTAINING 149.97 ACRES OF LAND, MORE OR LESS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO HUNDRED DOLLARS (\$200.00) FOR EACH OFFENSE; AND DECLARING AN EMERGENCY.

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the

City of Rockwall, have given the requisite notices by publication and otherwise, and have held a joint public hearing and afforded a full and fair hearing to all property owners generally and to all persons interested in and situated in the affected area, and in the vicinity thereof, the governing body, in the exercise of its legislative discretion, has concluded that the Comprehensive Zoning Ordinance of the City of Rockwall should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS:

SECTION 1. That the Comprehensive Zoning Ordinance of the City of Rockwall, Texas, as heretofore amended, be, and the same is hereby amended by amending the Zoning Map of the City of Rockwall so as to give the following-described property the zoning classification of "SF-4" Single-Family Dwelling District Classification:

BEING a tract of land in the James Smith Survey, Abstract No. 200, Rockwall County, Texas, and being in the same tract of land conveyed to Forney Land Development Corporation by Deed and recorded in Vol. 70, Pg. 461, Deed Records of Rockwall County, Texas, and being more particularly described as follows:

COMMENCING at an iron rod for a corner on the Northeast line of F.M. Road No. 3097, THENCE N. $44^{\circ} 52' 59''$ E., 20.0 feet from the Southeast corner of the James Smith Survey, said POINT OF BEGINNING also being in the center of a county road;

THENCE, N. $45^{\circ} 5' 20''$ W., with the Northeast line of F.M. Road No. 3097, 2487.0 feet to an iron rod for a corner on the Southeast line of a 73.9-acre tract of land conveyed to Emily Sue Whitehead and O. L. Steger, Jr., by Deed and recorded in Vol. 87, Pg. 148, Deed Records of Rockwall County, Texas;

THENCE, N. $44^{\circ} 54' 44''$ E. with a fence line and the Southeast line of said 73.9-acre tract 2609.01 feet to an iron rod for a corner on the Southwest line of a tract of land conveyed to J. L. Peoples by Deed, recorded in Vol. 43, Pg. 136, Deed Records of Rockwall County, Texas;

THENCE, S. $45^{\circ} 53' 52''$ E. with a fence line and said Southwest line of the Peoples Tract 2487.0 feet to an iron rod in the centerline of county road for a corner;

THENCE, S. $44^{\circ} 52' 59''$ W. with the center of said county road 2644.1 feet to a point for a corner, the POINT OF BEGINNING containing 149.97 acres of land, more or less.

SECTION 2. That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed, and all other ordinances of the City of Rockwall not in conflict with the provisions of this ordinance shall remain in full force and effect.

SECTION 3. That the above-described tract of land shall be used only in the manner and for the purposes provided for by the Comprehensive Zoning Ordinance of the City of Rockwall, as heretofore amended, and as amended herein, by the granting of this zoning change.

SECTION 4. Any person, firm or corporation violating any of the provisions of this ordinance shall be subject to the same penalty as provided for in the Comprehensive Zoning Ordinance of the City of Rockwall, as heretofore amended, and as amended hereby, and upon conviction shall be punished by a penalty of fine not to exceed the sum of Two Hundred Dollars (\$200.00) for each offense, and each and every day such offense shall continue shall be deemed to constitute a separate offense.

SECTION 5. Whereas, it appears that the above-described property requires classification as a Single-Family Dwelling District in order to permit its proper development and in order to protect the public interest and general welfare of the City of Rockwall, such requirement creates an urgency and an emergency in the preservation of the public welfare and requires that this ordinance take effect immediately from and after its passage and the publication of the caption of said ordinances, as the law in such cases provides.

DULY PASSED by the City Council of the City of Rockwall, Texas, on the 2 day of August, 1976.

APPROVED:

Harry L. Myers
MAYOR

APPROVED AS TO FORM:

ATTEST:

B. Robert Baker
ATTORNEY

Deann C. Williams
CITY SECRETARY

AN ORDINANCE OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE COMPREHENSIVE ZONING ORDINANCE OF THE CITY OF ROCKWALL, AS HERETOFORE AMENDED, SO AS TO GRANT "PD" PLANNED DEVELOPMENT DISTRICT NUMBER 13 ON THE FOLLOWING DESCRIBED TRACT: BEING A TRACT OF LAND IN THE JAMES SMITH SURVEY, ABSTRACT NO. 200, ROCKWALL COUNTY, TEXAS, AND BEING IN THE SAME TRACT OF LAND CONVEYED TO FORNEY LAND DEVELOPMENT CORPORATION BY DEED AND RECORDED IN VOL. 70, PG. 461, DEED RECORDS OF ROCKWALL COUNTY, TEXAS, AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS: COMMENCING AT AN IRON ROD FOR A CORNER ON THE NORTHEAST LINE OF F.M. ROAD NO. 3097, THENCE N. $44^{\circ} 52' 59''$ E., 20.0 FEET FROM THE SOUTHEAST CORNER OF THE JAMES SMITH SURVEY, SAID POINT OF BEGINNING ALSO BEING IN THE CENTER OF A COUNTY ROAD; THENCE, N. $45^{\circ} 5' 20''$ W., WITH THE NORTHEAST LINE OF F.M. ROAD NO. 3097, 2487.0 FEET TO AN IRON ROD FOR A CORNER ON THE SOUTHEAST LINE OF A 73.9-ACRE TRACT OF LAND CONVEYED TO EMILY SUE WHITEHEAD AND O. L. STEGER, JR., BY DEED AND RECORDED IN VOL. 87, PG. 148, DEED RECORDS OF ROCKWALL COUNTY, TEXAS; THENCE, N. $44^{\circ} 54' 44''$ WITH A FENCE LINE AND THE SOUTHEAST LINE OF SAID 73.9-ACRE TRACT 2609.01 FEET TO AN IRON ROD FOR A CORNER ON THE SOUTHWEST LINE OF A TRACT OF LAND CONVEYED TO J. L. PEOPLES BY DEED, RECORDED IN VOL. 43, PG. 136, DEED RECORDS OF ROCKWALL COUNTY, TEXAS; THENCE, S. $45^{\circ} 53' 52''$ E. WITH A FENCE LINE AND SAID SOUTHWEST LINE OF THE PEOPLES TRACT 2487.0 FEET TO AN IRON ROD IN THE CENTERLINE OF COUNTY ROAD FOR A CORNER; THENCE, S. $44^{\circ} 52' 59''$ W. WITH THE CENTER OF SAID COUNTY ROAD 2644.1 FEET TO A POINT FOR A CORNER, THE POINT OF BEGINNING CONTAINING 149.97 ACRES OF LAND, MORE OR LESS; ATTACHING THE APPROVED SITE PLAN AS EXHIBIT "A"; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO HUNDRED DOLLARS (\$200.00) FOR EACH OFFENSE; AND PROVIDING AN EFFECTIVE DATE.

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally and to all persons interested in and situated in the affected area, and in the vicinity thereof, and the governing body

in the exercise of its legislative discretion, has concluded that the Comprehensive Zoning Ordinance of the City of Rockwall should be amended as follows, NOW THEREFORE,

BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS:

SECTION 1. That the Comprehensive Zoning Ordinance of the City of Rockwall, Texas, as heretofore amended, be, and the same is hereby, amended by amending the Zoning Map of the City of Rockwall so as to grant "PD" Planned Development District Number 13 on the following described property:

BEING a tract of land in the James Smith Survey, Abstract No.200, Rockwall County, Texas, and being in the same tract of land conveyed to Forney Land Development Corporation by Deed and recorded in Vol. 70, Pg. 461, Deed Records of Rockwall County, Texas, and being more particularly described as follows:

COMMENCING at an iron rod for a corner on the Northeast line of F.M. Road No. 3097, THENCE N. $44^{\circ} 52' 59''$ E., 20.0 feet from the Southeast corner of the James Smith Survey, said POINT OF BEGINNING also being in the center of a county road;

THENCE, N. $45^{\circ} 5' 20''$ W., with the Northeast line of F.M. Road No. 3097, 2487.0 feet to an iron rod for a corner on the Southeast line of a 73.9-acre tract of land conveyed to Emily Sue Whitehead and O. L. Steger, Jr., by Deed and recorded in Vol. 87, Pg. 148, Deed Records of Rockwall County, Texas;

THENCE, N. $44^{\circ} 54' 44''$ E. with a fence line and the Southeast line of said 73.9-acre tract 2609.01 feet to an iron rod for a corner on the Southwest line of a tract of land conveyed to J. L. Peoples by Deed, recorded in Vol. 43, Pg. 136, Deed Records of Rockwall County, Texas;

THENCE, S. $45^{\circ} 53' 52''$ E. with a fence line and said Southwest line of the Peoples Tract 2487.0 feet to an iron rod in the centerline of county road for a corner;

THENCE, S. $44^{\circ} 52' 59''$ W. with the center of said county road 2644.1 feet to a point for a corner, the POINT OF BEGINNING containing 149.97 acres of land, more or less.

SECTION 2. That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby, repealed and all other ordinances of the City of Rockwall not in conflict with the provisions of this ordinance shall remain in full force and effect.

SECTION 3. That Planned Development District Number 13 shall be used only in the manner and for the purposes authorized by the Comprehensive Zoning Ordinance of the City of Rockwall, as heretofore amended and as amended hereby, provided that the granting of Planned Development District Number 13 to the above described tract of land is subject to the following special conditions:

a. The site plan attached hereto as Exhibit "A" and made a part hereof shall control the development of Planned Development District

No. 13 and any and all such development shall be in strict accordance with such site plan.

b. No substantial change in the development shall be permitted, except after obtaining approval of the change of such site plan in the manner required for changes and amendments to the Comprehensive Zoning Ordinance.

c. The following standards for the development of Planned Development District No. 13 shall be applicable in the enactment and approval of the comprehensive site plan and subsequent building or other permits, to-wit:

	<u>Single Family</u>	<u>Two Family Attached</u>
(1) Minimum lot size	6,600 sq. ft.	7,700 sq. ft.
(2) Minimum lot width	60 ft.	70 ft.
(3) Minimum lot depth	110 ft.	110 ft.
(4) Minimum front yard	25 ft.	20 ft.
(5) Minimum side yard	5 ft.	5 ft.
(6) Minimum rear yard	15 ft.	25 ft.
(7) Maximum lot coverage by main and accessory buildings of thirtyfive percent (35%)		
(8) Minimum number of parking spaces per unit shall be two (2)		
(9) Maximum height of any structure shall be two and one half (2½) stories		

d. The uses allowable in the area designated as "Local Retail" on the approved site plan shall be limited to those uses allowed in the Neighborhood Services District Classification of the Comprehensive Zoning Ordinance, and to the retail sale of automotive fuel as an accessory use in conjunction with an allowed retail use.

e. The area designated as park site on the site plan, Exhibit "A", represents only a preliminary layout of future park area. The actual dimensions of area to be dedicated as a park site will be determined and approved by the City during the platting stage after the completion of a flood plain study.

f. During the platting stage of this property, the developers will dedicate the amount of right-of-way along the existing County Road on the southeast side of the tract needed, in addition to existing right-of-way, to equal 110 ft. of right-of-way.

g. The developers will construct one half (½) of the major thoroughfare (one thirty foot (30') roadway) along the southeast side of their property at the time the other streets in the development are constructed.

SECTION 4. Any person, firm or corporation violating any of the provisions of this ordinance shall be subject to the same penalty as

provided for in the Comprehensive Zoning Ordinance of the City of Rock-wall, as heretofore amended, and as amended hereby, and upon conviction shall be punished by a fine not to exceed the sum of Two Hundred Dollars (\$200.00) for each offense, and each and every day such offense shall continue shall be deemed to constitute a separate offense.

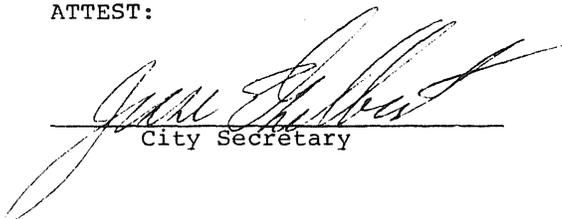
SECTION 5. This ordinance shall become effective from and after its passage and the publication of the caption as the law in such cases provides.

PASSED AND APPROVED THIS 2nd day of February, 1981.



Mayor

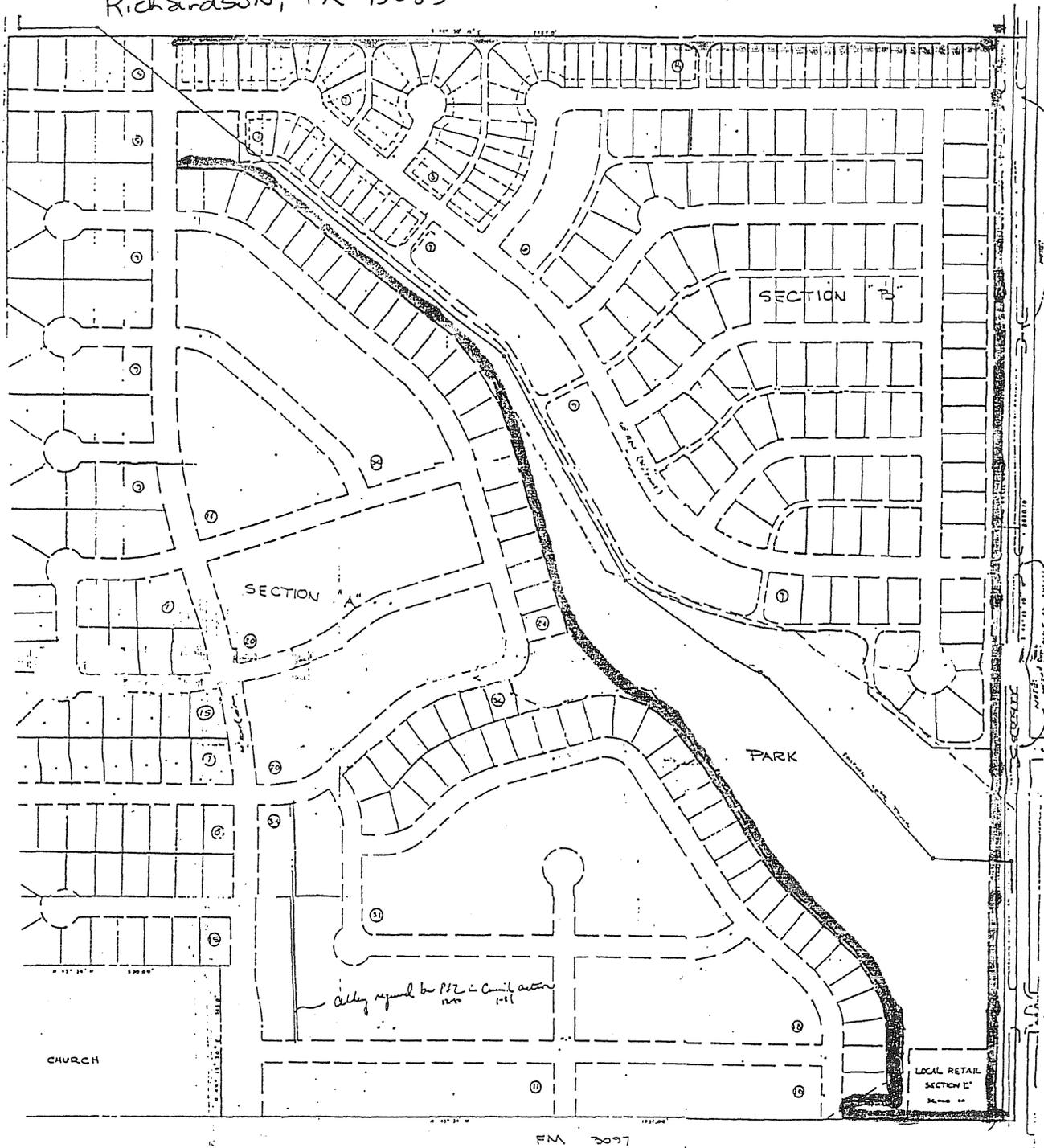
ATTEST:



City Secretary

17A RECORD NUMBER 111

Ab 200 J. Smith Survey
 Embrey Enterprises
 Box 830277
 Richardson, TX 75083-0277



Sub 81-5

CONCEPT PLAN
 WINDMILL RIDGE - ROCKWALL, TEXAS
 A PLANNED UNIT DEVELOPMENT

SECTION	MIN. LOT SIZE	USE	UNITS	ACRES	DENSITY
SECTION "A"	60 x 110	SINGLE FAMILY	337	81.1	4.16
SECTION "B"	70 x 110	TWO FAMILY	344	41.0	
SECTION "C"		LOCAL RETAIL	(72 UNITS)	0.75	
THOROUGHFARE ROW				4.90	
PARK				17.33	
TOTALS			681	145.0	

Please note that this is an attachment to zoning Ord and not a plot plan

ORDINANCE NO. 84-43

AN ORDINANCE OF THE CITY OF ROCKWALL, TEXAS, AMENDING ORDINANCE NO. 81-5 OF THE CITY OF ROCKWALL AND AMENDING THE COMPREHENSIVE ZONING ORDINANCE OF THE CITY OF ROCKWALL AS HERETOFORE AMENDED AND AS RELATES TO PLANNED DEVELOPMENT DISTRICT NUMBER 13; PROVIDING FOR LAND USE, AND A DEVELOPMENT PLAN FOR THAT AREA DESCRIBED AS LOT 1, BLOCK A OUR SAVIOR LUTHERAN CHURCH ADDITION; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF ONE THOUSAND DOLLARS (\$1,000.00) FOR EACH OFFENSE; AND PROVIDING AN EFFECTIVE DATE

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall have given the requisite notices by publication and otherwise and have held due hearings and afforded a full and fair hearing to all property owners generally and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that Ordinance No. 81-5 and the Comprehensive Zoning Ordinance of the City of Rockwall as relates to Planned Development No. 13 in the area described as Lot 1, Block A, Our Savior Lutheran Church Addition, should be amended

NOW, THEREFORE, BE IT ORDAINED BY the City Council of the City of Rockwall, Texas,

SECTION 1. That the development plan attached hereto as Exhibit "B" and made a part hereof shall control the development of the area known as Lot 1, Block A Our Savior Lutheran Church Addition of Planned Development No. 13 and shall be considered an amendment to Exhibit "A" of Ordinance No. 81-5.

SECTION 2. That Section 3, be added to Ordinance No. 81-5 to read as follows:

"The 70 ft. by 14 ft. classroom building with metal siding is limited to a period not to exceed two (2) years from date of installation."

SECTION 3. That all ordinances of the City of Rockwall in conflict with the provisions of this be and the same are hereby repealed and all other ordinances of the City of Rockwall not in conflict with the provisions of this ordinance shall remain in full force and effect.

SECTION 4. That the above described tract of land shall be used only in the manner and for the purposes provided in the Comprehensive

Zoning Ordinance of the City of Rockwall as heretofore amended, as amended herein by the granting of this zoning change, and as may be amended in the future.

SECTION 6. Any person, firm, or corporation violating any of the provisions of this ordinance shall be subject to the same penalty as provided for in the Comprehensive Zoning Ordinance of the City of Rockwall as heretofore amended, as amended hereby and as may be amended in the future, and upon conviction shall be punished by a penalty of fine not to exceed the sum of ONE THOUSAND DOLLARS (\$1,000.00) for each offense, and each and every day such offense shall continue shall be deemed to constitute a separate offense.

SECTION 7. That this ordinance shall take effect and be in full force on and after its passage and the publication of the caption as the law in such cases requires.

DULY PASSED AND APPROVED this 10th day of September, 1984.

APPROVED:



Mayor

ATTEST:



City Secretary

Ordinance No. 94-41

AN ORDINANCE OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE COMPREHENSIVE ZONING ORDINANCE AND ORDINANCE NO. 81-5 OF THE CITY OF ROCKWALL, TEXAS, AS HERETOFORE AMENDED, SO AS TO GRANT A CHANGE IN LAND USE DESIGNATION FROM DUPLEX LAND USE DESIGNATION AND GENERAL RETAIL LAND USE DESIGNATION TO SINGLE FAMILY DETACHED LAND USE DESIGNATION AND AMEND THE PRELIMINARY PLAN FOR A PORTION OF PD-13, MORE FULLY DESCRIBED HEREINAFTER; PROVIDING SPECIAL CONDITIONS; PROVIDING FOR AREA REQUIREMENTS; PROVIDING FOR A DEVELOPMENT PLAN; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; AND PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, a request for a change in land use designation under PD-13 from duplex land use designation and general retail to single family detached residential land use designation was submitted by Embrey Enterprises, Inc. on a tract of land described; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally and to all persons interested in and situated in the affected area, and in the vicinity thereof, and the governing body in the exercise of its legislative discretion, has concluded that the Comprehensive Zoning Ordinance and Ordinance 81-5 of the City of Rockwall should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Rockwall, Texas:

SECTION 1. That the Comprehensive Zoning Ordinance and Ordinance No. 81-5 of the City of Rockwall, Texas as heretofore amended, be and the same is hereby amended so as to approve a change in the preliminary plan for "PD-13" Planned Development District No. 13, on the property described on Exhibit "A", attached hereto and made a part hereof.

SECTION 2. That Planned Development District Number 13 shall be used only in the manner and for the purposes authorized by the Comprehensive Zoning Ordinance of the City of Rockwall, as heretofore amended and as amended hereby provided that the granting of Planned Development District No. 13 to the above described tract of land is subject to the following special conditions:

- A. All development of property covered by Planned Development District No. 13, shall be in accordance with the provisions of this ordinance and

the finally approved comprehensive development plan and list of approved uses, and no substantial change in the development shall be permitted except after obtaining approval of the changes and amendments in accordance with the provisions of the Comprehensive Zoning Ordinance. All development of the property described on Exhibit "A", attached hereto, shall be substantially in accordance with the Concept Plan, attached hereto and made a part hereof as Exhibit "B".

B. The property described on Exhibit "A", attached hereto, shall be used for Single Family Detached residential development and shall be regulated by the area requirements set forth in the SF-7 zoning classification, as currently adopted and as may be amended in the future, except as provided for as follows:

1. Minimum Lot Size - 6,600, with the lots averaging 7,000 sq. feet in size
2. Minimum Front Setback - 25 feet
3. Minimum Side Yard - 5 feet
4. Minimum Dwelling Size - 1,400 sq. feet
5. Maximum Building Height - 32 feet

Section 3. Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of TWO THOUSAND DOLLARS (\$2,000.00) for each offense and each and every day such offense shall continue shall be deemed to constitute a separate offense.

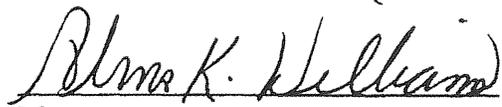
Section 4. If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation, or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation, or circumstance, nor shall adjudication affect any other section or provision of the Comprehensive Zoning Ordinance No. 83-23 of the City of Rockwall, Texas, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance are declared to be severable.

Section 5. That all ordinances of the City of Rockwall in conflict with the provisions of this be and the same are hereby repealed, and all other ordinances of the City of Rockwall not in conflict with the provisions of this ordinance shall remain in full force and effect.

Section 6. That this ordinance shall take effect immediately from and after its passage and the publication of the caption of said ordinance as the law in such cases provides.

DULY PASSED AND APPROVED this 19 day of December, 1994.

APPROVED:

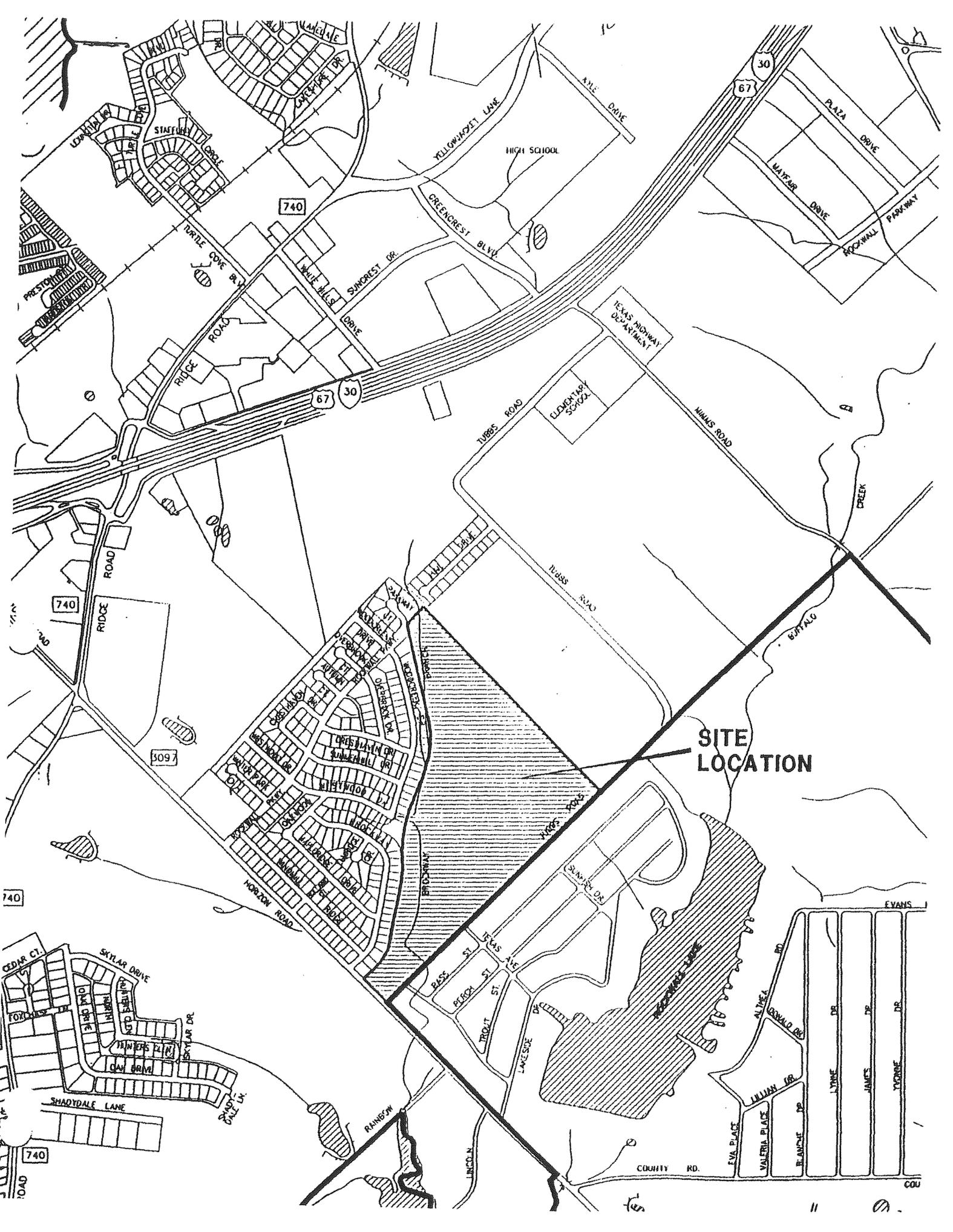

Mayor

ATTEST:

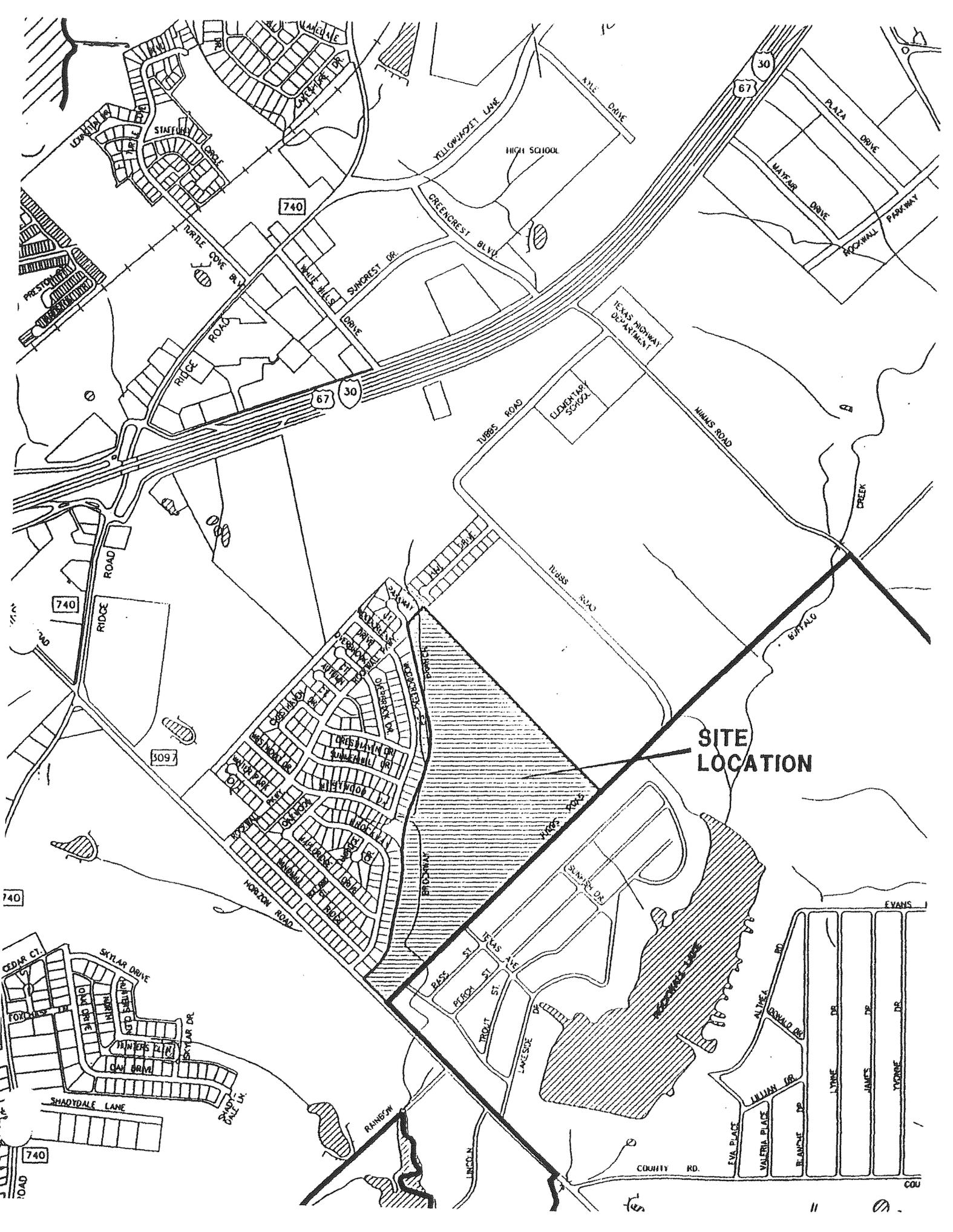

City Secretary

1st reading 12-19-94

2nd reading 1-9-95



**SITE
LOCATION**



**SITE
LOCATION**

FIELD NOTES

4066fld.wp31

BEING a tract of land situated in the James Smith Survey, Abstract No. 200, City of Rockwall, Rockwall County, Texas, the subject tract being part of the 149.97 acre tract of land conveyed by Southern Methodist University to Embrey Enterprises, Inc., Trustee according to the deed recorded in Volume 158, Page 481 of the Deed Records of Rockwall County, Texas, (DRRDCT), the subject tract being more particularly described as follows;

BEGINNING at a point located on the Northeasterly line of Farm to Market Road No. 3097 and the Southerly corner of Windmill Ridge Estates Section "A" Installment One, an addition to the City of Rockwall according to the file plat recorded in Cabinet B, Slide 26 of the Map Records of Rockwall County, Texas (MRRCT), a 1/2" iron pin with a red cap stamped GM RPLS 4396 set at corner, from which a 1/2" iron pin found on the Northwesterly line of Brockway Drive bears N 45° 30' 45" W, a distance of 160.22 feet;

THENCE, N 44° 26' 22" E, along the Easterly line of said Windmill Ridge Estates Section "A" Installment One, a distance of 185.46 feet to a 1/2" iron pin with a red cap stamped GM RPLS 4396 set at corner;

THENCE, Continuing along said Windmille Ridge Estates Section "A" Installment One Easterly line and along the Easterly line of Windmill Ridge Estates No. 2A, an addition to the City of Rockwall according to the file plat recorded in Cabinet B, Slide 156 (MRRCT) and around a tangent curve to the Left having a central angle of 35° 04' 42", a radius of 360.00 feet and a chord bearing of N 26° 54' 01" E, an arc distance of 220.40 feet to a 1/2" iron pin found at corner;

THENCE, N 09° 21' 40" E, along said Windmill Ridge Estates No. 2A, Easterly line and passing over a 3/8" iron pin found at a distance of 515.77 feet and continuing 79.77 feet, making a total distance of 595.54 feet to a 1/2" iron pin with a red cap stamped GM RPLS 4396 set at corner, from which a 1/2" iron pin found bears S 87° 51' 13" W, a distance of 0.76 feet;

THENCE, 02° 29' 38" W, continuing along said Windmill Ridge Estates No. 2A Easterly line part of the way and along the Easterly line of Windmill Ridge Estates No. 3, an addition to the City of Rockwall according to the file plat recorded in Cabinet B, Slide 300 (MRRCT), a distance of 246.65 to a 1/2" iron pin with a red cap stamped GM RPLS 4396 set at corner;

THENCE, Along the said Windmill Ridge Estates No. 3 Easterly line, the following;

Around a non-tangent curve to the Right having a central angle of 17° 59' 13", a radius of 400.00 feet and a chord bearing of N 06° 48' 00" E, an arc distance of 125.57 feet to a 1/2" iron pin with a red cap stamped GM RPLS 4396 set at corner;

N 15° 27' 50" E, passing over a 3/8" iron pin found at a distance of 216.59 feet passing over another 3/8" iron pin found at a distance of 516.62 feet and continuing 120.03 feet making a total distance of 636.65 feet to a 1/2" iron pin with a red cap stamped GM RPLS 4396 set at corner;

Around a non-tangent curve to the Left having a central angle of 23° 00' 01", a radius of 700.00 feet and a chord bearing of N 04° 00' 00" E, an arc distance of 281.00 feet to a 1/2" iron pin with a red cap stamped GM RPLS 4396 set at corner;

N 07° 30' 00" W, a distance of 806.90 feet to a point on the centerline of Rockwall Parkway, a 1/2" iron pin with a red cap stamped GM RPLS 4396 set at corner, from which a 3/8" iron pin found bears S 39° 22' 21" W, a distance of 288.80 feet;

THENCE, N 44° 20' 09" E, leaving said Windmill Ridge Estates No. 3 Easterly line and along an Easterly line of that tract of land conveyed to Shepherd Place Homes, Inc., by the deed recorded in Volume 917, Page 188 (DRRCT), a distance of 202.28 feet to a point on the North easterly line of the previously mentioned Embrey Enterprises, Inc., Trustee 149.97 acre tract, a 1/2" iron pin with a red cap stamped GM RPLS 4396 set at corner, from which a 1/2" iron pin found bears N 44° 28' 37" W, a distance of 129.86 feet;

THENCE, S 46° 20' 24" E, along said Embrey Enterprises, Inc., Trustee tract Northeasterly line, a distance of 2094.49 feet to the most Easterly corner of said Embrey Enterprises, Inc., Trustee tract, said corner being located on the Northwesterly line of Tubbs Road (approximately 21.5± ROW) as dedicated by the Road & Street Dedication Plat recorded in Cabinet B, Slide 242 (MRRCT), a 1/2" iron pin set in asphalt pavement at the subject tract most Easterly corner, from which a 1" iron pipe bears N 35° 18' 04" W, a distance of 28.52 feet and a 3/8" iron pin found on the Southeasterly line of said Tubbs Road bears S 42° 33' 00" W, a distance of 667.96 feet;

THENCE, S 44° 23' 31" W, along the Southeasterly line of said Embrey Enterprises, Inc., Trustee tract and the said dedicated Tubbs Road Northwesterly line, a distance of 2645.06 feet to a point on the previously mentioned Farm to Market Road No. 3097 Northeasterly line, said point further being the most Southerly corners of the subject tract and said Embrey Enterprises, Inc., Trustee tract, a 1/2" iron pin set in asphalt pavement at corner, from which a 1/2" iron pin found at the intersection of the Southeasterly line of Tubbs Road and Northeasterly line of Farm to Market Road No. 3097 bears S 45° 30' 45" E, a distance of 20.88 feet;

THENCE, N 45° 30' 45" W, along the said Farm to Market Road No. 3097 Northeasterly line, a distance of 307.00 feet to the **PLACE OF BEGINNING** with the subject tract containing 2,869,127 square feet or 65.8661 acres of land.

CITY OF ROCKWALL

ORDINANCE NO. 24-XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING PLANNED DEVELOPMENT DISTRICT 13 (PD-13) AND THE UNIFIED DEVELOPMENT CODE [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL, AS HERETOFORE AMENDED, SO AS TO CONSOLIDATE THE REGULATING ORDINANCES OF THE PLANNED DEVELOPMENT DISTRICT, BEING A 149.97-ACRE TRACT OF LAND SITUATED WITHIN THE JAMES SMITH SURVEY, ABSTRACT NO. 200, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS AND MORE FULLY DESCRIBED HEREIN BY EXHIBIT 'A' AND DEPICTED HEREIN BY EXHIBIT 'B'; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City of Rockwall has initiated an amendment to the Planned Development District 13 (PD-13) for the purpose of consolidating the regulating ordinances [Ordinance No.'s 81-05, 84-43, & 94-41]; and,

WHEREAS, Planned Development District 13 (PD-13) is a 149.97-acre tract of land situated within the James Smith Survey, Abstract No. 200, City of Rockwall, Rockwall County, Texas and which is more fully described in Exhibit 'A' and depicted in Exhibit 'B' of this ordinance, which hereinafter shall be referred to as the *Subject Property* and incorporated by reference herein; and,

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally and to all persons interested in and situated in the affected area, and in the vicinity thereof, and the governing body in the exercise of its legislative discretion, has concluded that Planned Development District 13 (PD-13) [Ordinance No.'s 81-05, 84-43, & 94-41] and the Unified Development Code [Ordinance No. 20-02] should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS:

SECTION 1. That the approval of this ordinance shall supersede all requirements stipulated in Ordinance No.'s 81-05, 84-43, & 94-41;

SECTION 2. That the *Subject Property* shall be used only in the manner and for the purposes authorized by this Planned Development District Ordinance and the Unified Development Code [Ordinance No. 20-02] of the City of Rockwall as heretofore amended, as amended herein by granting this zoning change, and as maybe amended in the future;

SECTION 3. That development of the *Subject Property* shall generally be in accordance with the *Concept Plan*, depicted in Exhibit 'C' of this ordinance, attached hereto and incorporated herein by reference as Exhibit 'C', which is deemed hereby to be a condition of approval of the amended zoning classification for the *Subject Property*;

SECTION 4. That development of the *Subject Property* shall generally be in accordance with the *Density and Development Standards*, outlined in *Exhibit 'D'* of this ordinance, attached hereto and incorporated herein by reference as *Exhibit 'D'*, which is deemed hereby to be a condition of approval of the amended zoning classification for the *Subject Property*;

SECTION 5. That any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *Two Thousand Dollars (\$2,000.00)* for each offense and each and every day such offense shall continue shall be deemed to constitute a separate offense;

SECTION 6. That if any section, paragraph, or provision of this ordinance or the application of that section, paragraph, or provision to any person, firm, corporation or situation is for any reason judged invalid, the adjudication shall not affect any other section, paragraph, or provision of this ordinance or the application of any other section, paragraph or provision to any other person, firm, corporation or situation, nor shall adjudication affect any other section, paragraph, or provision of the Unified Development Code, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions for this ordinance are declared to be severable;

SECTION 7. The standards in this ordinance shall control in the event of a conflict between this ordinance and any provision of the Unified Development Code or any provision of the City Code, ordinance, resolution, rule, regulation, or procedure that provides a specific standard that is different from and inconsistent with this ordinance. References to zoning district regulations or other standards in the Unified Development Code (including references to the *Unified Development Code*), and references to overlay districts, in this ordinance or any of the Exhibits hereto are those in effect on the date this ordinance was passed and approved by the City Council of the City of Rockwall, Texas;

SECTION 8. That this ordinance shall take effect immediately from and after its passage;

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, THIS THE 3RD DAY OF SEPTEMBER, 2024.

Trace Johannesen, Mayor

ATTEST:

Kristy Teague, City Secretary

APPROVED AS TO FORM:

Frank J. Garza, City Attorney

1st Reading: August 19, 2024

2nd Reading: September 3, 2024

Exhibit 'A':
Legal Description

BEING 149.994 acres of land situated in Abstract 200, J. Smith Survey in the County of Rockwall, Texas and being more particularly described by metes and bounds as follows:

BEGINNING in the Northern-most corner of Lot 10, Block O, Windmill Ridge Estates Addition, Phase 3B, RCAD # 45325, and the Eastern Right of Way line of West Ralph Hall Parkway (NAD83 Texas State Plane GPS Coordinate (Grid): E2,593,950.407, N7,014,437.569 Feet);

- 1 **THENCE** South 45°-32'-31" East, along the Northern boundary line of the Windmill Ridge Estates Addition, Phases 3B and 4B, a distance of 2,491.731 feet for a corner in the Centerline of the old Tubbs Road;
- 2 **THENCE** South 45°-18'-55" West, continuing along said Centerline, a distance of 2,644.100 feet for a corner;
- 3 **THENCE** North 44°-39'-26" West, along the North Right of Way line of Horizon Road (FM 3097) a distance of 2,488.097 feet for a corner;
- 4 **THENCE** North 45°-14'-29" East, along approximately the Centerline of West Ralph Hall Parkway, a distance of 2,605.634 feet to the *POINT OF BEGINNING AND CONTAINING* 149.994 acres of land (6,533,734.133 square feet) more or less.

Exhibit 'B':
Survey

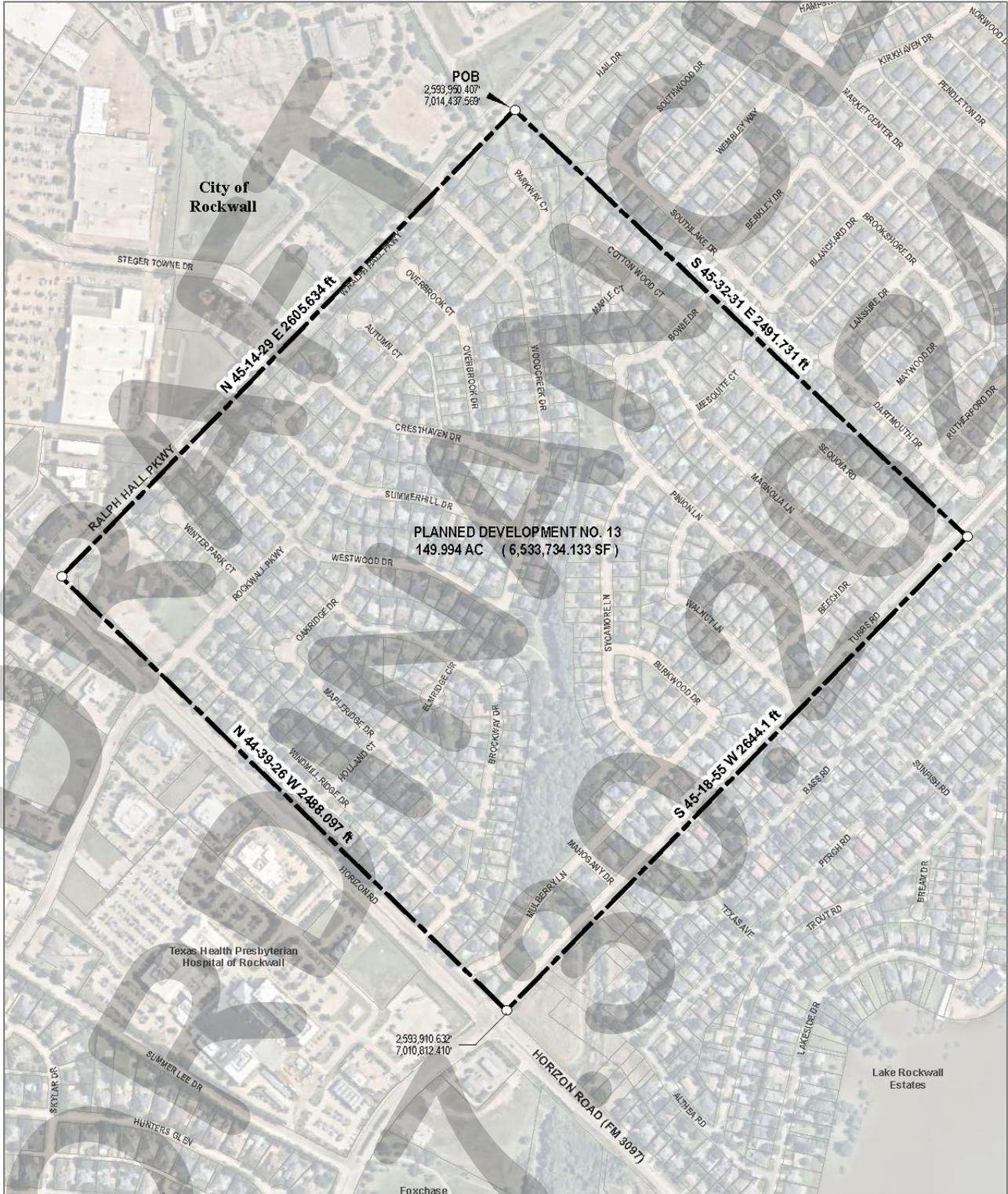


Exhibit 'C':
Concept Plan

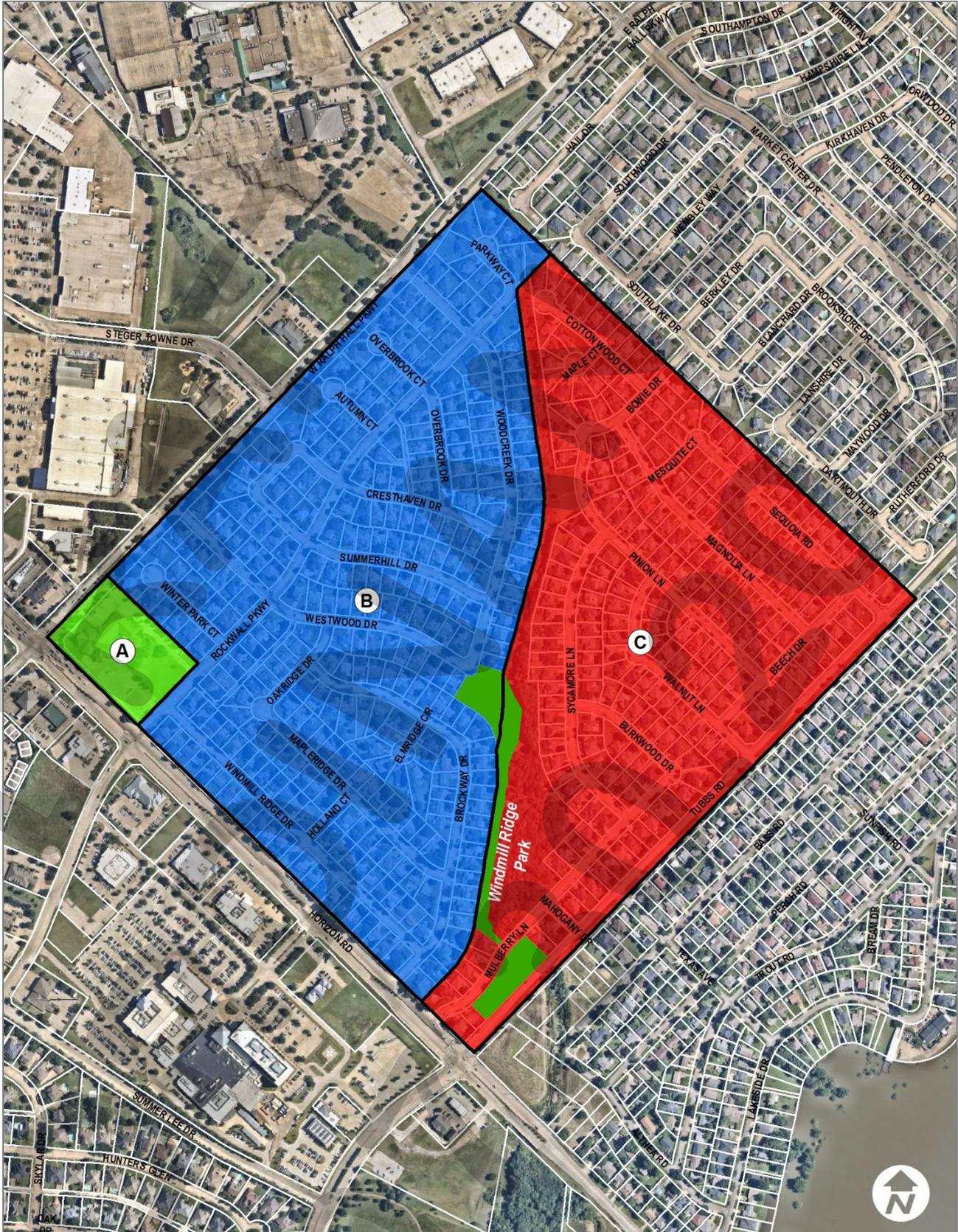


Exhibit 'D':
Density and Development Standards

(A) TRACT A. (*Our Savior Lutheran Church*)

(1) Concept Plan. All development of *Tract A* shall conform with the *Concept Plan* depicted in *Figure 1*.

FIGURE 1. CONCEPT PLAN FOR TRACT A



(2) Permitted Land Uses. Unless specifically provided by this Planned Development District ordinance, *Tract A* -- as depicted in *Exhibit 'C'* of this ordinance -- shall be subject to the land uses stipulated for properties in a Neighborhood Services (NS) District as stipulated by Article 05, *District Development Standards*, of the Unified Development Code (UDC), as heretofore amended, as amended herein by granting this zoning change, and as maybe amended in the future.

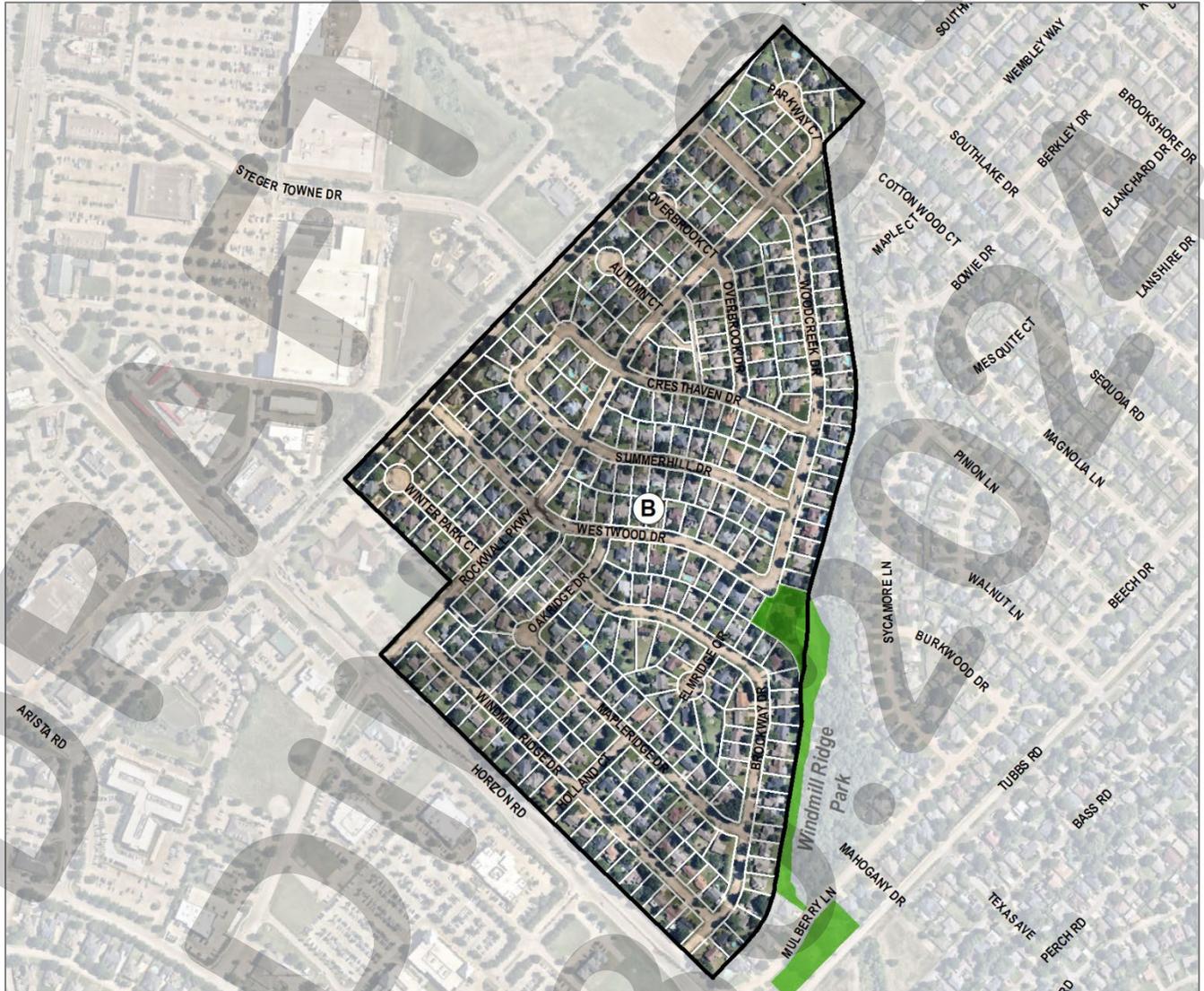
(3) Density and Development Standards. Unless specifically provided by this Planned Development District, the development of *Tract A* -- as depicted in *Exhibit 'C'* of this ordinance -- shall be subject to the density and dimensional requirements stipulated for properties in a Neighborhood Services (NS) District, as stipulated by Article 05, *District Development Standards*, of the Unified Development Code (UDC), as heretofore amended, as amended herein by granting this zoning change, and as maybe amended in the future.

**Exhibit 'D':
Density and Development Standards**

(B) TRACT B. (Windmill Ridge Estates, Phases 1A, 2A, 3A & 3B)

(1) Concept Plan. All development of *Tract B* shall conform with the *Concept Plan* depicted in *Figure 2*.

FIGURE 2. CONCEPT PLAN FOR TRACT B



(2) Permitted Land Uses. Unless specifically provided by this Planned Development District ordinance, *Tract B* -- as depicted in *Exhibit 'C'* of this ordinance -- shall be subject to the land uses stipulated for properties in a Single-Family 7 (SF-7) District as stipulated by Article 05, *District Development Standards*, of the Unified Development Code (UDC), as heretofore amended, as amended herein by granting this zoning change, and as maybe amended in the future.

(3) Density and Development Standards. Unless specifically provided by this Planned Development District, the development of *Tract B* -- as depicted in *Exhibit 'C'* of this ordinance -- shall be subject to the density and dimensional requirements stipulated for properties in a Single-Family 7 (SF-7) District, as stipulated by Article 05, *District Development Standards*, of the Unified Development Code (UDC), as heretofore amended, as amended herein by granting this zoning change, and as maybe amended in the future; however, all lots in *Tract B* shall conform to the standards depicted in *Table 1*, which are as follows:

**Exhibit 'D':
Density and Development Standards**

TABLE 1: LOT DIMENSIONAL REQUIREMENTS FOR SINGLE-FAMILY IN TRACT B

	LOT TYPE ►	SINGLE-FAMILY
<i>MINIMUM LOT SIZE</i>		6,600 SF
<i>MINIMUM LOT WIDTH</i>		60'
<i>MINIMUM LOT DEPTH</i>		110'
<i>MINIMUM FRONT YARD SETBACK</i>		25'
<i>MINIMUM SIDE YARD SETBACK</i>		5'
<i>MINIMUM REAR YARD SETBACK</i>		15'
<i>MAXIMUM LOT COVERAGE ⁽¹⁾</i>		35%
<i>MAXIMUM BUILDING HEIGHT</i>		2½-STORIES
<i>MINIMUM NUMBER OF OFF-STREET PARKING SPACES</i>		2

GENERAL NOTES:

¹: Lot coverage is for primary and secondary structures.

**Exhibit 'D':
Density and Development Standards**

(C) TRACT C. (Windmill Ridge Estates, Phases 4 & 4B)

(1) Concept Plan. All development of Tract C shall conform with the Concept Plan depicted in Figure 3.

FIGURE 3. CONCEPT PLAN FOR TRACT C



(2) Permitted Land Uses. Unless specifically provided by this Planned Development District ordinance, *Tract C -- as depicted in Exhibit 'C' of this ordinance --* shall be subject to the land uses stipulated for properties in a Single-Family 7 (SF-7) District as stipulated by Article 05, *District Development Standards*, of the Unified Development Code (UDC), as heretofore amended, as amended herein by granting this zoning change, and as maybe amended in the future.

(3) Density and Development Standards. Unless specifically provided by this Planned Development District, the development of *Tract C -- as depicted in Exhibit 'C' of this ordinance --* shall be subject to the density and dimensional requirements stipulated for properties in a Single-Family 7 (SF-7) District, as stipulated by Article 05, *District Development Standards*, of the Unified Development Code (UDC), as heretofore amended, as amended herein by granting this zoning change, and as maybe amended in the future; however, all lots in *Tract C* shall conform to the standards depicted in *Table 2*, which are as follows:

**Exhibit 'D':
Density and Development Standards**

TABLE 2: LOT DIMENSIONAL REQUIREMENTS FOR SINGLE-FAMILY IN TRACT C

	LOT TYPE ►	SINGLE-FAMILY
<i>MINIMUM LOT SIZE ⁽¹⁾</i>		6,600 SF
<i>MINIMUM DWELLING UNIT SIZE</i>		1,400 SF
<i>MINIMUM FRONT YARD SETBACK</i>		25'
<i>MINIMUM SIDE YARD SETBACK</i>		5'
<i>MAXIMUM BUILDING HEIGHT</i>		32'

GENERAL NOTES:

¹: With the average of all lots being 7,000 SF in size.

DRAFT
ORDINANCE
07.30.2024

PROJECT COMMENTS



CITY OF ROCKWALL
385 S. GOLIAD STREET
ROCKWALL, TEXAS 75087
PHONE: (972) 771-7700

DATE: 7/25/2024

PROJECT NUMBER: Z2024-033
PROJECT NAME: Zoning Change from AG to PD
SITE ADDRESS/LOCATIONS: FM 205

CASE CAPTION:

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
	Ryan Miller	07/25/2024	Approved w/ Comments

07/25/2024: Z2024-032; Zoning Change (AG to PD) for the Lofland Tract
Please address the following comments (M= Mandatory Comments; I = Informational Comments)

I.1 This is a request for the approval of a zoning change from an Agricultural (AG) District to a Planned Development District for Single-Family 10 (SF-10) and General Retail (GR) District land uses on a 544.89-acre tract of land identified as Tracts 3 & 3-1 of the A. Johnson Survey, Abstract No. 123 [355.146-acres]; Tracts 7 & 7-2 of the W. H. Baird Survey, Abstract No. 25 [45.744-acres]; and Tracts 3 & 4 of the J. R. Johnson Survey, Abstract No. 128 [144.00-acres], City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, situated within the SH-205 Overlay (SH-205) and SH-205 By-Pass Overlay (SH-205 BY OV) District, and generally located on the east and west side of S. Goliad Street [SH-205] at the corner of the intersection of John King Boulevard and S. Goliad Street [SH-205].

I.2 For questions or comments concerning this case please contact Ryan Miller in the Planning Department at (972) 772-6441 or email rcmiller@rockwall.com.

M.3 For reference, include the case number (Z2024-032) in the lower right-hand corner of all pages on future submittals.

I.4 Unified Development Code (UDC). Based on the submitted draft ordinance the proposed Planned Development District does not conform to the following requirements of the Unified Development Code (UDC), the Municipal Code of Ordinances, and the Engineering Department's Standards of Design and Construction Manual:

(1) Alleyways. The Engineering Department's Standards of Design and Construction Manual stipulates that "(a)lleys shall be provided in all residential areas and shall be paved with steel reinforced concrete..." The code does grant the City Council the ability to "... waive the residential alley requirement, if it is in the best interest of the City." [Page 14; Section 2.11 of the Standards of Design and Construction Manual]

(2) Garage Configuration. Section 04, Residential Parking, of Article 06, Parking and Loading, of the Unified Development Code (UDC) requires that, "(i)n single-family or duplex districts, parking garages must be located at least 20-feet behind the front building façade for front entry garages unless it is a J-Swing [or traditional swing] garage where the garage door is perpendicular to the street."

Staff Response: The proposed garage configurations do NOT conform to the Engineering Department's Standards of Design and Construction Manual and the Unified Development Code (UDC). This will require the discretionary approval of the City Council pending a recommendation from the Planning and Zoning Commission.

(3) Open Space. According to Subsection 02.02, Minimum Standards for Residential Planned Development Districts, of Article 10, Planned Development Regulations, of the Unified Development Code (UDC), "In a residential Planned Development (PD) Districts, all lots less than 12,000 SF shall be located within 800-feet of a neighborhood-oriented park or open space (i.e. public or private). All open space areas shall be landscaped and serve as a visual amenity and/or gathering place for socializing with neighbors."

Staff Response: Please provide an exhibit showing conformance to this requirement of the Unified Development Code (UDC).

I.5 Future Land Use Map. According to the OURHometown Vision 2040 Comprehensive Plan the subject property is located within the South Central Residential District and the Southwest Residential District, and according to the Future Land Use Map contained within this document the subject property is designated for Low Density Residential and Commercial/Retail land uses. The proposed zoning request does GENERALLY conform to these designations; HOWEVER, there are areas on the concept plan that show revisions will need to be made to the Future Land Use Plan. This aspect of this request will be discretionary to the City Council pending a recommendation from the Planning and Zoning Commission.

I.6 South Central Residential District. The following are the pertinent District Strategies of the South Central Residential District and how the proposed concept plan conforms to these strategies:

(1) Suburban Residential. This district has several large tracts of land that can support highly amenitized master planned communities. These developments should look to incorporate Traditional Neighborhood Design (TND) design principles to create unique developments from the more traditional suburban design prevalent in the northern districts. These developments should include a mix of larger to mid-sized lots.

Staff Response: The submitted PD Standards include language that could incorporate Traditional Neighborhood Design (TND) principles; however, the ordinance does not require this. This is an important aspect of the District Strategies and was implemented in the adjacent development (i.e. the Somerset Park Subdivision). In addition, the proposed 52' x 62' x 110' and 72' x 110' lots -- which are the predominate lot types at 78.12% of all lots -- are not considered to be a mix of "larger to mid-sized lots". Based on this the proposed concept plan is not in conformance with this District Strategy.

(2) Commercial Land Uses. Commercial in the northern areas of this district are intended to support the existing and proposed residential developments and should be compatible in scale with the adjacent residential structures. Commercial areas along SH-205 can include supportive and larger commercial developments. Larger commercial developments and cluster development is anticipated at the intersection of S. Goliad Street [SH-205] and SH-276 and S. Goliad Street [SH-205] and John King Boulevard. All commercial development should use berms, landscaping and large buffers to transition to residential land uses.

Staff Response: The concept plan provided by the applicant does show changes to how the Commercial/Retail areas are laid out in the Future Land Use Map; however, the changes appear to be nominal in nature.

(3) John King Boulevard Trail Plan. A ten (10) foot hike/bike trail should be incorporated along John King Boulevard with rest stops and signage as indicated in Appendix 'A' of this Comprehensive Plan.

Staff Response: The District Strategies Map for the South Central Residential District shows that a Rest Stop/Trailblazer Pylon element is designated for the southeast corner of the future intersection of Mercers Colony Avenue and John King Boulevard. The Layout Plan show that two (2) Trail Stops/Rest Stops will be provided; however, neither of these Trail Heads/Rest Stops show a covered structure in conformance to the exhibits shown in the OURHometown Vision 2040 Comprehensive Plan. These Trail Stops/Rest Stops can be integrated in to the signage elements for the neighborhood (e.g. similar to Breezy Hill, Saddle Star, or Rockwall Downes). Another opportunity for a Trail Head not associated with the John King Boulevard Plan exists at the northwest corner of the intersection of the proposed subdivision and S. FM-549 across from the Fontanna Ranch Subdivision entrance (see the Planning Markups for the Layout Plan).

I.7 Southwest Residential District. The following are the pertinent District Strategies of the Southwest Residential District and how the proposed concept plan conforms to these strategies:

(1) Suburban Residential. This district has several large tracts of land that can support highly amenitized master planned communities. Areas adjacent to the Oaks of Buffalo Way Subdivision should utilize larger lots adjacent to the subdivision to transition to a smaller lot sizes; however, these areas should incorporate a mix of larger to mid-sized lots.

Staff Response: In this case, the Oaks of Buffalo Way Subdivision is composed of larger lots that are a minimum of 1½-acres in size. The proposed transition provided by the applicant shows a smaller one (1) acre lot product lining a street that runs parallel to the northern boundary of the Oaks of Buffalo Way Subdivision. This is followed by a 100' x 200' lot product and several 100' x 150' lots. Staff has recommended that the 100' x 150' lots be changed to either the one (1) acre lot product or the 100' x 200' lot product; however, the City Council will need to make the determination if this is a sufficient transition from the larger lots to the 62' x 125' and 72' x 125' lots north of the proposed transition.

I.8 Master Thoroughfare Plan. The proposed plan does appear to conform to the Master Thoroughfare Plan (MTP) contained in the OURHometown Vision 2040 Comprehensive Plan.

I.9 Residential Design Guidelines. The OURHometown Vision 2040 Comprehensive Plan stipulates various goals and design guidelines for residential developments. The following aspects of the applicant's proposal either do not conform to or could better conform to the stated goals of the City's Comprehensive Plan, and could be revised -- per staff's recommendations below -- to bring the project closer to conformance with these goals:

(1) CH. 1; Section 2.02; Goal #2 | Policy #1 (Page 1-2). Where residential uses are proposed through a Planned Development District that abuts an existing residential development, the proposed lots should be the same or a compatible size as the existing lots or be buffered by open space, trails, sidewalks, natural screening, or a roadway.

Staff's Response: The lots in the Oaks of Buffalo Way Subdivision are approximately 1½-acres in size. The proposed one (1) acre lots are smaller than the existing lots in the Oaks of Buffalo Way Subdivision. The determination if this is a compatible size as the existing lots will be a discretionary aspect of this case.

(2) CH. 1; Section 2.02; Goal #2 | Policy #3 (Page 1-2). Existing development patterns and surrounding conditions (e.g. lot size, architectural style, public improvements, etc.) should be considered in conjunction with this Comprehensive Plan to determine the appropriate zoning designation for a property.

Staff's Response: The proposed concept plan appears to generally conform to the existing development patterns north of John King Boulevard and adjacent to the Lake Rockwall Estates Subdivision; however, the following changes should be incorporated to better conform to the existing development patterns: [1] larger estate lots could be incorporated adjacent to the Oaks of Buffalo Way Subdivision and [2] better requirements for Traditional Neighborhood Design (TND) housing product should be incorporated north of John King Boulevard to match the style of the homes established in the Somerset Park Subdivision.

(3) CH. 1; Section 2.02; Goal #2 | Policy #4 (Page 1-2). At a minimum, new residential development should be equal to or of a higher quality than the existing surrounding residential development.

Staff's Response: The development should use similar architectural styles (i.e. Traditional Neighborhood Design principles, gingerbread or farmhouse architectural styles/material mixes, etc.) as the adjacent Somerset Park Subdivision to create a consistent development theme throughout the area north of John King Boulevard.

(4) CH. 8; Section 2.03; Goal #1 | Policy #2 (Page 8-3). To maximize the value of properties that are directly adjacent to or across the street from a park and/or public open space, and should not back or side to the park and/or open space. If homes face onto a park and/or public open space and there is no public street, then the homes should be accessed via a mew-type street design.

Staff's Response: Homes adjacent to open spaces should face onto the open space -- instead of being oriented so that the side or rear yard faces the open space --, and be accessible by a single-loaded street. Currently, the plan could do a better job of facing homes onto open spaces as opposed to siding the homes towards these open spaces.

(5) CH. 8; Section 2.03; Goal #1 | Policy #5 (Page 8-3). Design neighborhoods utilizing the Housing Tree Model ... A method of laying out single-family lots so that the largest lots are located adjacent to main entries or perimeter streets, and smaller lots are located internal to the subdivision.

Staff's Response: The larger 100' x 150' lots should be located adjacent to John King Boulevard, SH-205, and FM-549.

(6) CH. 8; Section 2.03; Goal #3 | Policy #3 (Page 8-4). In cases where flat front entry garages (i.e. even with the front façade of the primary structure) are requested as part of a development no greater than 20.00% should be incorporated into the development. In addition, flat front entry garages should have a minimum of a 25-foot front yard building setback to allow vehicles to be parked in the driveway without overhanging public right-of-way. This type of garage may not be appropriate for all developments and should be

generally discouraged.

Staff's Response: In this case, the applicant has built in a five (5) foot recess for front entry garages; however, this does not conform to the requirements of the Engineering Standards of Design and Construction, Unified Development Code (UDC) or Comprehensive Plan. While the applicant has limited the number of forward-facing garages to 17.81% it may only be appropriate to incorporate this type of product in the areas north of John King Boulevard, as this is similar as to what was permitted in the Somerset Park Subdivision. To lessen the impact of this request, staff has included language in the PD ordinance that would incorporate a 25-foot front yard building line for all forward-facing garages. This is consistent with the Comprehensive Plan.

I.10 PD Ordinance. The ordinance submitted by the applicant is similar to what staff prepared with the previous zoning case; however, staff did make the following changes to the proposed PD Standards in the draft PD Ordinance:

- (1) Staff added a General Note in Table 2: Dimensional Requirements that addressed keystone lots. This was necessary to address fence placement and was requested by the Plans Examiner.
- (2) Staff corrected the garage section to reflect the updated lot product, lot count, and garage orientations.
- (3) Staff left Figure 9. Typical Ornamental Metal Fence with Columns from the previous zoning ordinance because it showed the shrubs adjacent to the fence which were removed from the proposed zoning ordinance.

M.11 Based on the submitted plans, please make the following corrections or provide the requested information by August 6, 2024:

- (1) Concept Plan. Please see attached markups and make corrections in accordance with staff's comments.
- (2) Concept Plan. Please add an open space table to the plan that shows the required breakdown of the open space and required open space percentage (i.e. 20.00% or 107.284 -acres).
- (3) Concept Plan. Please indicate the Lot Types in the legend.
- (4) Lay Out Plan. Please see staff's recommendations on the attached markup.
- (5) Trail Plan. The Planning and Zoning Director and Parks Director reviewed the Trail Plan to ensure looped connectivity for all trails. Based on this review, please correct the Trail Plan in accordance with the attached markups. In addition, please show the location of all five (5) foot sidewalks.
- (6) Screening Details. Please see the attached markups and make corrections in accordance with staff's comments. Staff also used the previous Typical Ornamental Metal Fence and Columns exhibit as the one (1) in the ordinance. Please consider adding the shrubs back to this detail.
- (7) Entry Monument Elevations. The plan indicates the use of a Trail Head/Rest Stop; however, no exhibit showing a Trail Head/Rest Stop was provided. Please review the examples from the John King Boulevard Corridor Plan and provide a Trail Head/Rest Stop. Alternatively, this could be designed to be incorporated into the Main Entry Signage, but at a minimum should show the things incorporated into the ordinance, and be a covered rest area. In addition, please review staff's markups and make the necessary changes.

M.12 In addition to the above required changes, staff is recommending the following:

- (1) Additional Trail Heads/Rest Stop along FM-549.
- (2) Additional Secondary Entry Signage as depicted on the Layout Plan.
- (3) Shrubs or ornamental grasses (e.g. pampas grass) be incorporated on the top of the berm along John King Boulevard.
- (4) The Type 'C' Lots along SH-205, north of the Oaks of Buffalo Way Subdivision, be changed to a Type 'A' or Type 'B' Lot.
- (5) The proposed Tree Buffer adjacent to the Somerset Park Subdivision be removed from the plan. There is no way to ensure that this is maintained in perpetuity once the homeowner assumes ownership of the property.

M.13 Please review the attached draft ordinance prior to the July 30, 2024 Planning & Zoning Commission meeting, and provide staff with your markups by August 6, 2024. Please carefully read through this document as staff has incorporated changes from what was originally submitted.

I.14 Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that is requested. Revisions for this case will be due on August 6, 2024; however, it is encouraged for applicants to submit revisions as soon as possible to give staff ample time to review the case prior to the August 13, 2024 Planning and Zoning Commission Public Hearing Meeting.

I.15 The projected City Council meeting dates for this case will be August 19, 2024 (1st Reading) and September 3, 2024 (2nd Reading).

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
ENGINEERING	Madelyn Price	07/24/2024	Approved w/ Comments

- 07/24/2024: 1. Revised site plan, engineering plan, and replat required for Peachtree subdivision to connect to proposed subdivision.
2. Suggest calling out as proposed alignment by TxDOT.
3. Minimum 5' from roadway and sidewalk pavement as well.

General Comments:

General Items:

- Must meet City 2023 Standards of Design and Construction
- 4% Engineering Inspection Fees
- Impact Fees (Water, Sewer, Roadway).
- Minimum easement width is 20' for new easements. No structures including walls allowed in easements.
- Retaining walls 3' and over must be engineered.
- All retaining walls (18" or taller) must be rock or stone face. No smooth concrete walls.
- Required 10' utility easement along all street frontages.
- All utilities must be underground. Existing overhead utility lines, if present, will need to be placed underground.
- The property must be platted.
- Tree mitigation will be required when removing existing trees on the property.
- Additional comments may be provided at time of Site Plan.
- Utility easements may not cross through residential properties. Must be in a HOA maintained lot.
- Gas Line/Easement crosses site - Letter of Permission to cross/build over.
- Need approval from NRCS/SCS for any construction in their easement

Streets/Paving:

- All Residential Streets to be concrete, 50' ROW, 29' back-to-back paving minimum with 5' sidewalk on each side. Streets must be curb and gutter style. No asphalt or rock streets.
- No dead-end streets allowed. Must have a cul-de-sac or turnaround per City Standards.
- All streets to be minimum 1-ft above the 100 YR floodplain WSEL.
- City (and TXDOT) driveway spacing requirements must be met. Driveway/street spacing requirements must be met along John King Blvd, future and ex. SH 205, and all streets/driveways.
- A Minor Collector, 2 lane, Undivided Roadway (MC) with a 60' ROW will be required running from Mercers Colony Avenue to the proposed P6D at John King Blvd. On-street parking lanes and a minimum 5' sidewalk will be required on both sides of the roadway.
- A Minor Collector, 2 lane, Undivided Roadway (MC) with a 60' ROW will be required running from Stableglen Drive to the future Stableglen Drive for RISD High School. On-street parking lanes and a minimum 5' sidewalk will be required on both sides of the roadway.
- A Minor Collector, 2 lane, Undivided Roadway (MC) with a 60' ROW will be required for Lofland Circle (must build 24' min. on the section adjacent to ex. development). A minimum 5' sidewalk will be required on both sides of the roadways if building the full width.
- Must construct all roadways on the current Master Thoroughfare Plan
- A TIA will be required. Please refer to the 2023 Standards of Design and Construction Manual (Subsection 2.21.06) for the TIA Preparation and Review Requirements. review fees apply.
- Any medians must be curbed, and streets draining away from medians.
- Future John King Extension (south of SH 205) is a 65' ROW with a 45' b-b street section

Water and Wastewater Items:

- Must loop min 8" water line on site.
- Must install min. 8" and 12" sewer mains per City master plans. Dedicate easements.
- Must install 12" water mains per City master plans. Dedicate easements.
- Only one "use" off a dead-end line (domestic, irrigation, fire sprinkler, fire hydrant, etc.)
- Must have 8" sewer line minimum through the property.
- An Infrastructural Study will be required. Review fees apply.

- Infrastructure called out to be required by study must be installed.
- City is in the design of extending sanitary sewer from south property line to the corner of John King and Goliad.
- Must follow and construct per the City's master water and sanitary sewer plans, or requirements per infrastructure study, whichever is most stringent.
- Depending on infrastructure study, certain number of lots may be built without elevated water storage tank being built and functioning.
- Property is divided by two separate water pressure plains. May not interconnect plains.
- Utilities may not cross through a property. Must be within own HOA lot within an easement. Minimum 20'.
- Sewer Pro-rata will be assessed per acre which must be paid prior to construction.
- Provide corridor for City of Heath 24-inch water transmission line that run north-south along Lofland Circle. No fencing, structures, trees, etc over line and easement. Will need to get with City of Heath on required separation distances and easement size they require.
- Provide water main stubs and wastewater stubs to all adjacent properties for future/existing development connection points.

Drainage/Floodplain/Lakes:

- Detention is required. Drainage areas larger than 20 acres will need a detention study using unit hydrograph method. Review fees apply.
- Detention must be above the 100yr floodplain elevation where adjacent.
- Detention will be out of floodplain.
- Must have a wetlands/WOTUS determination for all lakes/ponds and streams/creeks on site.
- Must have a flood study for all changes and crossing of the floodplain. Review fees apply.
- No vertical walls are allowed in detention easements.
- Must show and meet erosion hazard setback for all creeks/streams.
- Drainage easement/erosion hazard setback easement shall be in its own separate lot owned by the HOA.
- Flood plain must be in a drainage easement and the erosion hazard setback must be in a lot of it's own (HOA/Open Space lot)
- Drainage system may not cross through a property. Must be within own HOA lot within an easement. Minimum 20'.
- Lot to Lot drainage is not allowed.

Landscaping:

- No trees to be with 10' of any public water, sewer or storm line that is 10" in diameter or larger.
- No trees to be with 5' of any public water, sewer, or storm line that is less than 10".

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
BUILDING	Craig Foshee	07/22/2024	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
FIRE	Ariana Kistner	07/24/2024	Approved w/ Comments

07/24/2024: Note: POD 5 as indicated on JUNIPER / OVERALL LAYOUT PLAN would require all homes to be equipped with home fire sprinkler systems.

IFC D107.1 One- or two-family dwelling residential developments.

Developments of one- or two-family dwellings where the number of dwelling units exceeds 30 shall be provided with two separate and approved fire apparatus access roads.

Exceptions:

1. Where there are more than 30 dwelling units accessed from a single public or private fire apparatus access road and all dwelling units are equipped throughout with an approved automatic sprinkler system in accordance with Section 903.3.1.1, 903.3.1.2 or 903.3.1.3, access from two directions shall not be required.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
GIS	Lance Singleton	07/22/2024	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
POLICE	Chris Cleveland	07/23/2024	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PARKS	Travis Sales	07/22/2024	Approved w/ Comments

- 07/22/2024: 1. Trail plan looks very good and matches our Trail Master Plan
2. Renderings look good please provide landscape plan



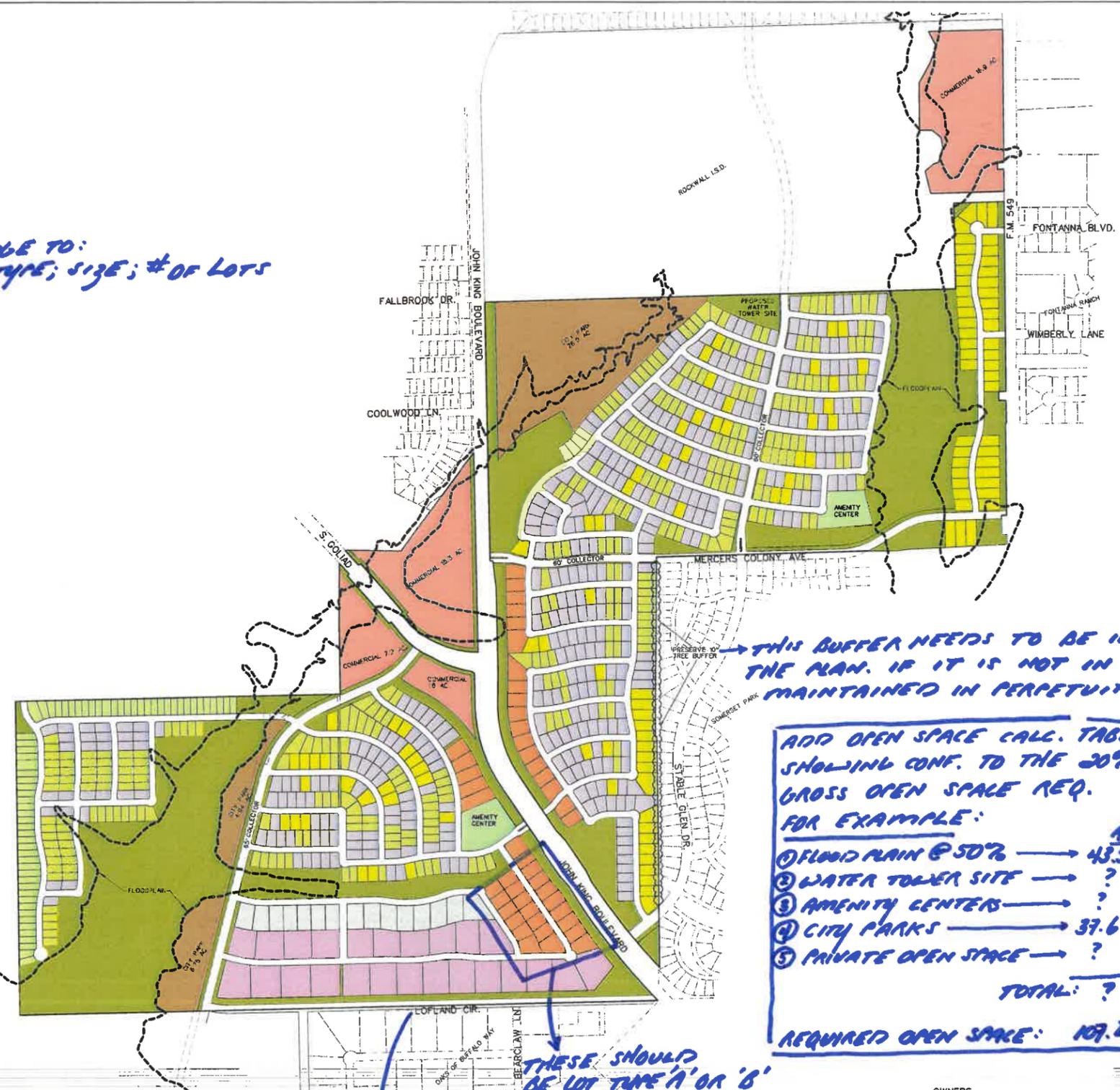
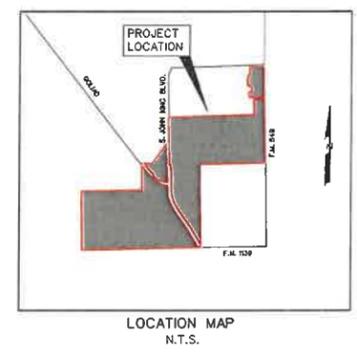
LEGEND

TYPICAL LOT SIZES

G	- 52' X 125' - 65 LOTS
F	- 62' X 125' - 308 LOTS
E	- 72' X 125' - 377 LOTS
D	- 82' X 125' - 125 LOTS
C	- 100' X 150' - 46 LOTS
B	- 100' X 200' - 15 LOTS
A	- 185' X 200' - 24 LOTS

OPEN SPACE	- 136.80 Ac.
AMENITY CENTER	- 4.81 Ac.
CITY PARK	- 37.7 Ac.
COMMERCIAL	- 41.0 Ac.

*CHANGE TO:
LOT TYPE; SIZE; # OF LOTS*



THIS BUFFER NEEDS TO BE IN AN HOA LOT OR REMOVED FROM THE PLAN. IF IT IS NOT IN AN HOA LOT IT COULD NOT BE MAINTAINED IN PERPETUITY.

ADD OPEN SPACE CALL. TABLE SHOWING CONF. TO THE 20% GROSS OPEN SPACE REQ. FOR EXAMPLE:

① FLOOD PLAIN @ 50%	→ 43.545
② WATER TOWER SITE	→ ?
③ AMENITY CENTERS	→ ?
④ CITY PARKS	→ 37.69
⑤ PRIVATE OPEN SPACE	→ ?
TOTAL:	?

REQUIRED OPEN SPACE: 109.284

THESE SHOULD BE LOT TYPE 'A' OR 'B'

LOFLAND CIRCLE WILL NEED TO BE BUILT TO A MINOR COLLECTOR STANDARD. THIS IS OUTSIDE OF THE REQUIRED LANDSCAPE BUFFER.

TOTAL ACRES	536.42
GROSS COMMERCIAL ACRES	41.0
TOTAL RESIDENTIAL LOTS	960
RESIDENTIAL DENSITY*	1.789
GROSS RESIDENTIAL DENSITY**	1.938
TOTAL FLOOD PLAIN ACRES	87.09
TOTAL OPEN SPACE ACRES	136.80

NOTE:
* CALCULATED AT (TOT RES LOTS)/(TOTAL ACRES)
** CALCULATED AT (TOT RES LOTS)/(TOTAL ACRES-GROSS COMMERCIAL ACRES)

CONCEPT PLAN OF
JUNIPER
SITUATED IN THE
W.H. BAIRD SURVEY, ABSTRACT NO. 25
A. JOHNSON SURVEY, ABSTRACT NO. 123
J.R. JOHNSON SURVEY, ABSTRACT NO. 128

OWNERS
J BOND PARTNERS, LOIS ANNE BOND, DAVID LOFLAND BOND,
WILLIAM BRIGGS LOFLAND, HUNTER SCOTT LOFLAND,
GILLIAN GRANT LOFLAND SHERER & EVELYN RUTH LOFLAND
1 CARMARTHEN COURT
DALLAS, TEXAS 75225

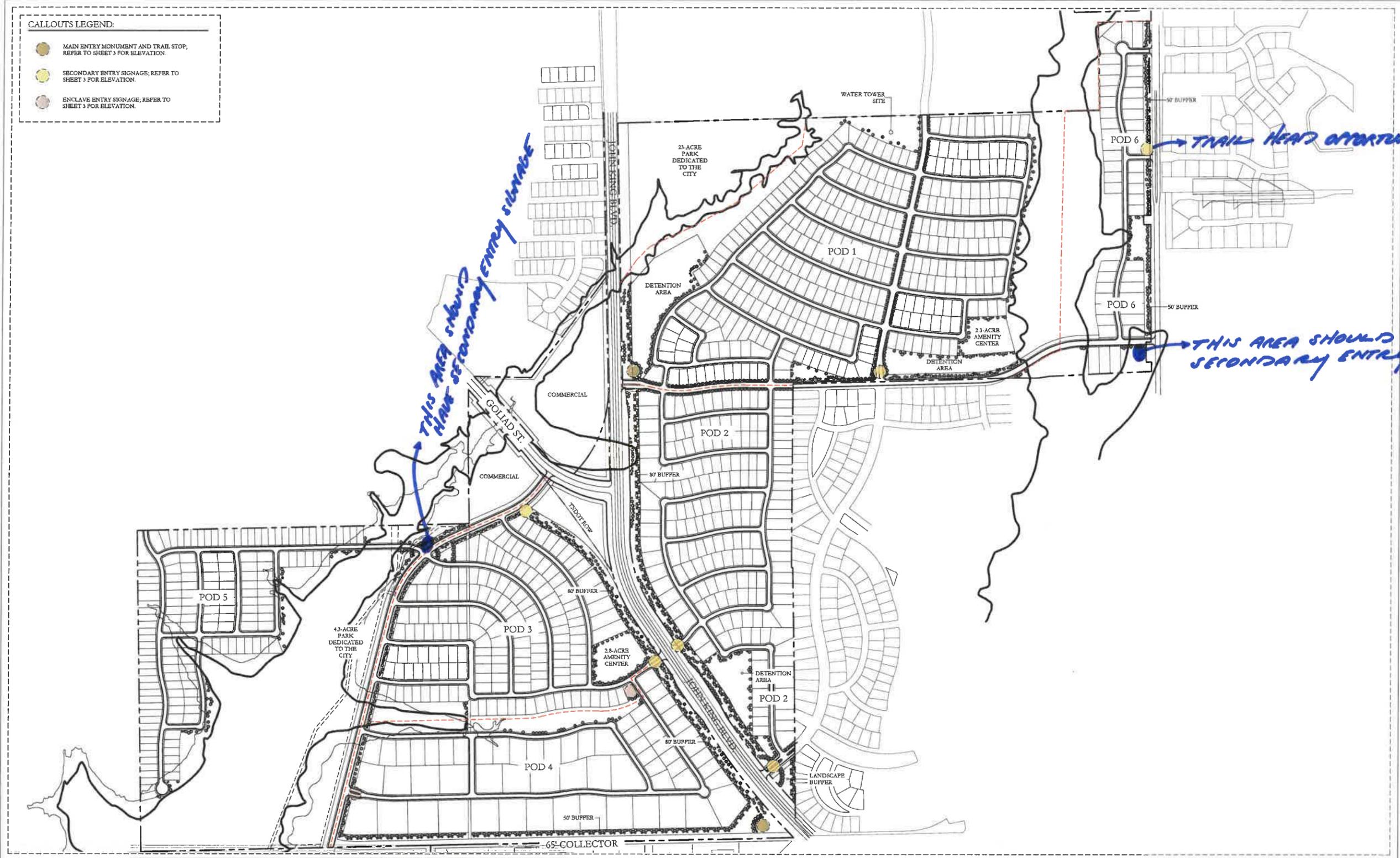
IN THE
CITY OF ROCKWALL
ROCKWALL COUNTY, TEXAS
PREPARED BY
CORWIN ENGINEERING, INC.
200 W. BELMONT, SUITE E
ALLEN, TEXAS 75013
972-398-1200

JULY 2024 SCALE 1" = 400'

CASE NO. XXXX

CALLOUTS LEGEND:

- MAIN ENTRY MONUMENT AND TRAIL STOP, REFER TO SHEET 3 FOR ELEVATION.
- SECONDARY ENTRY SIGNAGE, REFER TO SHEET 3 FOR ELEVATION.
- ENCLAVE ENTRY SIGNAGE, REFER TO SHEET 3 FOR ELEVATION.



JUNIPER / OVERALL LAYOUT PLAN

City of Rockwall, Rockwall County, Texas



SCALE: 1" = 300'-0"

SHEET 1 OF 5
Owner Submittal 7-17-2024



TRPBL.S Engineering Firm No. 11962 / Land Surveying Firm No. 10194033
704 Central Parkway East | Suite 1200 | Plano, TX 75074 | 972.201.3100

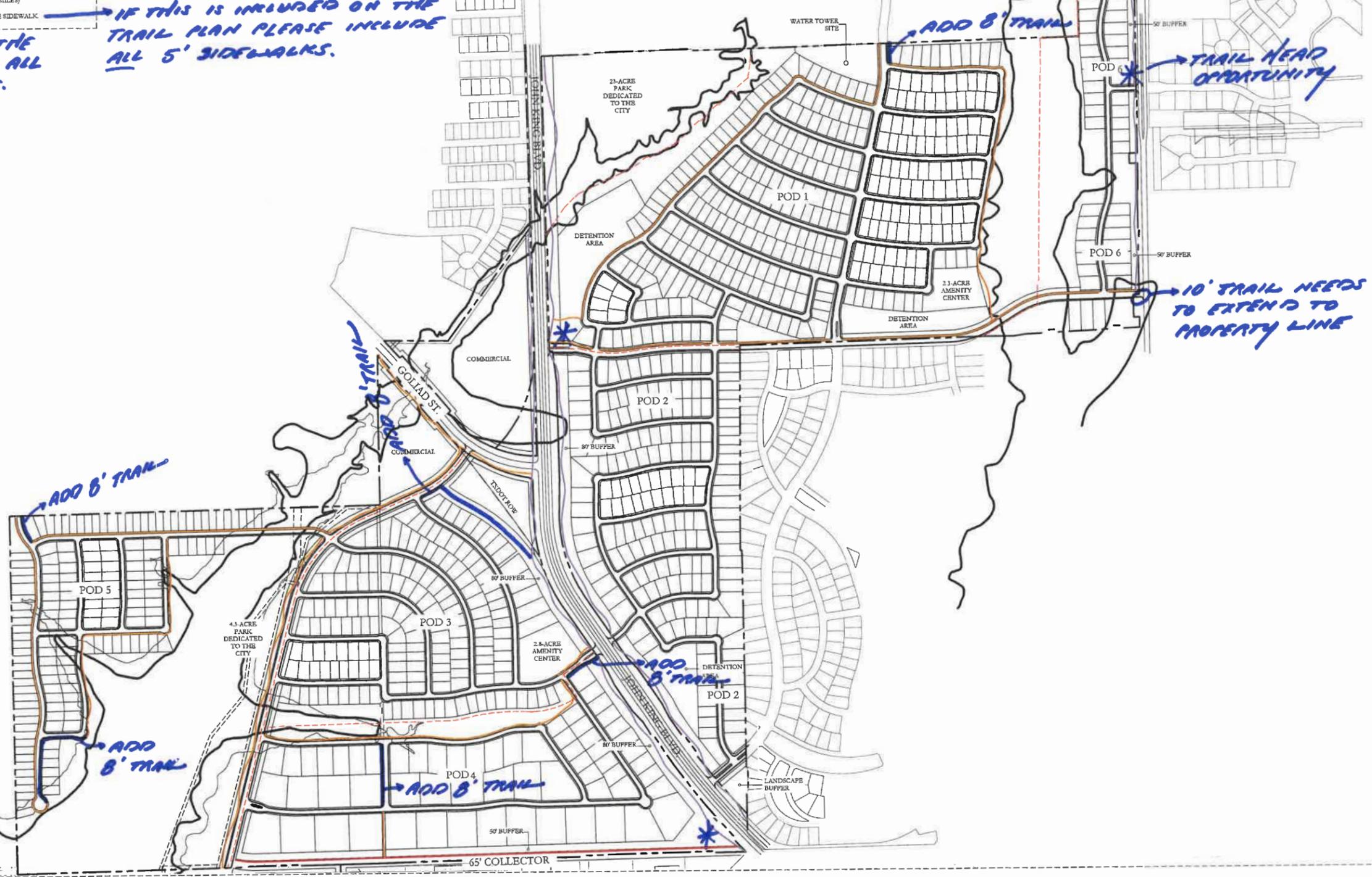
- CALLOUTS LEGEND:**
- 10' WIDTH CONCRETE TRAIL SYSTEM (APPROXIMATELY 2.38 MILES)
 - 8' WIDTH CONCRETE TRAIL SYSTEM (APPROXIMATELY 4.54 MILES)
 - 5' WIDTH CONCRETE SIDEWALK

* INDICATE THE LOCATION OF ALL TRAIL HEADS.

IF THIS IS INCLUDED ON THE TRAIL PLAN PLEASE INCLUDE ALL 5' SIDEWALKS.

TRAIL HEAD OPPORTUNITY

10' TRAIL NEEDS TO EXTEND TO PROPERTY LINE



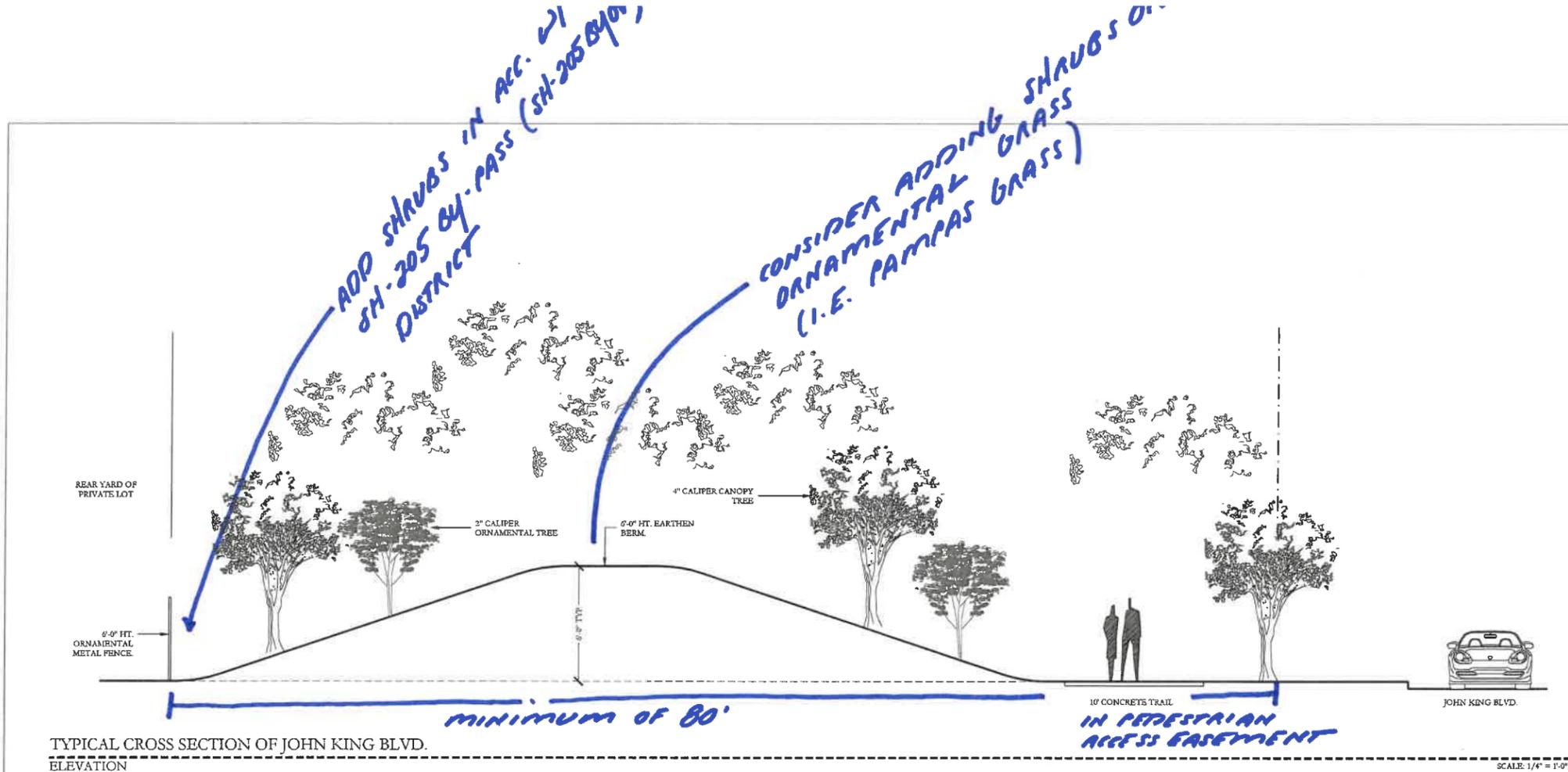
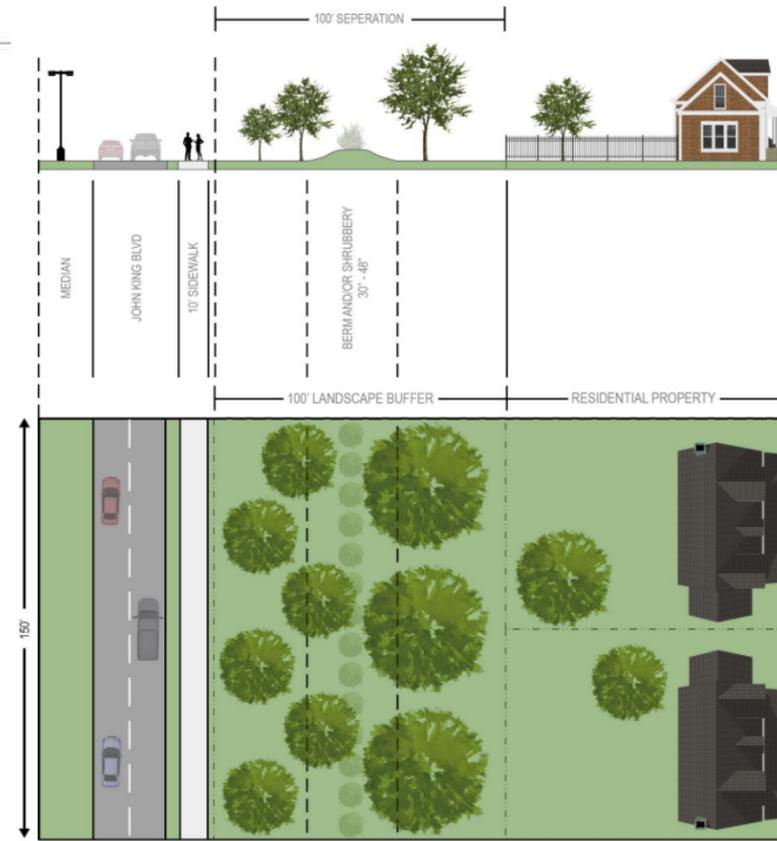
JUNIPER / OVERALL SIDEWALK AND TRAIL PLAN

City of Rockwall, Rockwall County, Texas

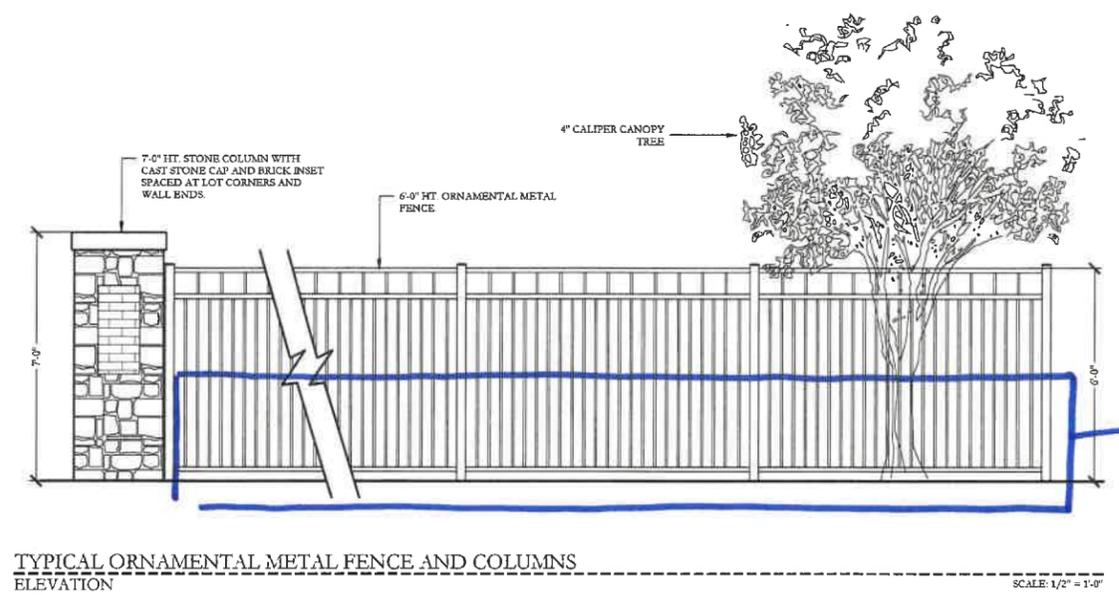


SHEET 2 OF 5
Owner Submittal 7-17-2024

JOHNSON VOLK CONSULTING
 TPE&S: Engineering Firm No. 11962 / Land Surveying Firm No. 10194033
 704 Central Parkway East | Suite 1200 | Plano, TX 75074 | 972.201.3100



TYPICAL CROSS SECTION OF JOHN KING BLVD.
ELEVATION



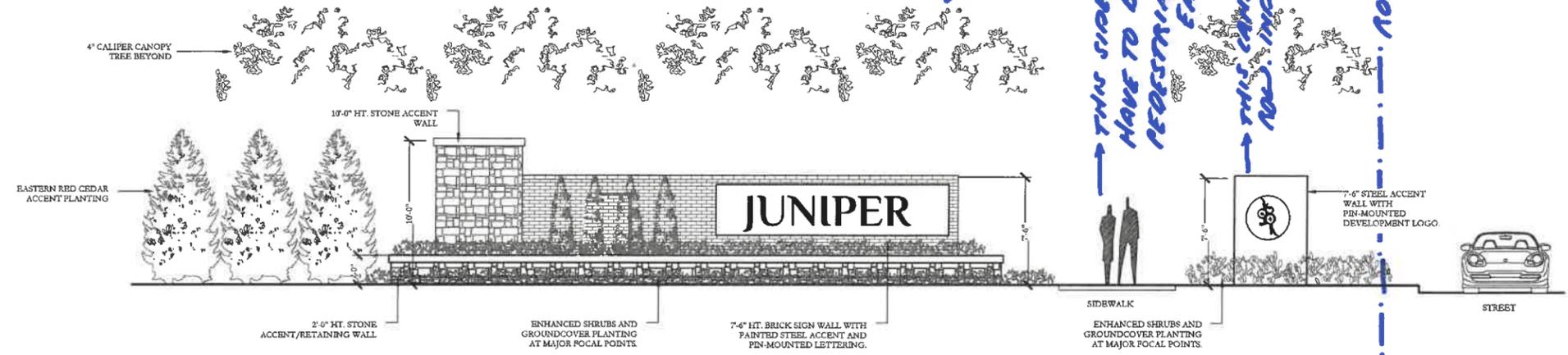
TYPICAL ORNAMENTAL METAL FENCE AND COLUMNS
ELEVATION

IN THE LAST ZONING CASE THERE WERE SHRUBS SHOWN ON THIS EXHIBIT.

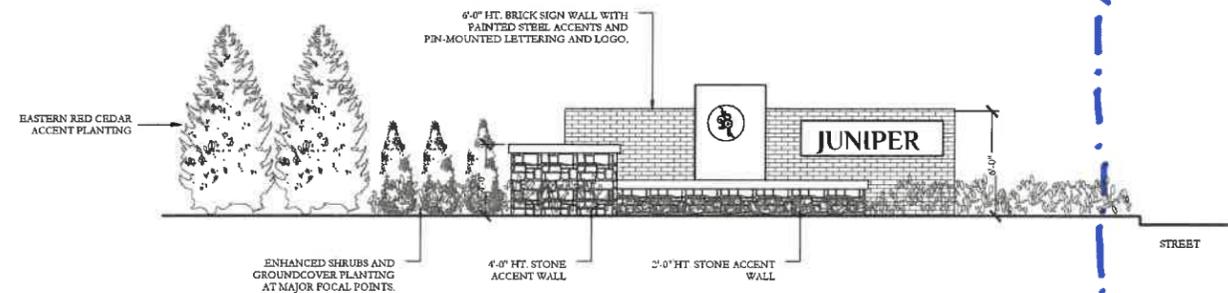
JUNIPER / TYPICAL SCREENING DETAILS

City of Rockwall, Rockwall County, Texas

*WHERE IS THE COVERED TRAIL HEAD?
 (SEE ATTACHMENT FROM COMPREHENSIVE PLAN)

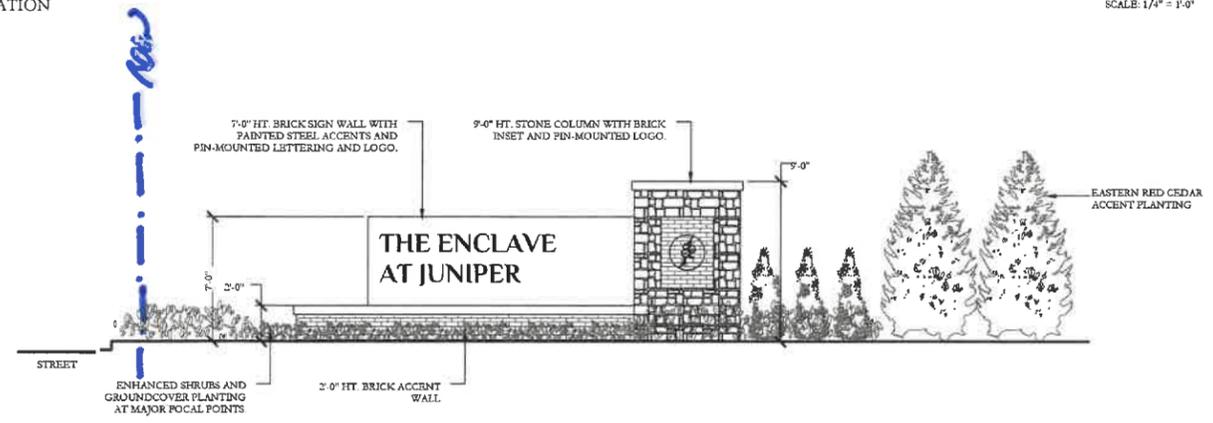


*MAIN ENTRY SIGNAGE / TRAIL HEAD OR TRAIL REST STOP
 ELEVATION

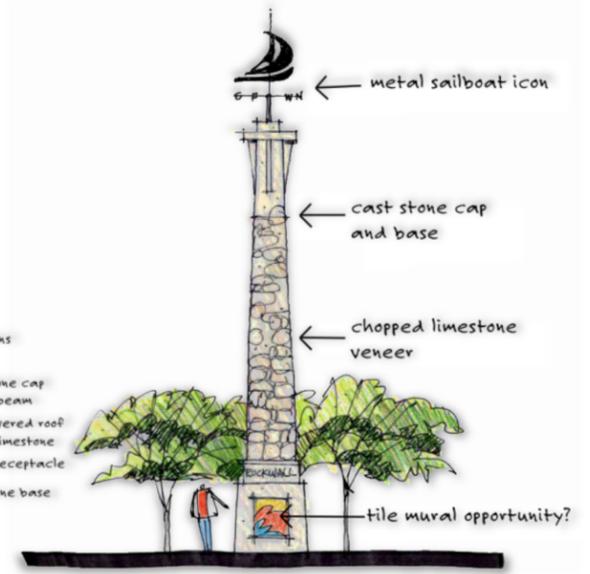
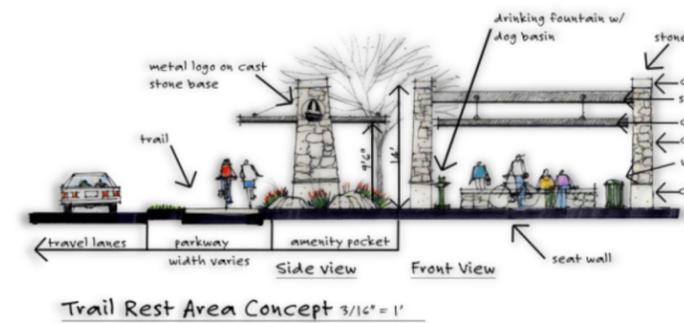


EXCEPT FROM THE COMPREHENSIVE PLAN SHOWING A TRAIL REST STOP OR TRAIL HEAD

SECONDARY ENTRY SIGNAGE
 ELEVATION

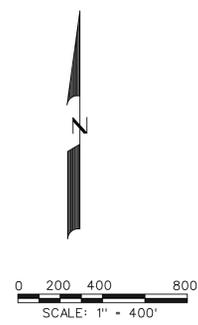


ENCLAVE ENTRY SIGNAGE
 ELEVATION



JUNIPER / ENTRY MONUMENT ELEVATIONS

City of Rockwall, Rockwall County, Texas



LEGEND	
TYPICAL LOT SIZES	
	- 52' X 125' - 65 LOTS
	- 62' X 125' - 308 LOTS
	- 72' X 125' - 377 LOTS
	- 82' X 125' - 125 LOTS
	- 100' X 150' - 46 LOTS
	- 1/2 ACRE LOT - 15 LOTS
	- 1 ACRE - 24 LOTS
	- OPEN SPACE - 136.80 Ac.
	- AMENITY CENTER - 4.81 Ac.
	- CITY PARK - 37.7 Ac.
	- COMMERCIAL - 41.0 Ac.



- General Items:**
- Must meet City 2023 Standards of Design and Construction
 - 4% Engineering Inspection Fees
 - Impact Fees (Water, Sewer, Roadway).
 - Minimum easement width is 20' for new easements. No structures including walls allowed in easements.
 - Retaining walls 3' and over must be engineered.
 - All retaining walls (18" or taller) must be rock or stone face. No smooth concrete walls.
 - Required 10' utility easement along all street frontages.
 - All utilities must be underground. Existing overhead utility lines, if present, will need to be placed underground.
 - The property must be platted.
 - Tree mitigation will be required when removing existing trees on the property.
 - Additional comments may be provided at time of Site Plan.
 - Utility easements may not cross through residential properties. Must be in a HOA maintained lot.
 - Gas Line/Easement crosses site - Letter of Permission to cross/build over.
 - Need approval from NRCS/SCS for any construction in their easement

- Streets/Paving:**
- All Residential Streets to be concrete, 50' ROW, 29' back-to-back paving minimum with 5' sidewalk on each side. Streets must be curb and gutter style. No asphalt or rock streets.
 - No dead-end streets allowed. Must have a cul-de-sac or turnaround per City Standards.
 - All streets to be minimum 1-ft above the 100 YR floodplain WSEL
 - City (and TXDOT) driveway spacing requirements must be met. Driveway/street spacing requirements must be met along John King Blvd, future and ex. SH 205, and all streets/driveways.
 - A Minor Collector, 2 lane, Undivided Roadway (MC) with a 60' ROW will be required running from Mercers Colony Avenue to the proposed P6D at John King Blvd. On-street parking lanes and a minimum 5' sidewalk will be required on both sides of the roadway.
 - A Minor Collector, 2 lane, Undivided Roadway (MC) with a 60' ROW will be required running from Stables Glen Drive to the future Stables Glen Drive for RISD High School. On-street parking lanes and a minimum 5' sidewalk will be required on both sides of the roadway.
 - A Minor Collector, 2 lane, Undivided Roadway (MC) with a 60' ROW will be required for Lofland Circle (must build 24' min. on the section adjacent to ex. development). A minimum 5' sidewalk will be required on both sides of the roadways if building the full width.
 - Must construct all roadways on the current Master Thoroughfare Plan
 - A TIA will be required. Please refer to the 2023 Standards of Design and Construction Manual (Subsection 2.21.06) for the TIA Preparation and Review Requirements. review fees apply.
 - Any medians must be curbed, and streets draining away from medians.
 - Future John King Extension (south of SH 205) is a 65' ROW with a 45' b-b street section

- Water and Wastewater Items:**
- Must loop min 8" water line on site.
 - Must install min. 8" and 12" sewer mains per City master plans. Dedicate easements.
 - Must install 12" water mains per City master plans. Dedicate easements.
 - Only one "use" off a dead-end line (domestic, irrigation, fire sprinkler, fire hydrant, etc.)
 - Must have 8" sewer line minimum through the property.
 - An Infrastructural Study will be required. Review fees apply.
 - Infrastructure called out to be required by study must be installed.
 - City is in the design of extending sanitary sewer from south property line to the corner of John King and Goliad.
 - Must follow and construct per the City's master water and sanitary sewer plans, or requirements per infrastructure study, whichever is most stringent.
 - Depending on infrastructure study, certain number of lots may be built without elevated water storage tank being built and functioning.
 - Property is divided by two separate water pressure plains. May not interconnect plains.
 - Utilities may not cross through a property. Must be within own HOA lot within an easement. Minimum 20'.
 - Sewer Pro-rata will be assessed per acre which must be paid prior to construction.
 - Provide corridor for City of Heath 24-inch water transmission line that run north-south along Lofland Circle. No fencing, structures, trees, etc over line and easement. Will need to get with City of Heath on required separation distances and easement size they require.
 - Provide water main stubs and wastewater stubs to all adjacent properties for future/existing development connection points.

- Drainage/Floodplain/Lakes:**
- Detention is required. Drainage areas larger than 20 acres will need a detention study using unit hydrograph method. Review fees apply.
 - Detention must be above the 100yr floodplain elevation where adjacent.
 - Detention will be out of floodplain.
 - Must have a wetlands/WOTUS determination for all lakes/ponds and streams/creeks on site.
 - Must have a flood study for all changes and crossing of the floodplain. Review fees apply.
 - No vertical walls are allowed in detention easements.
 - Must show and meet erosion hazard setback for all creeks/streams.
 - Drainage easement/erosion hazard setback easement shall be in its own separate lot owned by the HOA.
 - Flood plain must be in a drainage easement and the erosion hazard setback must be in a lot of it's own (HOA/Open Space lot)
 - Drainage system may not cross through a property. Must be within own HOA lot within an easement. Minimum 20'.
 - Lot to Lot drainage is not allowed.

- Landscaping:**
- No trees to be with 10' of any public water, sewer or storm line that is 10" in diameter or larger.
 - No trees to be with 5' of any public water, sewer, or storm line that is less than 10".

NOTE:
 * CALCULATED AT (TOT RES LOTS)/(TOTAL ACRES)
 ** CALCULATED AT (TOT RES LOTS)/(TOTAL ACRES-GROSS COMMERCIAL ACRES)

CONCEPT PLAN
 OF
JUNIPER
 SITUATED IN THE
 W.H. BAIRD SURVEY, ABSTRACT NO. 25
 A. JOHNSON SURVEY, ABSTRACT NO. 123
 J.R. JOHNSON SURVEY, ABSTRACT NO. 128
 IN THE
 CITY OF ROCKWALL
 ROCKWALL COUNTY, TEXAS
 PREPARED BY
CORWIN ENGINEERING, INC.
 200 W. BELMONT, SUITE E
 ALLEN, TEXAS 75013
 972-396-1200
 JULY 2024 SCALE 1" = 400'

OWNERS
 J BOND PARTNERS, LOIS ANNE BOND, DAVID LOFLAND BOND,
 WILLIAM BRIGGS LOFLAND, HUNTER SCOTT LOFLAND,
 GILLIAN GRANT LOFLAND SHERER & EVELYN RUTH LOFLAND
 1 CARMARTHEN COURT
 DALLAS, TEXAS 75225

CASE NO. XXXX

Exhibit 'F':
Density and Development Standards

meandering five (5) foot sidewalk shall be constructed within the ten (10) foot landscape buffer.

- (6) Landscape Buffer and Sidewalks (Lofland Circle). A minimum of a 50-foot landscape buffer shall be provided along Lofland Circle across from the existing residential lots in the Oaks of Buffalo Way subdivision after which point the landscape buffer may be reduced to ten (10) feet. The segment of landscape buffer that is required to be 50-feet wide shall incorporate a minimum of a 48-inch berm and a five (5) foot meandering sidewalk along the entire landscape buffer. The entire landscape buffer along Lofland Circle shall incorporate a solid living screen utilizing evergreen trees - *- either Eastern Red Cedar or Leland Cypress unless otherwise approved by the Planning and Zoning Commission at the time of PD Site Plan --*, a minimum of four (4) caliper inches in size, that will be planted on ten (10) foot centers.
- (7) Commercial Landscape Buffer (Adjacent to Residential Properties). A minimum of a 50-foot landscape buffer with a minimum of a 48-inch continuous *built-up* berm and three (3) tiered screening (*i.e. [1] a small to mid-sized shrub, [2] large shrubs or accent trees, and [3] canopy trees on 20-foot centers*) shall be provided on commercial properties that have direct adjacency to residential properties as generally depicted in *Exhibit 'C'* of this ordinance.
- (8) Landscape Screening in the Western Triangle South of Stable Glen Drive (Adjacent to the Somerset Park Subdivision). In order to create a solid living screen adjacent to the homes in the Somerset Park Subdivision that will back to the proposed open space on the west side of SH-205 (*i.e. Stable Glen Drive*) a solid living screen utilizing evergreen trees -- *either Eastern Red Cedar or Leland Cypress unless otherwise approved by the Planning and Zoning Commission at the time of PD Site Plan --*, a minimum of four (4) caliper inches in size, that will be planted on ten (10) foot centers along the entire adjacent roadway.
- (c) Street Trees. The Homeowner's Association (HOA) shall be responsible for the maintenance of all street trees and will be required to maintain a minimum of 14-foot vertical clearance height for any trees overhanging a public right-of-way. Street trees shall be planted a minimum of five (5) feet from public water, sanitary sewer and storm lines. All street trees shall be reviewed with the *PD Site Plan*.
- (d) Residential Lot Landscaping. Prior to the issuance of a Certificate of Occupancy (CO), any residential lots depicted on *Exhibit 'C'* shall be landscaped with a minimum of two (2), four (4) inch caliper canopy trees (*as measured per Article 08, Landscape and Fence Standards, of the Unified Development Code [UDC]*) within the front yard. In addition, corner lots shall be required to add a minimum of two (2), four (4) inch caliper canopy trees (*as measured per Article 08, Landscape and Fence Standards, of the Unified Development Code [UDC]*) within the side yard facing the street.
- (e) Irrigation Requirements. Irrigation shall be installed for all required landscaping located within detention areas, common areas, landscape buffers, and/or open space. Irrigation installed in these areas shall be designed by a Texas licensed irrigator or landscape architect and shall be maintained by the Homeowner's Association (HOA).
- (f) Hardscape. Hardscape plans indicating the location of all sidewalks and trails shall be reviewed and approved with the *PD Site Plan*.

minimum 5' from roadway and sidewalk pavement as well



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY
PLANNING & ZONING CASE #

NOTE: THE APPLICATION IS NOT
CITY UNTIL THE PLANNING DIRECTOR
AND CITY ENGINEER HAVE
SIGNED BELOW.

DIRECTOR OF PLANNING:
CITY ENGINEER:

SIGNED BY THE
CITY ENGINEER HAVE

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- REPLAT (\$300.00 + \$20.00 ACRE) ¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ^{1 & 2}
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) ²

NOTES:

¹ IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
² A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS FM205, TX

SUBDIVISION W.H. Baird Survey, Ab. No. 25; A. Johnson Survey, Ab No. 123; J.R. Johnson Survey, Ab. No. 128 BLOCK

GENERAL LOCATION At Intersection of Goliad & S. John King Blvd.

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING Agricultural

CURRENT USE Agricultural

PROPOSED ZONING Planned Development District

PROPOSED USE Single Family, Commercial

ACREAGE 536.42

LOTS [CURRENT]

LOTS [PROPOSED]

- SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167, THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER William Lofland

APPLICANT Michael Joyce Properties

CONTACT PERSON

CONTACT PERSON Ryan Joyce

ADDRESS 105 E. Kaufman Street

ADDRESS 767 Justin Road

CITY, STATE & ZIP Rockwall, TX 75087

CITY, STATE & ZIP Rockwall, TX 75087

PHONE

PHONE 512-965-6280

E-MAIL

E-MAIL ryan@michaeljoyceproperties.com

NOTARY VERIFICATION [REQUIRED]

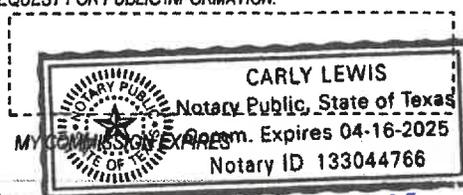
BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED William Lofland [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

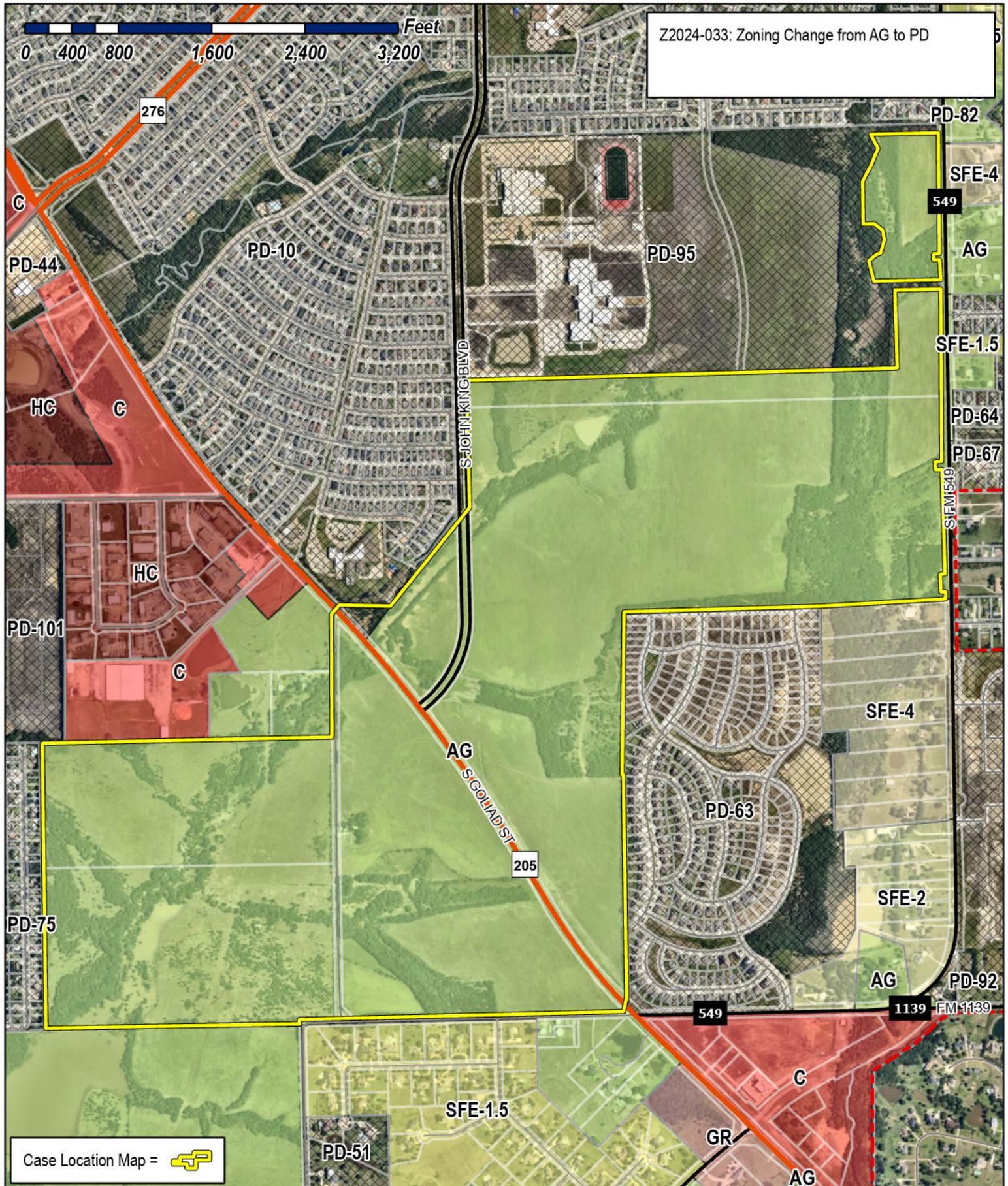
"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 8246.50 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 15th DAY OF July 2024. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 15th DAY OF July 2024.

OWNER'S SIGNATURE

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS





Z2024-033: Zoning Change from AG to PD

Case Location Map = 



City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75087
 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

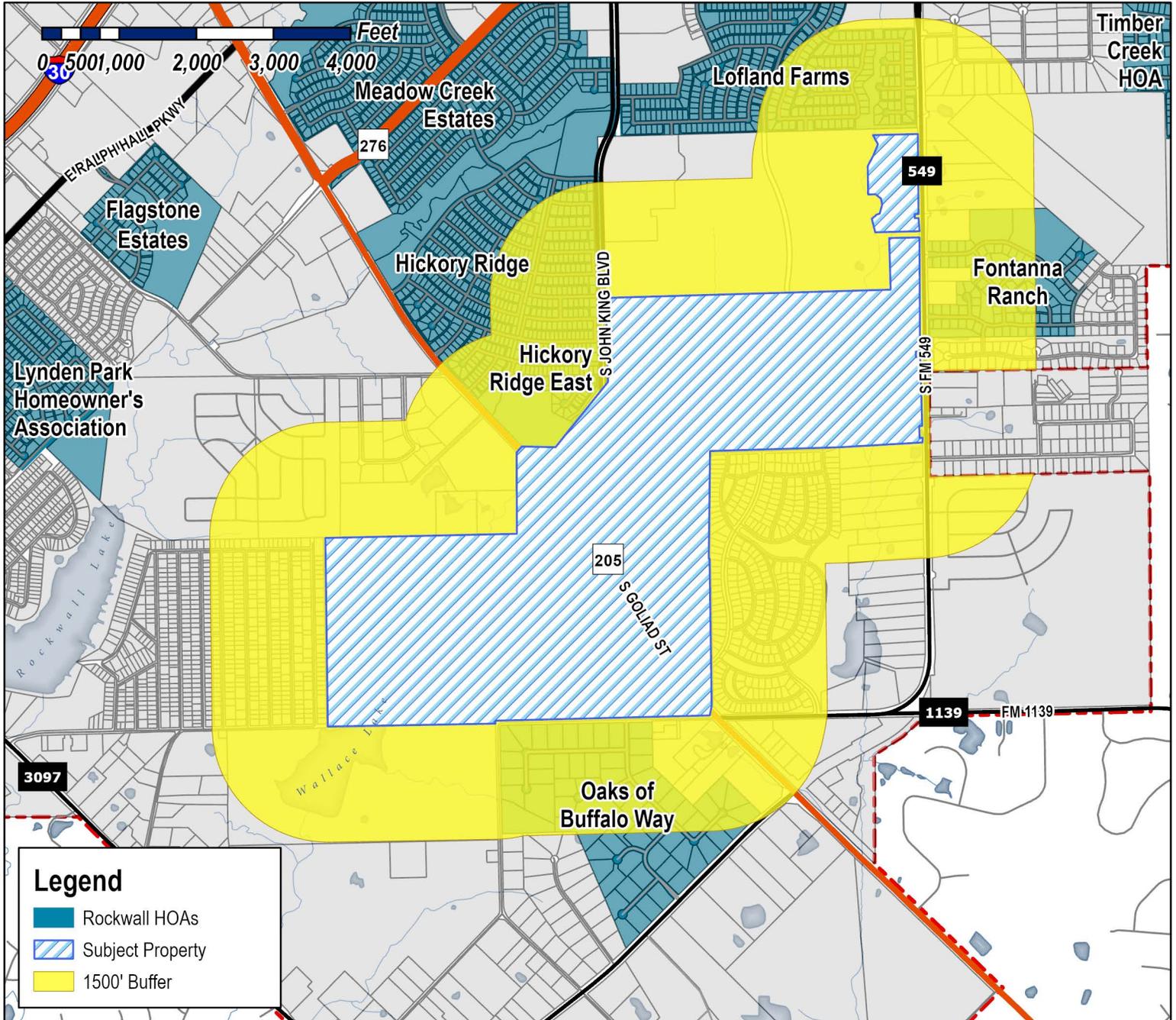




City of Rockwall

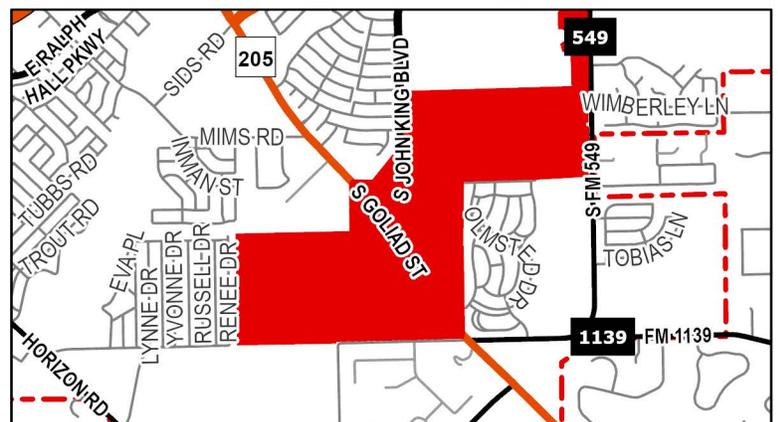
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Case Number: Z2024-033
Case Name: Zoning Change from AG to PD
Case Type: Zoning
Zoning: Agricultural (AG) District
Case Address: FM 205

Date Saved: 7/18/2024
 For Questions on this Case Call (972) 771-7745



Miller, Ryan

From: Guevara, Angelica
Sent: Wednesday, July 24, 2024 3:06 PM
Cc: Miller, Ryan; Lee, Henry; Zavala, Melanie; Ross, Bethany
Subject: Neighborhood Notification Email [Z2024-033]
Attachments: Public Notice (P&Z).pdf; HOA Map (07.19.2024).pdf

HOA/Neighborhood Association Representative:

Per your participation in the *Neighborhood Notification Program*, you are receiving this notice to inform your organization that a zoning case has been filed with the City of Rockwall that is located within 1,500-feet of the boundaries of your neighborhood. As the contact listed for your organization, you are encouraged to share this information with the residents of your subdivision. Please find the attached map detailing the property requesting to be rezoned in relation to your subdivision boundaries. Additionally, below is the summary of the zoning case that will be published in the Rockwall Herald Banner on *Friday, July 26, 2024*. The Planning and Zoning Commission will hold a public hearing on *Tuesday, August 13, 2024 at 6:00 PM*, and the City Council will hold a public hearing on *Monday, August 19, 2024 at 6:00 PM*. Both hearings will take place at 6:00 PM at City Hall, 385 S. Goliad, Rockwall, TX 75087.

All interested parties are encouraged to submit public comments via email to Planning@rockwall.com at least 30 minutes in advance of the meeting. Please include your name, address, and the case number your comments are referring to. These comments will be read into the record during each of the public hearings. Additional information on all current development cases can be found on the City's website: <https://sites.google.com/site/rockwallplanning/development/development-cases>.

Z2024-033: Zoning Change from Agricultural (AG) District to a Planned Development District

Hold a public hearing to discuss and consider a request by Ryan Joyce of Michael Joyce Properties on behalf of Bill Lofland for the approval of a *Zoning Change* from an Agricultural (AG) District to a Planned Development District for Single-Family 10 (SF-10) and General Retail (GR) District land uses on a 544.89-acre tract of land identified as Tracts 3 & 3-1 of the A. Johnson Survey, Abstract No. 123 [355.146-acres]; Tracts 7 & 7-2 of the W. H. Baird Survey, Abstract No. 25 [45.744-acres]; and Tracts 3 & 4 of the J. R. Johnson Survey, Abstract No. 128 [144.00-acres], City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, situated within the SH-205 Overlay (SH-205) and SH-205 By-Pass Overlay (SH-205 BY OV) District, generally located on the east and west side of S. Goliad Street [SH-205] at the corner of the intersection of John King Boulevard and S. Goliad Street [SH-205], and take any action necessary.

Thank you,

Angelica Guevara

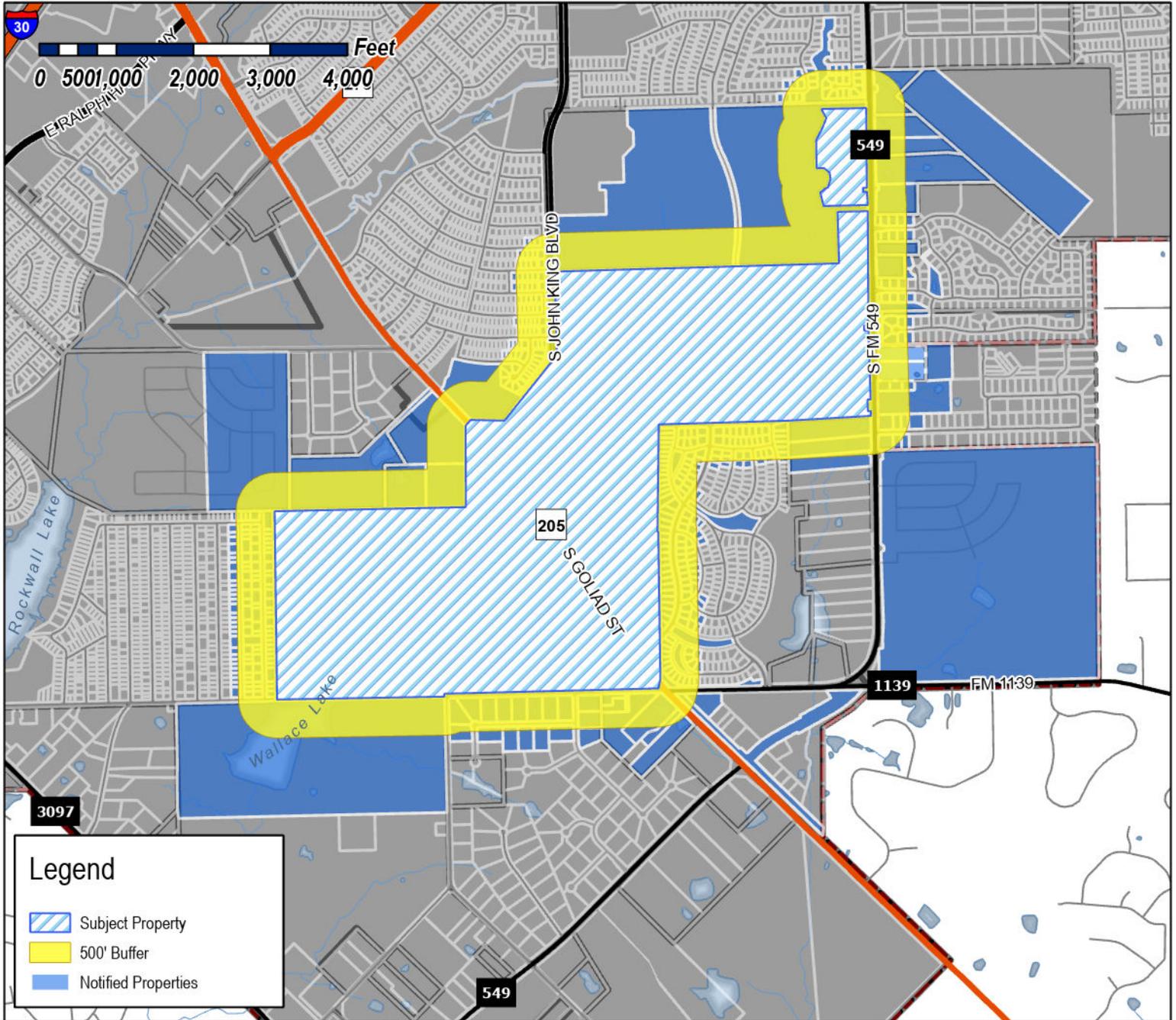
Planning Technician
City of Rockwall Planning & Zoning
385 S. Goliad Street
Rockwall, TX 75087
Office: 972-771-7745
Direct: 972-772-6438



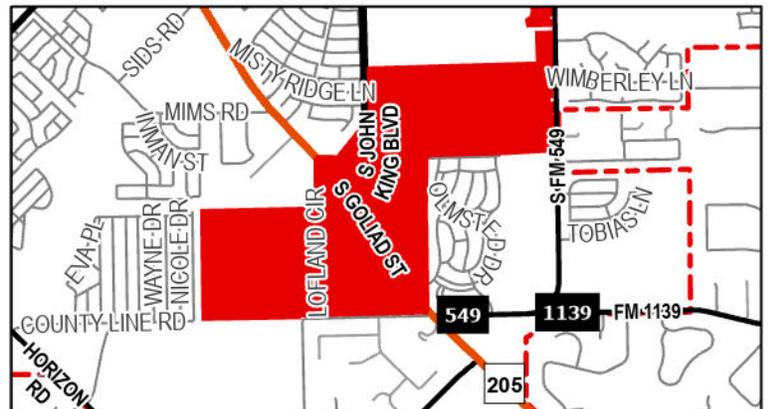
City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



Case Number: Z2024-033
Case Name: Zoning Change from AG to PD
Case Type: Zoning
Zoning: Agricultural (AG) District
Case Address: FM 205



Date Saved: 7/18/2024

For Questions on this Case Call: (972) 771-7745

ROCKWALL 205 INVESTORS LLC (1075652)
1 CANDLELITE TRAIL
HEATH, TX 75032

LOFLAND N L EST
1 CARMARTHEN CT
DALLAS, TX 75225

ROBINSON JEREMY A
10012 TISBURY DR
FRISCO, TX 75035

JDS & BHK PROPERTY MANAGEMENT FIRM LP
105 CLIPPER COURT
ROCKWALL, TX 75032

BLOOMFIELD HOMES LP
1050 E. STATE HWY 114 EAST SUITE 210
SOUTHLAKE, TX 76092

ROCKWALL INDEPENDENT SCHOOL DISTRICT
1050 WILLIAMS ST
ROCKWALL, TX 75087

ROCKWALL INDEPENDENT SCHOOL DISTRICT
1050 WILLIAMS ST
ROCKWALL, TX 75087

SHEPHERD PLACE HOMES INC
10527 CHURCH RD # 201
DALLAS, TX 75238

DEAN ANN W
106 STANDING OAK DR
GEORGETOWN, TX 78633

FLORES ALEJANDRO
1070 N BEN PAYNE RD
ROCKWALL, TX 75087

PANTZAY MARVIN A FLORES AND
SULEIMA Y MONTERROSO
111 NICOLE DRIVE
ROCKWALL, TX 75032

SRP SUB, LLC
1131 W WARNER RD STE 102
SCOTTSDALE, AZ 85284

RESIDENT
115 RENEE DR
ROCKWALL, TX 75032

RESIDENT
116 NICOLE
ROCKWALL, TX 75032

RESIDENT
118 RENEE DR
ROCKWALL, TX 75032

HP TEXAS I LLC
120 SOUTH REIVERSIDE PLAZA SUITE 2000
CHICAGO, IL 60606

OLIVARES JAIME
1209 QUAIL DR
GARLAND, TX 75040

OLIVARES JAIME B & MARTINA G
1209 QUAIL DR
GARLAND, TX 75040

ODOM TERRI S
122 JAMS LN
ROCKWALL, TX 75032

WING-PAL LLC
1227 WOODLAWN AVE
DALLAS, TX 75208

WING-PAL LLC
1227 WOODLAWN AVE
DALLAS, TX 75208

SIERRA ZACARIAS RAMIREZ
1244 COUNTY ROAD 2278
QUINLAN, TX 75474

SIERRA ZACARIAS RAMIREZ
1244 COUNTY ROAD 2278
QUINLAN, TX 75474

SIERRA ZACARIAS RAMIREZ
1244 COUNTY ROAD 2278
QUINLAN, TX 75474

THE STATE OF TEXAS, BY AND THROUGH THE
TEXAS TRANSPORTATION COMMISSION
125 E 11TH STREET
AUSTIN, TX 78701

VASQUEZ FRANCISCO
125 NICOLE DR
ROCKWALL, TX 75032

RESIDENT
127 RENEE DR
ROCKWALL, TX 75032

RESIDENT
130 RENEE DR
ROCKWALL, TX 75032

LAU VIVIAN SO FAN AND
RUSSELL THETU LY
131 W SANTA ANITA TERRACE
ARCADIA, CA 91007

VALDEZ JOSE G
1311 PRATO AVE
MCLENDON CHISHOLM, TX 75032

RESIDENT
137 NICOLE DR
ROCKWALL, TX 75032

GUTIERREZ EFREN
1385 LOCHSPRING DR
ROCKWALL, TX 75032

GUTIERREZ EFREN
1385 LOCHSPRING DR
ROCKWALL, TX 75032

RESIDENT
139 RENEE DR
ROCKWALL, TX 75032

IBARRA MATEO CASTRO
140 NICOLE DR
ROCKWALL, TX 75032

CONTRERAS JOSE A
142 RENEE DR
ROCKWALL, TX 75032

RESIDENT
149 NICOLE DR
ROCKWALL, TX 75032

NGO HA THAI
1508 GRETCHEN DR
CEDAR PARK, TX 78613

NGO HA THAI
1508 GRETCHEN DR
CEDAR PARK, TX 78613

RESIDENT
152 NICOLE DR
ROCKWALL, TX 75032

KIRK NORMAN & CHRISTI
156 JAMS LN
ROCKWALL, TX 75032

SFR JV-2 2023-1 BORROWER LLC
15771 RED HILL AVE STE 100
TUSTIN, CA 92780

RESIDENT
159 NICOLE DR
ROCKWALL, TX 75032

VASQUEZ JESUS AND ROSA
162 RENEE DR
ROCKWALL, TX 75032

PENA ISAAC
16300 CR 250
TERRELL, TX 75160

RESIDENT
164 NICOLE DR
ROCKWALL, TX 75032

TOUOBOUN CHRISTOPHER
1648 TROW BRIDGE
ROCKWALL, TX 75032

VASQUEZ JESUS
167 RENEE DR
ROCKWALL, TX 75032

ROCK RANDALL L
1704 ASBURY DR
WYLIE, TX 75098

IBARRA GABRIELA AND
EDUARDO OSORNIO
171 CRAWFORD LN
ROYSE CITY, TX 75189

BASWELL KEVIN T & SUZANN J
1715 S FM 549
ROCKWALL, TX 75032

SRP SUB LLC
1717 MAIN ST SUITE 2000
DALLAS, TX 75201

LOFLAND FARMS OWNERS ASSOC.
C/O SPECTRUM ASSOCIATION MANAGEMENT
17319 SAN PEDRO SUITE 318
SAN ANTONIO, TX 78232

MILLER FAMILY INVESTMENT LP
17430 CAMPBELL RD STE 230
DALLAS, TX 75252

CONTRERAS JOSE LUIS AND
JUANA DIAZ
1750 E FM 550
ROCKWALL, TX 75032

RESIDENT
176 NICOLE DR
ROCKWALL, TX 75032

MEJIA JULIO & MARIA
176 RENEE DR
ROCKWALL, TX 75032

WALKER JANICE L
1777 FM 549
ROCKWALL, TX 75032

ANDRADE MARTIN &
MARIO VALENZUELA
179 WILLOW RIDGE CIR
ROCKWALL, TX 75032

RESIDENT
1791 FM549
ROCKWALL, TX 75032

WILLIAMS MELISSA L
180 JAMS LANE
ROCKWALL, TX 75032

HICKORY RIDGE EAST HOMEOWNERS ASSOC
1800 PRESTON PARK BLVD STE 101
PLANO, TX 75093

MEDRANO CESAR AND ANDREA MARTINEZ
181 RENEE DR
ROCKWALL, TX 75032

HERNANDEZ FELICITAS
183 NICOLE DR
ROCKWALL, TX 75032

BARKER JOHNNY
184 WILLOW RIDGE CIRCLE
ROCKWALL, TX 75032

FKH SFR PROPCO B-HLD, LP
C/O FIRST KEY HOMES LLC
1850 PARKWAY PLACE SUITE 900
MARIETTA, GA 30067

TERMINI EUGENE D & BONNIE
1851 S FM 549
ROCKWALL, TX 75032

UC JOSE LUIS GPE XOOL
GELLY DELROSARIO
186 NICOLE DR
ROCKWALL, TX 75032

DICHARD CHRIS E
1903 FM 549
ROCKWALL, TX 75032

RESIDENT
191 RENEE DR
ROCKWALL, TX 75032

PEARSON GREGORY AND VICKI
1920 BROKEN LANCE LANE
ROCKWALL, TX 75032

SCHUETTE JASON & BARBARA
1925 BROKEN LANCE LN
ROCKWALL, TX 75032

CASSAR JEFFREY AND JENNIFER
193 ELVIS PRESLEY LN
ROCKWALL, TX 75032

CARMONA JOSE
194 RENEE DRIVE
ROCKWALL, TX 75032

BADER MARKUS AND KIMBERLY
1940 BROKEN LANCE LN
ROCKWALL, TX 75032

RESIDENT
195 NICOLE DR
ROCKWALL, TX 75032

PODLESKI GREGG T & MARIANNE
1950 BROKEN LANCE LN
ROCKWALL, TX 75032

INGRAM JAMES KENDELL
1957 S FM 549
ROCKWALL, TX 75032

RESIDENT
196 NICOLE DR
ROCKWALL, TX 75032

WILKINSON RICHARD S
1970 BROKEN LANCE LANE
ROCKWALL, TX 75032

RESIDENT
1990 BROKEN LANCE LN
ROCKWALL, TX 75032

THOMPSON WILLIAM R ETUX
20 CALLE DEL SOL
SAN JUAN, PR 901

MOORE JAMES S AND KATRINA D
2005 BROKEN LANCE LANE
ROCKWALL, TX 75032

RUIZ SONIA
2009 WORCESTER LN
GARLAND, TX 75040

LEDEZMA J SOCORRO AGUILAR
201 RENEE DRIVE
ROCKWALL, TX 75032

DELK GREGORY S AND SANDRA G
2020 BROKEN LANCE LN
ROCKWALL, TX 75032

HOOVER WILLIAM A AND TAMMY
2025 BROKEN LANCE LANE
ROCKWALL, TX 75032

CURTIS PAMELA
2040 BROKEN LANCE LN
ROCKWALL, TX 75032

BAKER ALEXANDER AND
ARTEMIS LI
2045 BROKEN LANCE LN
ROCKWALL, TX 75032

TIPPETT TERRANCE & EMILY
2060 BROKEN LANCE LANE
ROCKWALL, TX 75032

RESIDENT
2065 BROKEN LANCE LN
ROCKWALL, TX 75032

RESIDENT
207 NICOLE DR
ROCKWALL, TX 75032

RESIDENT
208 NICOLE DR
ROCKWALL, TX 75032

DRENTH HOWARD D AND TERESSA
2080 BROKEN LANE
ROCKWALL, TX 75032

IMBURGIA JOHN & GRACE
211 ELVIS PRESLEY LN
ROCKWALL, TX 75032

GAINOUS LESLIE III AND
ERICA ESCOBAR
2110 NEW HOLLAND DRIVE
ROCKWALL, TX 75032

RESIDENT
2120 NEW HOLLAND DR
ROCKWALL, TX 75032

DOWNUM CHRIS D & JULIE W
2130 GLEANER DR
ROCKWALL, TX 75032

CAVETT DEBRA
2130 NEW HOLLAND DR
ROCKWALL, TX 75032

ZMOLIK JUSTIN LAWRENCE
2139 SOUTH FM 549
ROCKWALL, TX 75032

MEJIA SERGIO
2140 GLEANER DR
ROCKWALL, TX 75032

DUNK DAWNETTA M VAN
2140 NEW HOLLAND DR
ROCKWALL, TX 75032

WOOLDRIDGE KATHERINE W
2150 GLEANER DR
ROCKWALL, TX 75032

RESIDENT
221 RENEE DR
ROCKWALL, TX 75032

CARMONA JOEL
221 NICOLE DR
ROCKWALL, TX 75032

RESIDENT
222 NICOLE DR
ROCKWALL, TX 75032

RANDALL ROBERT S JR & MARY LYNN
2287 S FM 549
ROCKWALL, TX 75032

VAZQUEZ JORGE A AND SYLVIA
230 RENEE DR
ROCKWALL, TX 75032

VAZQUEZ JORGE A AND SYLVIA
230 RENEE DR
ROCKWALL, TX 75032

RESIDENT
2301 S JOHN KING BLVD
ROCKWALL, TX 75032

KANAK INVESTMENTS LLC
2321 FIELDCREST DR
ROCKWALL, TX 75032

RESIDENT
233 RENEE DR
ROCKWALL, TX 75032

RESIDENT
2380 FM549
ROCKWALL, TX 75032

RESIDENT
2390 S FM549
ROCKWALL, TX 75032

AMH 2014-2 BORROWER LLC
23975 PARK SORRENTO SUITE 300
CALABASAS, CA 91302

AMERICAN HOMES 4 RENT PROPERTIES TWO
LLC
23975 PARK SORRENTO SUITE 300
CALABASAS, CA 91302

SH DEV KLUTTS ROCKWALL LLC
2400 DALLAS PARKWAY SUITE 460
PLANO, TX 75093

DIGGS DAVID WILEY
2401 LOUDON ST WEST
ROCKWALL, TX 75032

WILLIAMS DAVIS CRAIG AND JENNIFER IRENE
2405 LOUDON ST WEST
ROCKWALL, TX 75032

SWAIN STEPHEN & CAROL J
2406 LOUDON ST E
ROCKWALL, TX 75032

GIL ANNA AND JULIAN
2409 LOUDON STREET WEST
ROCKWALL, TX 75032

MORENO IGNACIO & CRISPIN
241 TROUT ST
ROCKWALL, TX 75032

NAMIE NOMIE M III AND GINA MARIE
2413 LOUDON ST WEST
ROCKWALL, TX 75032

BOLDEN QUINTEN TIBERIUS AND
ALEXANDER NICHOLAS KUJAK
2417 LOUDON ST WEST
ROCKWALL, TX 75032

ACKERMAN DANYELL AND ALAN
2418 LOUDON STREET EAST
ROCKWALL, TX 75032

MARTINEZ ALEXANDRA ISABEL PRIETO AND
ANGEL JAVIER SANCHEZ ROJAS
2419 LOUDON ST WEST
ROCKWALL, TX 75032

HUGHES BRYAN
2423 LOUDON ST WEST
ROCKWALL, TX 75032

RESIDENT
2424 FM549
ROCKWALL, TX 75032

RESIDENT
245 RENEE DR
ROCKWALL, TX 75032

SANCHEZ PABLO
248 NICOLE DR
ROCKWALL, TX 75032

RESIDENT
250 NICOLE DR
ROCKWALL, TX 75032

RESIDENT
250 RENEE DR
ROCKWALL, TX 75032

RESIDENT
2500 LOUDON ST W
ROCKWALL, TX 75032

FONTANNA RANCH HOMEOWNERS
ASSOCIATION INC
C/O ASSURED MANAGEMENT
2500 LEGACY DR SUITE 220
FRISCO, TX 75034

DE LOS SANTOS CARLOS AND MARGOT
2501 LOUDON ST WEST
ROCKWALL, TX 75032

RESIDENT
2502 LINDBERG ST
ROCKWALL, TX 75032

FURLONG FAMILY TRUST
2502 LONG COMMON NORTH
ROCKWALL, TX 75032

RESIDENT
2503 MERCERS COLONY AVE
ROCKWALL, TX 75032

JOHNSTON RODNEY DURRAL JR AND KIMBERLY
D
2504 LOUDON ST EAST
ROCKWALL, TX 75032

SIGNO FAMILY LIVING TRUST
GENARO A SIGNO AND JULITA R SIGNO-
TRUSTEES
2505 LOUDON STREET WEST
ROCKWALL, TX 75032

RESIDENT
2506 LINDBERG ST
ROCKWALL, TX 75032

RESIDENT
2507 MERCERS COLONY AVE
ROCKWALL, TX 75032

GATEWOOD PAULA AND WADE
2509 LOUDON ST W
ROCKWALL, TX 75032

RESIDENT
2510 LINDBERG ST
ROCKWALL, TX 75032

RESIDENT
2513 MERCERS COLONY AVE
ROCKWALL, TX 75032

JOSHI MAYURESH S AND
BINITA SINHA
2513 LOUDON ST WEST
ROCKWALL, TX 75032

ROSS SCOTT TRAVIS AND MEGAN
2517 LOUDON ST WEST
ROCKWALL, TX 75032

TAYLOR SHELLY A
2518 LONG COMMON NORTH
ROCKWALL, TX 75032

GARZA SIMONE M & HEATH
2518 LOUDON ST E
ROCKWALL, TX 75032

DENSON PATRICIA ANN
2521 LOUDON ST WEST
ROCKWALL, TX 75032

RESIDENT
2600 LONG COMMON S
ROCKWALL, TX 75032

BOCK FAMILY TRUST OF 2003
JOSEPH C AND SHIZUKO BOCK-TRUSTEES
2601 LONG COMMON SOUTH
ROCKWALL, TX 75032

RODRIGUEZ EVANGELINA PARRA & KRYSTAL
MARIE RODRIGUEZ
2601 PATRICIA LN
GARLAND, TX 75041

RESIDENT
2605 MERCERS COLONY AVE
ROCKWALL, TX 75032

RESIDENT
2608 LINDBERG ST
ROCKWALL, TX 75032

RESIDENT
2609 MERCERS COLONY AVE
ROCKWALL, TX 75032

RESIDENT
2612 LINDBERG ST
ROCKWALL, TX 75032

RESIDENT
2613 MERCERS COLONY AVE
ROCKWALL, TX 75032

RESIDENT
2616 LINDBERG ST
ROCKWALL, TX 75032

RESIDENT
2617 LINDBERG ST
ROCKWALL, TX 75032

RESIDENT
2617 MERCERS COLONY AVE
ROCKWALL, TX 75032

DEBRA JEAN CRUZ TRUST
DEBRA JEAN CRUZ - TRUSTEE
262 RENEE DR
ROCKWALL, TX 75032

RESIDENT
2620 LINDBERG ST
ROCKWALL, TX 75032

RESIDENT
2621 MERCERS COLONY AVE
ROCKWALL, TX 75032

RESIDENT
2623 LINDBERG ST
ROCKWALL, TX 75032

RESIDENT
2624 LINDBERG ST
ROCKWALL, TX 75032

RESIDENT
2625 MERCERS COLONY AVE
ROCKWALL, TX 75032

RESIDENT
2628 LINDBERG ST
ROCKWALL, TX 75032

RESIDENT
2629 MERCERS COLONY AVE
ROCKWALL, TX 75032

RESIDENT
2631 LINDBERG ST
ROCKWALL, TX 75032

RESIDENT
2632 LINDBERG ST
ROCKWALL, TX 75032

RESIDENT
2635 LINDBERG ST
ROCKWALL, TX 75032

RESIDENT
2636 LINDBERG ST
ROCKWALL, TX 75032

RESIDENT
2639 LINDBERG ST
ROCKWALL, TX 75032

AYALA FRANCISCO & MARIA L
265 RENEE DR
ROCKWALL, TX 75032

AYALA FRANCISCO & MARIA L
265 RENEE DR
ROCKWALL, TX 75032

RESIDENT
274 NICOLE DR
ROCKWALL, TX 75032

RESIDENT
2741 MASSEY LN
ROCKWALL, TX 75032

PAXTON CLAUDIA
2750 MASSEY LN
ROCKWALL, TX 75032

RESIDENT
2751 MASSEY LN
ROCKWALL, TX 75032

GARCIA ROBERT & GLENDA
2760 MASSEY LN
ROCKWALL, TX 75032

LAFLEUR SIEGEN
2761 MASSEY LANE
ROCKWALL, TX 75032

SULLIVAN BRANDI KATHERINE
2770 MASSEY LN
ROCKWALL, TX 75032

STANDIFER JEREMY B & KATHRYN
2771 MASSEY LN
ROCKWALL, TX 75032

MUENKS RUSSELL JOHN
2771 MCCORMICK CT
ROCKWALL, TX 75032

RESIDENT
283 NICOLE DR
ROCKWALL, TX 75032

RETTMAN KRISTIE
2830 DEUTZ COURT
ROCKWALL, TX 75032

GILMORE TODD AND TIFFANY
2831 DUETZ CT
ROCKWALL, TX 75032

SNYDER STACY & CHARLES
2840 DEUTZ CT
ROCKWALL, TX 75032

WHITTERN STEVEN B & JERALYN LOUISE
2841 DEUTZ CT
ROCKWALL, TX 75032

DUNN DAVID IRVIN II
2841 HAYMAKER DR
ROCKWALL, TX 75032

JIMENEZ RICARDO
2847 TANGLEGLEN DR
ROCKWALL, TX 75032

RESIDENT
2850 DEUTZ CT
ROCKWALL, TX 75032

RESIDENT
2851 HAYMAKER DR
ROCKWALL, TX 75032

SERCY WILLIAM CHARLES AND
NORMAN WAYNE SERCY AND MARSHA MARIE
SERCY
2851 DEUTZ CT
ROCKWALL, TX 75032

DUNAWAY LORI J
2860 DEUTZ COURT
ROCKWALL, TX 75032

RESIDENT
2861 DEUTZ CT
ROCKWALL, TX 75032

WARREN MICHAEL & RENEE
2861 HAYMAKER DR
ROCKWALL, TX 75032

FOWLER KATELIN
2871 DEUTZ COURT
ROCKWALL, TX 75032

FLORES LISANDRA CONTRERAS
288 NICOLE DRIVE
ROCKWALL, TX 75032

RIVERA DORIS MABEL
288 RENEE DR
ROCKWALL, TX 75032

RESIDENT
291 RENEE DR
ROCKWALL, TX 75032

LAYZA & LUNA REAL ESTATE LLC
2922 S GOLIAD ST
ROCKWALL, TX 75032

RESIDENT
2922 S HWY205
ROCKWALL, TX 75032

SOSA LORENA
293 NICOLE DR
ROCKWALL, TX 75032

FRANKLIN J BACHMAN TRUST
CYNTHIA KAY BACHMAN TRUSTEE
3001 SAN MARCOS DR
ROCKWALL, TX 75032

CRENSHAW JANET AND GERALD S
3005 SAN MARCOS DR
ROCKWALL, TX 75032

SCHOEN DAVID L AND MARY F
3006 SAN MARCOS DRIVE
ROCKWALL, TX 75032

VITAR RODOLFO AND IRMA
3009 FONTANA BOULEVARD
ROCKWALL, TX 75032

HERNANDEZ ARMANDO AND DARLA DEANETTE
3009 SAN MARCOS DRIVE
ROCKWALL, TX 75032

WARNELL DONALD L AND MARIA D
3009 WIMBERLEY LN
ROCKWALL, TX 75032

POUNDS PAMELA AND PAUL B
3010 FONTANNA BLVD
ROCKWALL, TX 75032

JONES KRISTINE KAYE AND
JOSE ENRIQUE FRESQUEZ
3010 SAN MARCOS DRIVE
ROCKWALL, TX 75032

BATSON NICHOLAS AND JESSIE
3010 WIMBERLEY LANE
ROCKWALL, TX 75032

CHISHOLM JILL MARIE
3011 FONTANA BLVD
ROCKWALL, TX 75032

DAWA DAWA AND
TENZIN LHAMO
3011 WIMBERLEY LANE
ROCKWALL, TX 75032

LOESCH RICHARD C & LISA
3012 FONTANNA BOULEVARD
ROCKWALL, TX 75032

SHOMETTE WILLIAM TODD AND KERRI PARSONS
3012 WIMBERLEY LN
ROCKWALL, TX 75032

THEKEN JAMES JR AND JACQUELINE
3013 FONTANA BLVD
ROCKWALL, TX 75032

COWARD ERICA AND RICHARD
3013 SAN MARCOS DRIVE
ROCKWALL, TX 75032

THOMPSON WILLIAM AND KATHY
3013 WIMBERLEY LN
ROCKWALL, TX 75087

RAYSON BRIAN CHRISTOPHER & MISTY MICHELE
3014 FONTANA BOULEVARD
ROCKWALL, TX 75032

RILEY CHRISTINE
3014 SAN MARCOS DRIVE
ROCKWALL, TX 75032

ZAZAKIS LAURA J AND JOHN
3014 WIMBERLEY LANE
ROCKWALL, TX 75032

TURNER CALEB MAURICE
3015 FONTANNA BLVD
ROCKWALL, TX 75032

PARKER LYNN TERRY
3015 WIMBERLEY LN
ROCKWALL, TX 75032

SIMMONS COLTON D AND DANIELLE
3016 FONTANNA DR
ROCKWALL, TX 75032

RESIDENT
302 NICOLE DR
ROCKWALL, TX 75032

RESIDENT
3025 LIMESTONE HILL LN
ROCKWALL, TX 75032

MENDEZ ALAN ERNESTO ROJAS AND YAZMIN
ACOSTA MEJIA
303 RENEE DR
ROCKWALL, TX 75032

CULBERTSON JACK NEAL
3046 DUSTY RIDGE DR
ROCKWALL, TX 75032

RESIDENT
3047 FALLBROOK DR
ROCKWALL, TX 75032

MAH JEFFERY
305 BLANCO CIR
SOUTHLAKE, TX 76092

RESIDENT
3054 DUSTY RIDGE DR
ROCKWALL, TX 75032

RESIDENT
3054 FALLBROOK DR
ROCKWALL, TX 75032

RESIDENT
3055 DEER RIDGE DR
ROCKWALL, TX 75032

CANO LORENZO E & BRENDA L
3055 FALLBROOK DR
ROCKWALL, TX 75032

NICKERSON TERENCE & DOROTHIA
3061 DUSTY RIDGE DR
ROCKWALL, TX 75032

RESIDENT
3062 DUSTY RIDGE DR
ROCKWALL, TX 75032

MCWHORTER RODNEY & VICKIE
3062 DEER RIDGE DR
ROCKWALL, TX 75032

VILLA CORNELIO & ESTHER
3062 FALLBROOK DR
ROCKWALL, TX 75032

CRESPIN DEBRA
3063 DEER RIDGE DR.
ROCKWALL, TX 75032

TATE ERIN ELIZABETH
3063 FALLBROOK DR
ROCKWALL, TX 75032

ROMERO ANA L AND MARIO ROMERO CEDANO
3067 DUSTY RIDGE DRIVE
ROCKWALL, TX 75032

BURNS A STACEY
3070 DEER RUDGE DR
ROCKWALL, TX 75032

TUGGLE JERRY R & KATHRYN M
3070 DUSTY RIDGE DRIVE
ROCKWALL, TX 75032

MADRID AYDEE E
3070 FALLBROOK DR
ROCKWALL, TX 75032

RESIDENT
3071 FALLBROOK DR
ROCKWALL, TX 75032

FORT PHILLIP D & TYRA W
3071 DEER RIDGE DR
ROCKWALL, TX 75032

STEWART RUDOLPH & BETTY
3073 DUSTY RIDGE DR
ROCKWALL, TX 75032

RESIDENT
3078 FALLBROOK DR
ROCKWALL, TX 75032

RESIDENT
3078 LIMESTONE HILL LN
ROCKWALL, TX 75032

THOMPSON LISA
3078 DEER RIDGE DR
ROCKWALL, TX 75032

CARRANZA GILBERTO E
3078 DUSTY RIDGE DR
ROCKWALL, TX 75032

RESIDENT
3079 DUSTY RIDGE DR
ROCKWALL, TX 75032

RESIDENT
3079 FALLBROOK DR
ROCKWALL, TX 75032

WESSON LAURIE K
3079 DEER RIDGE DR
ROCKWALL, TX 75032

MONTEZON CECILE & DENNIS
3081 COOLWOOD LANE
ROCKWALL, TX 75032

ARISTA ISAAC & WILMA KAY
3083 MISTY RIDGE LN
ROCKWALL, TX 75032

TOWNSEND NINA
3084 MISTY RIDGE LN
ROCKWALL, TX 75032

CEVALLOS JASON & MARY
3086 LIMESTONE HILL LN
ROCKWALL, TX 75032

CARRANZA LUCY
3087 DEER RIDGE DR
ROCKWALL, TX 75032

ZENDEJAS JUAN & YOLANDA AYALA
3087 DUSTY RIDGE DR
ROCKWALL, TX 75032

PALMA MAYRA A & YOVANI D
3087 FALLBROOK DR
ROCKWALL, TX 75032

RESIDENT
3089 COOLWOOD LN
ROCKWALL, TX 75032

COLE LAURA & OMODAMWEN
3090 DUSTY RIDGE DR
ROCKWALL, TX 75032

REIDLINGER CALEB R & SARA D
3090 FALLBROOK DR
ROCKWALL, TX 75032

JARMAN EMMA
3091 MISTY RIDGE LN
ROCKWALL, TX 75032

RESIDENT
3092 COOLWOOD LN
ROCKWALL, TX 75032

RESIDENT
3092 MISTY RIDGE LN
ROCKWALL, TX 75032

DENNIS AMY L
3094 LIMESTONE HILL LN
ROCKWALL, TX 75032

RESIDENT
3097 COOLWOOD LN
ROCKWALL, TX 75032

RICCELLI JEANINE MARIE
3099 MISTY RIDGE LN
ROCKWALL, TX 75032

SLATTER SARAH KIMBERLY
3100 COOLWOOD LN
ROCKWALL, TX 75032

REGGIA DANIELLE R
3100 MISTY RIDGE LN
ROCKWALL, TX 75032

CHOKHAWALA AMAR AND SIMABEN V SHAH
3102 LIMESTONE HILL LN
ROCKWALL, TX 75032

GARNER AMY
3105 MISTY RIDGE LN
ROCKWALL, TX 75032

OCHOA RENE
3107 COOLWOOD LANE
ROCKWALL, TX 75032

RESIDENT
3108 MISTY RIDGE LN
ROCKWALL, TX 75032

HAYES KRISTOPHER
3108 COOLWOOD LN
ROCKWALL, TX 75032

RUSHING MASON & JACLYN A
3111 MISTY RIDGE LANE
ROCKWALL, TX 75032

RESIDENT
3112 LIMESTONE HILL LN
ROCKWALL, TX 75032

GODWIN JULIE AND BOBBY
3112 SAN MARCOS
ROCKWALL, TX 75032

RESIDENT
3116 COOLWOOD LN
ROCKWALL, TX 75032

RESIDENT
3116 MISTY RIDGE LN
ROCKWALL, TX 75032

CALDERON DAVID & MARIBEL
3117 MISTY RIDGE LANE
ROCKWALL, TX 75032

FOX PATRICK AND MEGAN
3119 COOLWOOD LANE
ROCKWALL, TX 75032

RESIDENT
312 NICOLE DR
ROCKWALL, TX 75032

ESPARZA MARCO A
312 RENEE DR
ROCKWALL, TX 75032

RESIDENT
3124 MISTY RIDGE LN
ROCKWALL, TX 75032

VARGAS JOSE A
3124 COOLWOOD LN
ROCKWALL, TX 75032

KILPATRICK KERRY LYNN & JENNY LYNN
3125 MISTY RIDGE LN
ROCKWALL, TX 75032

RESIDENT
3129 COOLWOOD LN
ROCKWALL, TX 75032

ROJAS AMITAY HUERTA AND SORANGEL PEREZ
PARADA
3132 COOLWOOD LN
ROCKWALL, TX 75032

RESIDENT
3137 COOLWOOD LN
ROCKWALL, TX 75032

STRANG DANIEL EDWARD AND SUSANNE LEIGH
3158 LUCHENBACK TRL
ROCKWALL, TX 75032

SAGNIBENE JOE AND LISA
3162 LUCKENBACH TRAIL
ROCKWALL, TX 75032

RESIDENT
319 RENEE DR
ROCKWALL, TX 75032

BENITES ROSA
322 NICOLE DR
ROCKWALL, TX 75032

BRAGA GUILHERME CREDIDIO & YASMINI
RAMOS IZIDORO
327 NICOLE DRIVE
ROCKWALL, TX 75032

JIMENEZ RICARDO
330 RENEE DR
ROCKWALL, TX 75032

EAGLE MHS CONTRACTING INC
3336 MORNING LIGHT DRIVE
DALLAS, TX 75228

ESPARZA ABEL AND MONICA CARMONA
336 NICOLE DR
ROCKWALL, TX 75032

RESIDENT
337 RENEE DR
ROCKWALL, TX 75032

SWAIT TIFFANY
3402 POST OAK DR
ROCKWALL, TX 75032

MENDOZA MIGUEL
3410 POST OAK DR
ROCKWALL, TX 75032

RESIDENT
3418 POST OAK DR
ROCKWALL, TX 75032

WOODWARD CHERIE J
3426 POST OAK DR
ROCKWALL, TX 75032

KRANTZ BRIAN K & KATHERINE A
3434 POST OAK DRIVE
ROCKWALL, TX 75032

TORRES LUIS & TERESA HERNANDEZ
344 COUNTY LINE RD
ROCKWALL, TX 75032

ANDERSON ERICKA RENEE
3442 POST OAK DR
ROCKWALL, TX 75032

RESIDENT
3450 POST OAK DR
ROCKWALL, TX 75032

BEAVERS SHIRLEY
3460 POST OAK DR
ROCKWALL, TX 75032

OROZCO ARMANDO
3465 POST OAK DR
ROCKWALL, TX 75032

RESIDENT
3468 POST OAK DR
ROCKWALL, TX 75032

COVINGTON TEVIN TYLER
3469 POST OAK DRIVE
ROCKWALL, TX 75032

MILLAN TRESSO & LEODEGARIA
3472 POST OAK DR
ROCKWALL, TX 75032

LEWIS REX STEPHEN
3473 POST OAK DR
ROCKWALL, TX 75032

TERRELL JUSTIN C & DESIREE N
3476 POST OAK DRIVE
ROCKWALL, TX 75032

TSIC ASSOCIATES HOLDINGS TRUST
350 MEADOW GATE RD
MEADOW VISTA, CA 95722

ARCADIA LAKES OF SOMERSET HOLDINGS LLC
3500 MAPLE AVENUE #1165
DALLAS, TX 75219

ARCADIA LAKES OF SOMERSET HOLDINGS LLC
3500 MAPLE AVENUE #1165
DALLAS, TX 75219

DIAZ FRANCISCO & MANUELA
352 WAYNE DR
ROCKWALL, TX 75032

DIAZ FRANCISCO & MANUELA
352 WAYNE DR
ROCKWALL, TX 75032

RESIDENT
353 NICOLE DR
ROCKWALL, TX 75032

RESIDENT
358 RENEE DR
ROCKWALL, TX 75032

CONTRERAS NORMA
360 NICOLE DR
ROCKWALL, TX 75032

CONTRERAS NORMA
360 NICOLE DR
ROCKWALL, TX 75032

RESIDENT
3601 STABLEGLEN DR
ROCKWALL, TX 75032

RESIDENT
3602 STABLEGLEN DR
ROCKWALL, TX 75032

RESIDENT
3606 STABLEGLEN DR
ROCKWALL, TX 75032

RESIDENT
3607 STABLEGLEN DR
ROCKWALL, TX 75032

RESIDENT
363 RENEE DR
ROCKWALL, TX 75032

WONG IU YAM IRENE
36-38 GLENWOOD AVE
PITTSFIELD, MA 1201

RESIDENT
3702 OLMSTEAD DR EAST
ROCKWALL, TX 75032

RESIDENT
3702 SELBORNE DR
ROCKWALL, TX 75032

RESIDENT
3703 BURLING ST
ROCKWALL, TX 75032

RESIDENT
3703 OLMSTEAD DR
ROCKWALL, TX 75032

RESIDENT
3705 HERRICK ST
ROCKWALL, TX 75032

RESIDENT
3705 STABLEGLEN DR
ROCKWALL, TX 75032

RESIDENT
3706 OLMSTEAD DR EAST
ROCKWALL, TX 75032

RESIDENT
3706 SELBORNE DR
ROCKWALL, TX 75032

RESIDENT
3707 BURLING ST
ROCKWALL, TX 75032

RESIDENT
3707 OLMSTEAD DR
ROCKWALL, TX 75032

RESIDENT
3709 STABLEGLEN DR
ROCKWALL, TX 75032

RESIDENT
3710 BURLING ST
ROCKWALL, TX 75032

RESIDENT
3710 OLMSTEAD DR EAST
ROCKWALL, TX 75032

RESIDENT
3710 SELBORNE DR
ROCKWALL, TX 75032

RESIDENT
3711 BURLING ST
ROCKWALL, TX 75032

RESIDENT
3711 OLMSTEAD DR
ROCKWALL, TX 75032

RESIDENT
3713 STABLEGLEN DR
ROCKWALL, TX 75032

RESIDENT
3714 OLMSTEAD DR EAST
ROCKWALL, TX 75032

RESIDENT
3714 SELBORNE DR
ROCKWALL, TX 75032

RESIDENT
3715 OLMSTEAD DR
ROCKWALL, TX 75032

RESIDENT
3717 STABLEGLEN DR
ROCKWALL, TX 75032

RESIDENT
3718 OLMSTEAD DR EAST
ROCKWALL, TX 75032

RESIDENT
3718 SELBORNE DR
ROCKWALL, TX 75032

RESIDENT
3719 OLMSTEAD DR
ROCKWALL, TX 75032

RESIDENT
372 NICOLE DR
ROCKWALL, TX 75032

RESIDENT
3721 STABLEGLEN DR
ROCKWALL, TX 75032

RESIDENT
3722 OLMSTEAD DR EAST
ROCKWALL, TX 75032

RESIDENT
3722 SELBORNE DR
ROCKWALL, TX 75032

RESIDENT
3723 OLMSTEAD DR
ROCKWALL, TX 75032

RESIDENT
3725 SELBORNE DR
ROCKWALL, TX 75032

RESIDENT
3725 STABLEGLEN DR
ROCKWALL, TX 75032

RESIDENT
3726 SELBORNE DR
ROCKWALL, TX 75032

RESIDENT
3727 OLMSTEAD DR
ROCKWALL, TX 75032

RESIDENT
3729 STABLEGLEN DR
ROCKWALL, TX 75032

RESIDENT
373 RENEE DR
ROCKWALL, TX 75032

RESIDENT
3731 OLMSTEAD DR
ROCKWALL, TX 75032

RESIDENT
3735 OLMSTEAD DR
ROCKWALL, TX 75032

RESIDENT
3739 OLMSTEAD DR
ROCKWALL, TX 75032

RESIDENT
3743 OLMSTEAD DR
ROCKWALL, TX 75032

MCCLOUD JOY ANN
375 NICOLE DR
ROCKWALL, TX 75032

RESIDENT
3801 OLMSTEAD DR
ROCKWALL, TX 75032

RESIDENT
3805 OLMSTEAD DR
ROCKWALL, TX 75032

RESIDENT
3808 LOFLAND CIR
ROCKWALL, TX 75032

FORREST FRANK & KELLI LAFON
3808 LOFLAND CIR
ROCKWALL, TX 75032

FORREST FRANK & KELLI LAFON
3808 LOFLAND CIR
ROCKWALL, TX 75032

RESIDENT
3809 OLMSTEAD DR
ROCKWALL, TX 75032

ILKENHANS JAMES CURTIS
3813 OLMSTED DRIVE
ROCKWALL, TX 75032

RESIDENT
382 NICOLE
ROCKWALL, TX 75032

RESIDENT
383 RENEE DR
ROCKWALL, TX 75032

CASTILLO JOSE &
LUZ DELGAEDO
383 LAKESIDE DR
ROCKWALL, TX 75032

RESIDENT
3831 HERRICK ST
ROCKWALL, TX 75032

RESIDENT
386 RENEE DR
ROCKWALL, TX 75032

RESIDENT
3875 SELBORNE DR
ROCKWALL, TX 75032

ROLDAN EMILY ELIZABETH AND IVAN
3901 STABLEGLEN DR
ROCKWALL, TX 75032

OSMUN DAVID CHARLES AND MARISHA
3902 STABLEGLEN DR
ROCKWALL, TX 75032

TORRES MARCUS ANTHONY AND AMANDA E
3905 STABLEGLEN AVE
ROCKWALL, TX 75032

CONFIDENTIAL OWNER
3906 STABLEGLEN DR
ROCKWALL, TX 75032

MOORE STEPHANIE RAAN AND RODNEY WAYNE
3909 STABLEGLEN DRIVE
ROCKWALL, TX 75032

GILMORE CARA D
3910 STABLEGLEN DR
ROCKWALL, TX 75032

GALLOWAY BRENT JR & JACQUELINE
3913 STABLEGLEN DRIVE
ROCKWALL, TX 75032

MICHAEL BOBIE AND SUSAN L BOBIE LIVING
TRUST
MICHAEL BOBIE AND SUSAN L BOBIE- TRUSTEES
3917 STABLEGLEN DRIVE
ROCKWALL, TX 75032

RESIDENT
395 RENEE DR
ROCKWALL, TX 75032

SANCHEZ ARNULFO AND ORALIA VARGAS
395 NICOLE DR
ROCKWALL, TX 75087

SANCHEZ ARNULFO & ORALIA
398 NICOLE DR
ROCKWALL, TX 75032

SANCHEZ ARNULFO
398 NICOLE DR
ROCKWALL, TX 75032

GUERRERO ALVARO AND
MARGARITA CASTILLO
400 RENEE RD
ROCKWALL, TX 75032

ARMSTRONG HOYT AND MIMI TU ANH
4001 STABLEGLEN DR
ROCKWALL, TX 75032

BECOMING ONE MINISTRY & COUNSELING
CENTER
4002 STABLEGLEN DRIVE
ROCKWALL, TX 75032

ARCHIBALD KAREN AND MATTHEW
4003 STABLEGLEN DRIVE
ROCKWALL, TX 75032

HUNTER BRIAN JEFFREY AND JENNIFER LYNN
4006 STABLEGLEN DR
ROCKWALL, TX 75032

SEUMANUTAFU JOHN AND CHRISTINE
4009 STABLEGLEN DRIVE
ROCKWALL, TX 75032

BETTEVY RYAN A & KIMBERLY
4010 QUINCY STREET
ROCKWALL, TX 75032

TOPALOVIC NIKOLA AND KAYLEE NAN
4010 STABLEGLEN DRIVE
ROCKWALL, TX 75032

DUKE ROCHELLE
4013 OLMSTED DRIVE
ROCKWALL, TX 75032

HALL HUNTER AND KELSEY
4013 STABLEGLEN DRIVE
ROCKWALL, TX 75032

JANDREW DUSTY R AND JUSTIN C
4014 QUINCY STREET
ROCKWALL, TX 75032

BURNS TONYA KAY AND AUBREY LEE
4014 STABLEGLEN DR
ROCKWALL, TX 75032

RESIDENT
4015 QUINCY ST
ROCKWALL, TX 75032

LONG PAIGE MICHELE AND RYAN KEATHLEY
4017 OLMSTED DRIVE
ROCKWALL, TX 75032

RAMSBOTTOM DAVID BRADLEY AND DAWN
4018 QUINCY STREET
ROCKWALL, TX 75032

WESLEY ERIC CHARLES & TERRI LASHON
4019 QUINCY STREET
ROCKWALL, TX 75032

GUARDIOLA SOCORRO AND
JESSICA GUAZZONE
4023 QUINCY ST
ROCKWALL, TX 75032

TROST COOPER RANDALL & JENNIFER
4027 QUINCY ST
ROCKWALL, TX 75032

RESIDENT
408 NICOLE
ROCKWALL, TX 75032

UNDERWOOD MARK AND MICHELLE
4101 QUINCY STREET
ROCKWALL, TX 75032

HENSON DAVID ROSS AND DEBORAH PROWSE
4101 STABLEGLEN DRIVE
ROCKWALL, TX 75032

RESIDENT
4102 STABLEGLEN DR
ROCKWALL, TX 75032

SIMS RUSSELL ROBERT AND CALLIE MICHELLE
4105 QUINCY STREET
ROCKWALL, TX 75032

COOK BROOKE AND MATTHEW
4105 STABLEGLEN DRIVE
ROCKWALL, TX 75032

PARSON JESSICA L AND CHRISTOPHER P
4106 STABLEGLEN DR
ROCKWALL, TX 75032

CAMP DARROL B AND TASHIA F
4109 STABLEGLEN DR
ROCKWALL, TX 75032

DIVITTORIO ZEB ROBERT AND KELSEY LYNN
4110 STABLEGLEN DR
ROCKWALL, TX 75032

ROSOFF AMY LYNN
4111 QUINCY STREET
ROCKWALL, TX 75032

HIGDON RICKIE LEE AND ASUNCION MARINA
4113 STABLEGLEN DR
ROCKWALL, TX 75032

RESIDENT
414 RENEE DR
ROCKWALL, TX 75032

IRWIN MATTHEW LEE AND MYLIN NICOLE
4202 STABLEGLEN DRIVE
ROCKWALL, TX 75032

PATTERSON KENNETH EARL AND CYNTHIA A
4205 STABLEGLEN DR
ROCKWALL, TX 75032

SHEPHERD JEFFREY W AND PAMELA A
4206 STABLE GLEN DRIVE
ROCKWALL, TX 75032

RESIDENT
4207 QUINCY ST
ROCKWALL, TX 75032

BURKHALTER JEFFREY MICHAEL AND LINDSEY
ANN
4209 STABLEGLEN DR
ROCKWALL, TX 75032

RESIDENT
421 NICOLE DR
ROCKWALL, TX 75032

MELI JILL MARIE
4210 QUINCY ST
ROCKWALL, TX 75032

ROBINSON JOSEPH BROOKS
4210 STABLEGLEN DRIVE
ROCKWALL, TX 75032

OCONNELL PETER JAMES AND MICHELLE ANN
4214 QUINCY ST
ROCKWALL, TX 75032

BROWN KAREN D
4215 STABLEGLEN DRIVE
ROCKWALL, TX 75032

DRCE TRUST
4219 ASHMONT CT
DALLAS, TX 75287

DRCE TRUST
4219 ASHMONT CT
DALLAS, TX 75287

MARTINEZ RONALD W GOMEZ AND PAOLA I
CASTILLO
424 NICOLE DR
ROCKWALL, TX 75032

LOPEZ SILVIA
430 RENEE DR
ROCKWALL, TX 75032

TRAVIS MARK SUMMIT AND KAITLYN MAE
4301 STABLEGLEN DRIVE
ROCKWALL, TX 75032

HERNANDEZ RAUL RALPH
4302 STABLEGLEN DRIVE
ROCKWALL, TX 75032

VIDICAN FLORIN
4306 STABLEGLEN DRIVE
ROCKWALL, TX 75032

PETERSEN JOEL AND LEIGHANN MARIE
4309 STABLEGLEN DRIVE
ROCKWALL, TX 75032

RESIDENT
431 NICOLE DR
ROCKWALL, TX 75032

MURRAY BRADY & JENNIFER
4310 STABLE GLEN DRIVE
ROCKWALL, TX 75032

ROBERTS KYLE & KATELIN
4314 SELBORNE DR
ROCKWALL, TX 75032

MILLIGAN BYRON PEYTON AND MELANIE BAILEY
4317 STABLEGLEN DR
ROCKWALL, TX 75032

LIRA MARCELINO JOSE &
ROZENEIDE S SOUSA LINS
4318 SELBORNE DR
ROCKWALL, TX 75032

RESIDENT
4319 STABLEGLEN DR
ROCKWALL, TX 75032

RESIDENT
433 RENEE DR
ROCKWALL, TX 75032

RESIDENT
441 NICOLE DR
ROCKWALL, TX 75032

TORRES ALONSO G & MARIA
441 LYNNE DR
ROCKWALL, TX 75032

TORRES ALONSO G & MARIA
441 LYNNE DR
ROCKWALL, TX 75032

RESIDENT
448 NICOLE DR
ROCKWALL, TX 75032

RESIDENT
4509 SYLVAN PARK DR
ROCKWALL, TX 75032

XU ZICAI
4509 PORTRAIT LANE
PLANO, TX 75024

WHEELER JANIS & KEVIN M
451 RENEE DR
ROCKWALL, TX 75032

RESIDENT
452 EVANS RD
ROCKWALL, TX 75032

VERA MIGUEL & GUADALUPE
452 RENEE DR
ROCKWALL, TX 75032

RESIDENT
463 RENEE DR
ROCKWALL, TX 75032

RESIDENT
464 EVANS RD
ROCKWALL, TX 75032

RESIDENT
466 RENEE DR
ROCKWALL, TX 75032

RESIDENT
470 NICOLE
ROCKWALL, TX 75032

RESIDENT
471 NICOLE DR
ROCKWALL, TX 75032

YANEZ ALONSO TORRES
473 RENEE DR
ROCKWALL, TX 75032

MAYHALL DANIEL J
473 RENEE DR
ROCKWALL, TX 75032

MAYHALL DANIEL J
473 RENEE DR
ROCKWALL, TX 75032

CURTIS CHRISTOPHER LEE AND
BERT G CURTIS & PAMELA S CURTIS
4735 BEAR CLAW LANE
ROCKWALL, TX 75032

SHAH MURTAZA M AND MARIA E
4755 BEAR CLAW LANE
ROCKWALL, TX 75032

HUMPHREY JAY AND KIMMIE
4768 S STATE HWY 205
ROCKWALL, TX 75032

RESIDENT
4800 LOFLAND CIR
ROCKWALL, TX 75032

HODGES TERESA ANN
481 ARACADIA WAY
ROCKWALL, TX 75087

RISTER JOHN & CHRISTINE
4815 BEAR CLAW LANE
ROCKWALL, TX 75032

RESIDENT
482 NICOLE DR
ROCKWALL, TX 75032

RESIDENT
485 RENEE DR
ROCKWALL, TX 75032

RESIDENT
486 EVANS RD
ROCKWALL, TX 75032

JIMENEZ TOMAS
4930 CREEKRIDGE LN
GARLAND, TX 75043

RESIDENT
496 NICOLE DR
ROCKWALL, TX 75032

RESIDENT
498 EVANS RD
ROCKWALL, TX 75032

RESIDENT
503 RENEE DR
ROCKWALL, TX 75032

LACAZE DARRYL AND ALLISON
503 NICOLE DR
ROCKWALL, TX 75032

VALDEZ EUSEBIO
505 EVANS
ROCKWALL, TX 75032

VALDEZ EUSEBIO
505 EVANS
ROCKWALL, TX 75032

RESIDENT
508 RENEE DR
ROCKWALL, TX 75032

W2 CATTLE INVESTMENTS LLC
C/O RANDY PARDUE
508 TWILIGHT TRAIL SUITE 99
RICHARDSON, TX 75080

DIAZ-ALMARAZ CARLOS OMAR
514 NICOLE DR
ROCKWALL, TX 75032

RESIDENT
515 RENEE DR
ROCKWALL, TX 75032

RESIDENT
520 RENEE DR
ROCKWALL, TX 75032

GUEVARA CRUZ & LIZ
522 EVANS DR
ROCKWALL, TX 75032

GUEVARA CRUZ & LIZ
522 EVANS DR
ROCKWALL, TX 75032

ROSAS LAURA PATRICIA
523 NICOLE DR
ROCKWALL, TX 75032

RESIDENT
526 NICOLE
ROCKWALL, TX 75032

RESIDENT
535 NICOLE DR
ROCKWALL, TX 75032

RUDELL TODD L AND JOANNA K
544 MUSTANG COURT
LAVON, TX 75166

GALLARDO RENE AND
MARIBEL GALLARDO
547 NICOLE DR
ROCKWALL, TX 75087

GALLARDO RENE AND
MARIBEL GALLARDO
547 NICOLE DR
ROCKWALL, TX 75087

CERVANTES HECTOR AND
ERIKA MOLINA
548 NICOLE DRIVE
ROCKWALL, TX 75032

CERVANTES-OSORNIO HECTOR AND
ERIKA J MOLINA-OLVERA
548 NICOLE DRIVE
ROCKWALL, TX 75032

RESIDENT
557 RENEE DR
ROCKWALL, TX 75032

WANG EILEEN HONGLIAN &
HAWKINS HAOHAI YAO
5887 KILLARNEY CIR
SAN JOSE, CA 95138

PEOPLES DONNIE
589 CORNELIUS
ROCKWALL, TX 75087

WALLACE LAND PARTNERS L P
6271 HORIZON RD
ROCKWALL, TX 75032

FONTANNA RANCH HOMEOWNERS'
ASSOCIATION INC
6750 HILLCREST PLAZA DRIVE SUITE 326
DALLAS, TX 75230

GONZALES BALTAZAR & LUZ MARIA ZUNIGA
C/O LAKE POINTE CHURCH
701 I-30
ROCKWALL, TX 75087

ESTRADA NOHEMA
705 LAKESIDE DR
ROCKWALL, TX 75032

MANKUS STEPHEN & SUSAN
7401 RODEO DR
DENTON, TX 76208

BRUCE LIVING TRUST
757 AVALON DR
HEATH, TX 75032

ROCKWALL HOUSING DEVELOPMENT
CORPORATION
787 HAIL DRIVE
ROCKWALL, TX 75032

ML VENTURES, LLC
7908 BOULDER RIVER TRAIL
MCKINNEY, TX 75070

RODRIGUEZ BRIAN
8 BROOKWAY CT
MANSFIELD, TX 76063

COLUNGA MARIA CRISTINA
C/O BERNABE COLUNGA
807 N JOSEPHINE ST
ROYSE CITY, TX 75189

NGUYEN ANNA
812 BLUFFCREEK LN APT 208
ARLINGTON, TX 76006

SN DFW LLC
8390 E VIA DE VENTURA F-110 #303
SCOTTSDALE, AZ 85258

USCMF SN TEXAS A LLC
8390 E VIA DE VENTURA F-110 #303
SCOTTSDALE, AZ 85258

JUNFA USA, LLC
910 MELISSA LN
GARLAND, TX 75040

TAN JUDY AND
LAM KHANG DUY
914 FALCON TRAIL
MURPHY, TX 75094

BAYOUD JENNIFER
940 COTTON DEPOT LN APT 440
FT WORTH, TX 76102

BEDDER MANAGEMENT AUSTIN LLC
9901 BRODIE LANE SUITE 160-172
AUSTIN, TX 78748

AMH 2014-3 BORROWER LLC
ATTN: PROPERTY TAX DEPARTMENT 23975
PARK SORRENTO SUITE 300
CALABASAS, CA 91302

MCINTIRE JUANITA
M/R
, TX

HENSON RICHARD W & SHARON ES
PO BOX 1091
ROCKWALL, TX 75087

RCH WATER SUPPLY CORPORATION
PO BOX 2034
ROCKWALL, TX 75087

CHINN DERRICK O
PO BOX 35011
LOS ANGELES, CA 90035

PROGRESS RESIDENTIAL BORROWER 4 LLC
PO BOX 4090
SCOTTSDALE, AZ 85261

POWERS JUSTIN D
PO BOX 850
ROCKWALL, TX 75087

PUBLIC NOTICE



CITY OF ROCKWALL
PLANNING AND ZONING DEPARTMENT
PHONE: (972) 771-7745
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

Z2024-033: Zoning Change from an Agricultural (AG) District to a Planned Development District

Hold a public hearing to discuss and consider a request by Ryan Joyce of Michael Joyce Properties on behalf of Bill Lofland for the approval of a Zoning Change from an Agricultural (AG) District to a Planned Development District for Single-Family 10 (SF-10) and General Retail (GR) District land uses on a 544.89-acre tract of land identified as Tracts 3 & 3-1 of the A. Johnson Survey, Abstract No. 123 [355.146-acres]; Tracts 7 & 7-2 of the W. H. Baird Survey, Abstract No. 25 [45.744-acres]; and Tracts 3 & 4 of the J. R. Johnson Survey, Abstract No. 128 [144.00-acres], City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, situated within the SH-205 Overlay (SH-205) and SH-205 By-Pass Overlay (SH-205 BY OV) District, generally located on the east and west side of S. Goliad Street [SH-205] at the corner of the intersection of John King Boulevard and S. Goliad Street [SH-205], and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on Tuesday, August 13, 2024 at 6:00 PM, and the City Council will hold a public hearing on Monday, August 19, 2024 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

Ryan Miller
Rockwall Planning and Zoning Dept.
385 S. Goliad Street
Rockwall, TX 75087

You may also email your comments to the Planning Department at planning@rockwall.com. If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Monday, August 19, 2024 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

Ryan Miller, AICP
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

--- PLEASE RETURN THE BELOW FORM ---

Case No. Z2024-033: Zoning Change from an Agricultural (AG) District to a Planned Development District

Please place a check mark on the appropriate line below:

- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

[Redacted comment area]

Name: [Redacted]

Address: [Redacted]

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE



767 Justin Rd
Rockwall, TX 75087

July 18, 2024

Mr. Ryan Miller
Director of Planning and Zoning
City of Rockwall
385 S Goliad Street
Rockwall, TX 75087

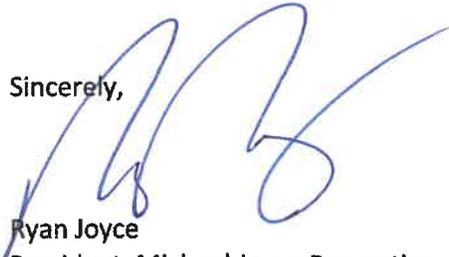
RE: Zoning Application, Lofland Tract,

Dear Mr. Miller,

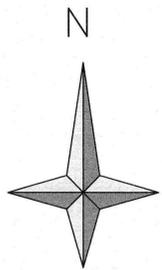
Michael Joyce Properties is submitting the attached Zoning Application, Concept Plan and Design Standards for consideration for a change in Zoning for the tracts as shown in the Concept Plan and Survey. We would like to request a change in Zoning from Agricultural District to a Planned Development District with the attached design standards.

We thank you for your consideration and look forward to working with the City of Rockwall, the Planning and Zoning Commission and the City Council on the approval of this request.

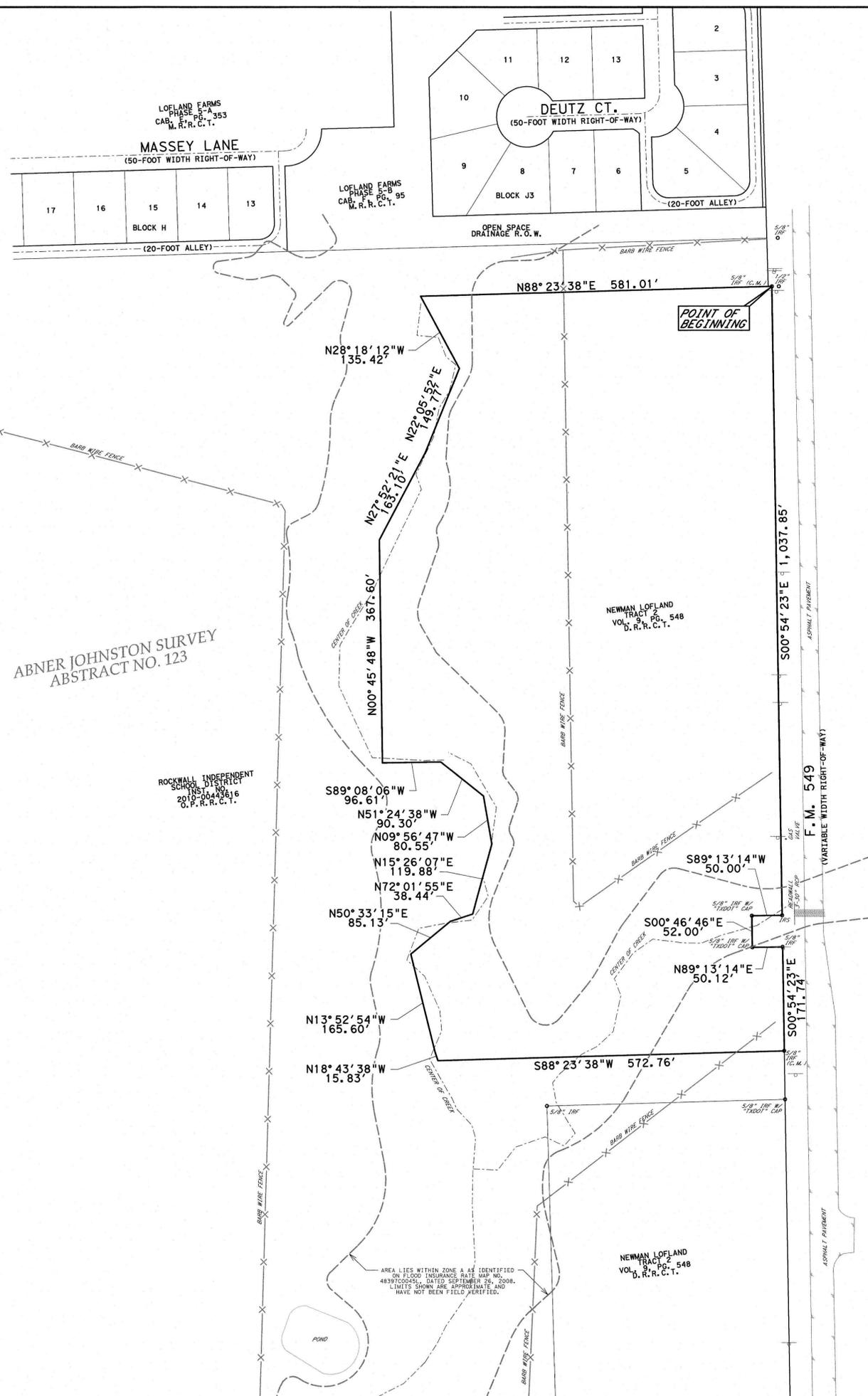
Sincerely,



Ryan Joyce
President, Michael Joyce Properties



Scale: 1"=100'



ABNER JOHNSTON SURVEY
ABSTRACT NO. 123

ROCKWALL INDEPENDENT
SCHOOL DISTRICT
INST. NO. 2019-00443616
O.P.R.C.T.

AREA LIES WITHIN ZONE 4 AS IDENTIFIED
ON FLOOD INSURANCE RATE MAP NO.
48397C0045L, DATED SEPTEMBER 26, 2008.
LIMITS SHOWN WERE APPROXIMATE AND
HAVE NOT BEEN FIELD VERIFIED.

NEWMAN LOFLAND
TRACT 2
VOL. 9, PG. 548
D. R. R. C. T.

Notes:

- Bearing are based on the Texas State Plane Coordinate System, North Central Zone 4202, North American Datum of 1983, 2011 Adjustment.
- 1/2" iron rod with cap stamped "PJB SURVEYING" set at all corners, unless otherwise noted.
- Survey was prepared with the benefit of a Title Commitment issued by Chicago Title Insurance Company, GF No. 2343713-ATDA, effective date December 18, 2023. Schedule B Items are as follows:
 - 10 e. Easement to RCH Water Supply Corporation, recorded in Volume 64, Page 254 - does not affect
 - 10 f. City of Rockwall Waterline Easement, recorded in Inst. No. 2022000003059 - does not affect
 - 10 g. State of Texas Easement, recorded in Instrument No. 20220000019991 - does not affect
 - 10 h. Easement recorded in Volume 51, Page 363 - may affect, cannot be located by description
 - 10 i. Easement to State of Texas, recorded in Volume 45, Page 599 - does not affect
 - 10 j. Lone Star Gas Company Easement, recorded in Volume 76, Page 502 - does not affect
 - 10 k. Soil Conservation District Easement, recorded in Instrument No. 20230000007528 - does not affect
 - 10 l. TXU Gas Company Easement, recorded in Volume 2248, Page 193 - does not affect
 - 10 m. Easement recorded in Volume 51, Page 99 - may affect, cannot be located by description
 - 10 n. Texas Power & Light Company easement, recorded in Volume 51, Page 222 - may affect, cannot be located by description
 - 10 o. Texas Power & Light Company easement, recorded in Volume 52, Page 325 - may affect, cannot be located by description
 - 10 p. Texas Power & Light Company easement, recorded in Volume 53, Page 296 - may affect, cannot be located by description

LEGEND

- POWER POLE
- GUY ANCHOR
- OVERHEAD ELECTRIC
- FENCELINE
- CONTROLLING MONUMENT
- IRF IRON ROD FOUND
- IPF IRON PIPE FOUND
- IRS 1/2 INCH IRON ROD SET WITH RED "PJB SURVEYING" CAP
- SSMH SANITARY SEWER MANHOLE
- CMP CORRUGATED METAL PIPE
- FH FIRE HYDRANT
- ICV IRRIGATION CONTROL VALVE
- WV WATER VALVE
- WM WATER METER
- SIGN
- TP TELEPHONE PEDESTAL
- TB TELEPHONE BOX
- TRANS. TRANSFORMER
- D.R.R.C.T. DEED RECORDS OF ROCKWALL COUNTY, TEXAS
- O.P.R.C.T. OFFICIAL PUBLIC RECORDS OF ROCKWALL COUNTY, TEXAS
- M.R.C.T. MAP RECORDS OF ROCKWALL COUNTY, TEXAS

BEING a tract of land situated in the Abner Johnston Survey, Abstract No. 123, in the City of Rockwall, Rockwall County, Texas, being a part of a called 213 acre tract, described as Tract 2 in a deed to Newman Lofland, as recorded in Volume 9, Page 548, in the Deed Records of Rockwall County, Texas and being more particularly described as follows:

BEGINNING at a 5/8-inch iron rod (controlling monument) found at the northwest corner of a tract of land described in a right-of-way deed to the State of Texas (FM 549) (variable width right-of-way), as described in Document No. 2020000017688, of the Official Public Records of Rockwall County, Texas (O.P.R.C.T.), being in an interior south line of a called 173.00 acre tract of land described in a deed to the Rockwall Independent School District, as recorded in Instrument No. 2010-00443616 O.P.R.C.T.;

THENCE South 00 degrees 54 minutes 23 seconds East, with the west line of said FM 549, a distance of 1,037.85 feet to a 1/2-inch iron rod with cap stamped "PJB SURVEYING" set;

THENCE South 89 degrees 13 minutes 14 seconds West, continuing with the west line of said FM 549, a distance of 50.00 feet to a 5/8-inch iron rod with cap stamped "TXDOT SURVEY MARKER RIGHT OF WAY MONUMENT" found;

THENCE South 00 degrees 46 minutes 46 seconds East, continuing with the west line of said FM 549, a distance of 50.00 feet to a 5/8-inch iron rod with cap stamped "TXDOT SURVEY MARKER RIGHT OF WAY MONUMENT" found;

THENCE North 89 degrees 13 minutes 14 seconds East, continuing with the west line of said FM 549, a distance of 50.12 feet to a 5/8-inch iron rod found;

THENCE South 00 degrees 54 minutes 23 seconds East, continuing with the west line of said FM 549, a distance of 171.74 feet to a 5/8-inch iron rod (controlling monument) found in an interior north line of said 173.00 acre tract;

THENCE South 88 degrees 23 minutes 38 seconds West, with said north line, a distance of 572.76 feet to a point in a creek;

THENCE North 18 degrees 43 minutes 38 seconds West, with an interior east line of said 173.00 acre tract and generally along said creek, a distance of 15.83 feet;

THENCE North 13 degrees 52 minutes 54 seconds West, continuing with said east line and generally along said creek, a distance of 85.13 feet;

THENCE North 50 degrees 33 minutes 15 seconds East, continuing with said east line and generally along said creek, a distance of 85.13 feet;

THENCE North 72 degrees 01 minute 55 seconds East, continuing with said east line and generally along said creek, a distance of 38.44 feet;

THENCE North 15 degrees 26 minutes 07 seconds East, continuing with said east line, a distance of 119.88 feet;

THENCE North 09 degrees 56 minutes 47 seconds West, continuing with said east line and generally along said creek, a distance of 80.55 feet;

THENCE North 51 degrees 24 minutes 38 seconds West, continuing with said east line and generally along said creek, a distance of 90.30 feet;

THENCE South 89 degrees 08 minutes 06 seconds West, continuing with said east line and generally along said creek, a distance of 96.61 feet;

THENCE North 00 degrees 45 minutes 48 seconds West, continuing with said east line and generally along said creek, a distance of 367.60 feet;

THENCE North 27 degrees 52 minutes 21 seconds East, continuing with said east line and generally along said creek, a distance of 163.10 feet;

THENCE North 22 degrees 05 minutes 52 seconds East, continuing with said east line, a distance of 149.77 feet;

THENCE North 28 degrees 18 minutes 12 seconds West, continuing with said east line and generally along said creek, a distance of 135.42 feet;

THENCE North 88 degrees 23 minutes 38 seconds East, with the above referenced interior south line, a distance of 581.01 feet to the POINT OF BEGINNING and containing 16.8895 acres of land.

CERTIFICATION

I do hereby certify to J. Bond Partners, Ltd., William B. Lofland, David L. Bond, Lois Anne Bond, Hunter Scott Lofland, Gillian Grant Lofland Sherer, and Evelyn Ruth Lofland; Quatico Developments (U.S.), Inc.; Independence Title and Title Resources Guaranty Company that this survey was prepared from an on the ground survey under my supervision on February 12, 2024.

Patrick J. Baldasaro
Registered Professional Land Surveyor 5504



BOUNDARY SURVEY
OF A
16.8895 ACRE TRACT
OUT OF THE
ABNER JOHNSTON SURVEY, ABST. NO. 123
IN THE
CITY OF ROCKWALL
ROCKWALL COUNTY, TEXAS

PREPARED BY
PJB SURVEYING, LLC
TBPELS NO. 10194303
200 W. BELMONT, SUITE D
ALLEN, TEXAS 75013
972-649-6669

BEING a tract of land situated in the Abner Johnston Survey, Abstract No. 123, in the City of Rockwall, Rockwall County, Texas, being a part of a called 213 acre tract, described as Tract 2 in a deed to Newman Lofland, as recorded in Volume 9, Page 548, in the Deed Records of Rockwall County, Texas and being more particularly described as follows:

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THENCE South 00 degrees 54 minutes 23 seconds East, with the west line of said FM 549, a distance of 1,037.85 feet to a 1/2-inch iron rod with cap stamped "PJB SURVEYING" set;

THENCE South 89 degrees 13 minutes 14 seconds West, continuing with the west line of said FM 549, a distance of 50.00 feet to a 5/8-inch iron rod with cap stamped "TXDOT SURVEY MARKER RIGHT OF WAY MONUMENT" found;

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THENCE North 89 degrees 13 minutes 14 seconds East, continuing with the west line of said FM 549, a distance of 50.12 feet to a 5/8-inch iron rod found;

THENCE South 00 degrees 54 minutes 23 seconds East, continuing with the west line of said FM 549, a distance of 171.74 feet to a 5/8-inch iron rod (controlling monument) found in an interior north line of said 173.00 acre tract;

THENCE South 88 degrees 23 minutes 38 seconds West, with said north line, a distance of 572.76 feet to a point in a creek;

THENCE North 18 degrees 43 minutes 38 seconds West, with an interior east line of said 173.00 acre tract and generally along said creek, a distance of 15.83 feet;

THENCE North 13 degrees 52 minutes 54 seconds West, continuing with said east line and generally along said creek, a distance of 165.60 feet;

THENCE North 50 degrees 33 minutes 15 seconds East, continuing with said east line and generally along said creek, a distance of 85.13 feet;

THENCE North 72 degrees 01 minute 55 seconds East, continuing with said east line and generally along said creek, a distance of 38.44 feet;

THENCE North 15 degrees 26 minutes 07 seconds East, continuing with said east line, a distance of 119.88 feet;

THENCE North 09 degrees 56 minutes 47 seconds West, continuing with said east line and generally along said creek, a distance of 80.55 feet;

THENCE North 51 degrees 24 minutes 38 seconds West, continuing with said east line and generally along said creek, a distance of 90.30 feet;

THENCE South 89 degrees 08 minutes 06 seconds West, continuing with said east line and generally along said creek, a distance of 96.61 feet;

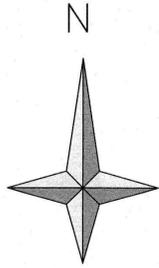
THENCE North 00 degrees 45 minutes 48 seconds West, continuing with said east line and generally along said creek, a distance of 367.60 feet;

THENCE North 27 degrees 52 minutes 21 seconds East, continuing with said east line and generally along said creek, a distance of 163.10 feet;

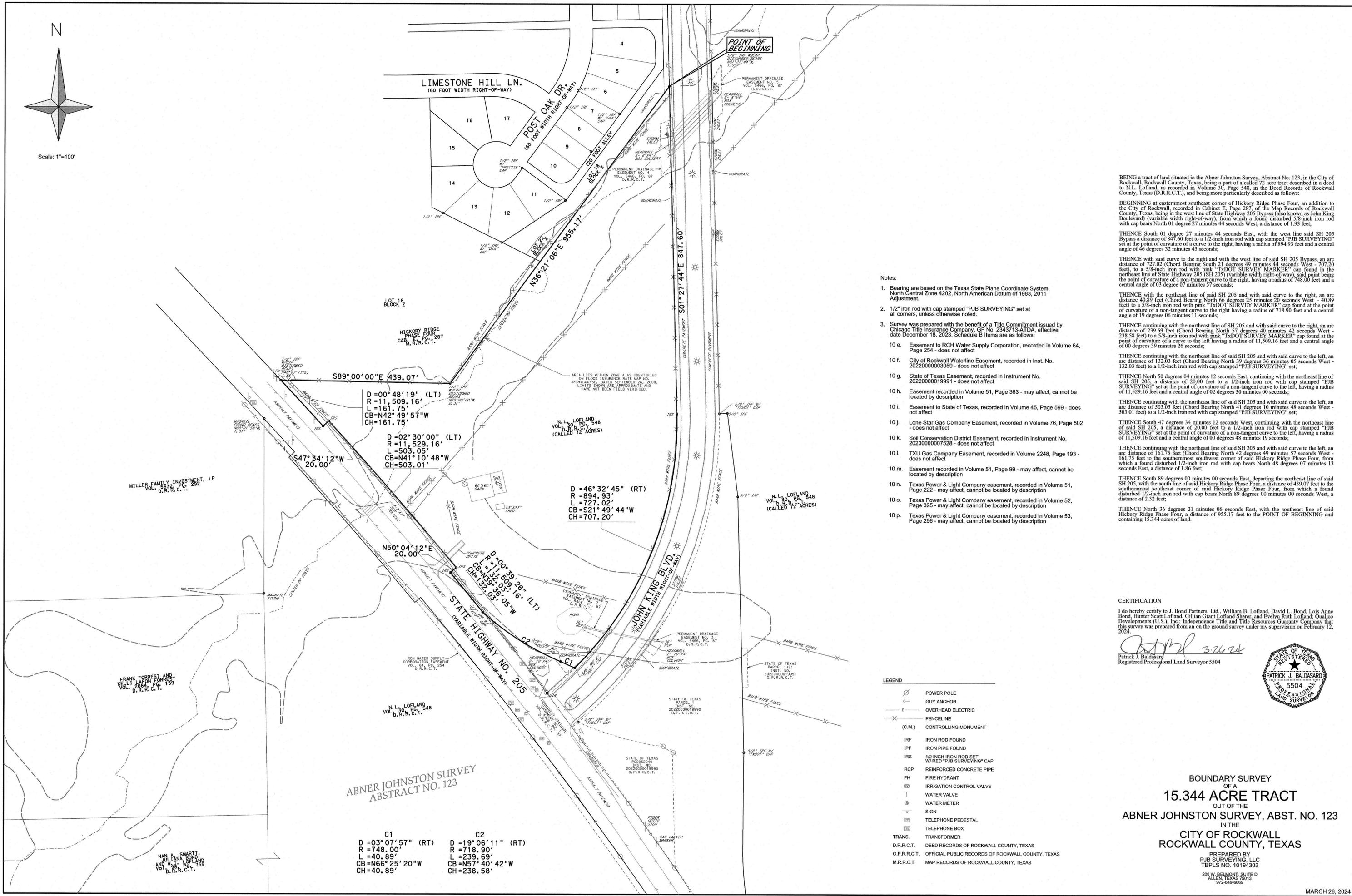
THENCE North 22 degrees 05 minutes 52 seconds East, continuing with said east line, a distance of 149.77 feet;

THENCE North 28 degrees 18 minutes 12 seconds West, continuing with said east line and generally along said creek, a distance of 135.42 feet;

THENCE North 88 degrees 23 minutes 38 seconds East, with the above referenced interior south line, a distance of 581.01 feet to the POINT OF BEGINNING and containing 16.8895 acres of land.



Scale: 1"=100'



BEING a tract of land situated in the Abner Johnston Survey, Abstract No. 123, in the City of Rockwall, Rockwall County, Texas, being a part of a called 72 acre tract described in a deed to N.L. Lofland, as recorded in Volume 30, Page 548, in the Deed Records of Rockwall County, Texas (D.R.R.C.T.), and being more particularly described as follows:

BEGINNING at easternmost southeast corner of Hickory Ridge Phase Four, an addition to the City of Rockwall, recorded in Cabinet E, Page 287, of the Map Records of Rockwall County, Texas, being in the west line of State Highway 205 Bypass (also known as John King Boulevard) (variable width right-of-way), from which a found disturbed 5/8-inch iron rod with cap bears North 01 degree 27 minutes 44 seconds West, a distance of 1.93 feet;

THENCE South 01 degree 27 minutes 44 seconds East, with the west line said SH 205 Bypass a distance of 847.60 feet to a 1/2-inch iron rod with cap stamped "PJB SURVEYING" set at the point of curvature of a curve to the right, having a radius of 894.93 feet and a central angle of 46 degrees 32 minutes 45 seconds;

THENCE with said curve to the right and with the west line of said SH 205 Bypass, an arc distance of 727.02 (Chord Bearing South 21 degrees 49 minutes 44 seconds West - 707.20 feet), to a 5/8-inch iron rod with pink "TXDOT SURVEY MARKER" cap found at the point of curvature of a non-tangent curve to the right, having a radius of 748.00 feet and a central angle of 03 degree 07 minutes 57 seconds;

THENCE with the northeast line of said SH 205 and with said curve to the right, an arc distance of 40.89 feet (Chord Bearing North 66 degrees 25 minutes 20 seconds West - 40.89 feet) to a 5/8-inch iron rod with pink "TXDOT SURVEY MARKER" cap found at the point of curvature of a non-tangent curve to the right having a radius of 718.90 feet and a central angle of 19 degrees 06 minutes 11 seconds;

THENCE continuing with the northeast line of SH 205 and with said curve to the right, an arc distance of 239.69 feet (Chord Bearing North 66 degrees 25 minutes 20 seconds West - 238.58 feet) to a 5/8-inch iron rod with pink "TXDOT SURVEY MARKER" cap found at the point of curvature of a curve to the left having a radius of 11,509.16 feet and a central angle of 00 degrees 39 minutes 26 seconds;

THENCE continuing with the northeast line of said SH 205 and with said curve to the left, an arc distance of 132.03 feet (Chord Bearing North 39 degrees 36 minutes 05 seconds West - 132.03 feet) to a 1/2-inch iron rod with cap stamped "PJB SURVEYING" set;

THENCE North 50 degrees 04 minutes 12 seconds East, continuing with the northeast line of said SH 205, a distance of 20.00 feet to a 1/2-inch iron rod with cap stamped "PJB SURVEYING" set at the point of curvature of a non-tangent curve to the left, having a radius of 11,529.16 feet and a central angle of 02 degrees 30 minutes 00 seconds;

THENCE continuing with the northeast line of said SH 205 and with said curve to the left, an arc distance of 503.05 feet (Chord Bearing North 41 degrees 10 minutes 48 seconds West - 503.01 feet) to a 1/2-inch iron rod with cap stamped "PJB SURVEYING" set;

THENCE South 47 degrees 34 minutes 12 seconds West, continuing with the northeast line of said SH 205, a distance of 20.00 feet to a 1/2-inch iron rod with cap stamped "PJB SURVEYING" set at the point of curvature of a non-tangent curve to the left, having a radius of 11,509.16 feet and a central angle of 00 degrees 48 minutes 19 seconds;

THENCE continuing with the northeast line of said SH 205 and with said curve to the left, an arc distance of 161.75 feet (Chord Bearing North 42 degrees 49 minutes 57 seconds West - 161.75 feet) to the southernmost southwest corner of said Hickory Ridge Phase Four, from which a found disturbed 1/2-inch iron rod with cap bears North 48 degrees 07 minutes 13 seconds East, a distance of 1.86 feet;

THENCE South 89 degrees 00 minutes 00 seconds East, departing the northeast line of said SH 205, with the south line of said Hickory Ridge Phase Four, a distance of 439.07 feet to the southernmost southeast corner of said Hickory Ridge Phase Four, from which a found disturbed 1/2-inch iron rod with cap bears North 89 degrees 00 minutes 00 seconds West, a distance of 2.32 feet;

THENCE North 36 degrees 21 minutes 06 seconds East, with the southeast line of said Hickory Ridge Phase Four, a distance of 955.17 feet to the POINT OF BEGINNING and containing 15.344 acres of land.

Notes:

- Bearing are based on the Texas State Plane Coordinate System, North Central Zone 4202, North American Datum of 1983, 2011 Adjustment.
- 1/2" iron rod with cap stamped "PJB SURVEYING" set at all corners, unless otherwise noted.
- Survey was prepared with the benefit of a Title Commitment issued by Chicago Title Insurance Company, GF No. 2343713-ATDA, effective date December 18, 2023. Schedule B items are as follows:
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Patrick J. Baldasaro
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Registered Professional Land Surveyor 5504



LEGEND

- POWER POLE
- GUY ANCHOR
- OVERHEAD ELECTRIC
- FENCELINE
- CONTROLLING MONUMENT
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- O.P.R.R.C.T. OFFICIAL PUBLIC RECORDS OF ROCKWALL COUNTY, TEXAS
- M.R.R.C.T. MAP RECORDS OF ROCKWALL COUNTY, TEXAS

BOUNDARY SURVEY
OF A
15.344 ACRE TRACT
OUT OF THE
ABNER JOHNSTON SURVEY, ABST. NO. 123
IN THE
CITY OF ROCKWALL
ROCKWALL COUNTY, TEXAS

PREPARED BY
PJB SURVEYING, LLC
TBPLS NO. 10194303
200 W. BELMONT, SUITE D
ALLEN, TEXAS 75013
972-649-8669

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THENCE with the northeast line of said SH 205 and with said curve to the right, an arc distance 40.89 feet (Chord Bearing North 66 degrees 25 minutes 20 seconds West - 40.89 feet) to a 5/8-inch iron rod with pink "TxDOT SURVEY MARKER" cap found at the point of curvature of a non-tangent curve to the right having a radius of 718.90 feet and a central angle of 19 degrees 06 minutes 11 seconds;

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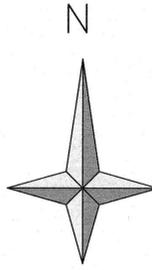
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Scale: 1"=200'

VICMAR I, LTD.
VOL. 2015, PG. 200
D.R.R.C.T.

LAYZA & LUNA REAL ESTATE, LLC
INST. NO. 2022000001115
O.P.R.R.C.T.

MILLER FAMILY INVESTMENT, LP
VOL. 3632, PG. 292
D.R.R.C.T.

FRANK FORREST AND
KELLI LAFON FORREST
VOL. 2448, PG. 59
D.R.R.C.T.

N.L. LOFLAND
VOL. 30, PG. 48
D.R.R.C.T.

NAN A. SMART,
JULIANA BOND
AND W. J. BOND
VOL. 98, PG. 759
D.R.R.C.T.

ROCKWALL LAKE
DEVELOPMENT
NO. 79
CAB. NO. 2015, PG. 79
M.R.R.C.T.

JOHN R. JOHNSON SURVEY
ABSTRACT NO. 128

WILLIAM W. FORD SURVEY
ABSTRACT NO. 80

ABNER JOHNSON SURVEY
ABSTRACT NO. 123

LOFLAND CIR
(FORMERLY ROCKWALL
-CHILLSOLM HIGHWAY)

LOFLAND CIR. (FORMERLY ROCKWALL HIGHWAY)

BROKEN LANCE LANE (60-FOOT WIDTH RIGHT-OF-WAY)

WALLACE LANE

BEAR CLAW LN

D = 12° 47' 29" (LT)
R = 5,105.59'
L = 1,139.83'
CB = S38° 03' 31" E
CH = 1,137.46'

D = 00° 35' 02" (RT)
R = 11,409.16'
L = 116.29'
CB = S42° 43' 19" E
CH = 116.29'

D = 02° 30' 00" (RT)
R = 11,389.16'
L = 496.95'
CB = S41° 10' 48" E
CH = 496.91'

D = 05° 50' 02" (RT)
R = 11,409.16'
L = 1,161.69'
CB = S37° 00' 47" E
CH = 1,161.19'

D = 19° 30' 41" (LT)
R = 1,152.00'
L = 392.30'
CB = S24° 51' 03" E
CH = 390.41'

- LEGEND
- POWER POLE
 - GUY ANCHOR
 - OVERHEAD ELECTRIC
 - FENCELINE
 - CONTROLLING MONUMENT
 - IRF
 - IPF
 - IRS
 - SSMH
 - CMP
 - FH
 - I
 - T
 - M
 - S
 - TP
 - TB
 - TC
 - TSP
 - EB
 - TRANS.
 - D.R.R.C.T.
 - O.P.R.R.C.T.
 - M.R.R.C.T.

- Notes:
- Bearing are based on the Texas State Plane Coordinate System, North Central Zone 4202, North American Datum of 1983, 2011 Adjustment.
 - 1/2" Iron rod with cap stamped "PJB SURVEYING" set at all corners, unless otherwise noted.
 - Survey was prepared with the benefit of a Title Commitment issued by Chicago Title Insurance Company, GF No. 2343713-ATDA, effective date December 18, 2023. Schedule B items are as follows:
 - 10 e. Easement to RCH Water Supply Corporation, recorded in Volume 64, Page 254 - affects, shown
 - 10 f. City of Rockwall Waterline Easement, recorded in Inst. No. 2022000003059 - does not affect
 - 10 g. State of Texas Easement, recorded in Instrument No. 20220000019991 - does not affect
 - 10 h. Easement recorded in Volume 51, Page 363 - may affect, cannot be located by description
 - 10 i. Easement to State of Texas, recorded in Volume 45, Page 599 - does not affect
 - 10 j. Lone Star Gas Company Easement, recorded in Volume 76, Page 502 - affects, shown
 - 10 k. Soil Conservation District Easement, recorded in Instrument No. 20230000007528 - does not affect
 - 10 l. TXU Gas Company Easement, recorded in Volume 2248, Page 193 - affects, shown
 - 10 m. Easement recorded in Volume 51, Page 99 - may affect, cannot be located by description
 - 10 n. Texas Power & Light Company easement, recorded in Volume 51, Page 222 - may affect, cannot be located by description
 - 10 o. Texas Power & Light Company easement, recorded in Volume 52, Page 325 - may affect, cannot be located by description
 - 10 p. Texas Power & Light Company easement, recorded in Volume 53, Page 296 - may affect, cannot be located by description

BEING a tract of land situated in the Abner Johnston Survey, Abstract No. 123 and the John R. Johnson Survey, Abstract No. 128, in the City of Rockwall, Rockwall County, Texas, being a part of a called 120 acre tract of land described in deed to N.L. Lofland and Annie Lofland, as recorded in Volume 28, Page 487, in the Deed Records of Rockwall County, Texas (D.R.R.C.T.), part of a called 72 acre tract described in a deed to N.L. Lofland, as recorded in Volume 30, Page 548, D.R.R.C.T., part of a called 60 acre tract of land described in deed to Nan A. Smart, Juliana Bond and W.I. Lofland, as recorded in Volume 98, Page 759, D.R.R.C.T., and part of a tract of land described in deed to N.L. Lofland, as recorded in Volume 35, Page 269, D.R.R.C.T., and being more particularly described as follows:

BEGINNING at a mag nail found at the northeast corner of a called 14.05 acre tract of land described in deed to Frank Forrest and Kelli LaFon Forrest, as recorded in Volume 2664, Page 159, D.R.R.C.T., and the southeast corner of a called 15.98 acre tract of land described in deed to Miller Family Investment, LP, as recorded in Volume 5632, Page 292, D.R.R.C.T., being in the west line of said 72 acre Lofland tract;

THENCE North 00 degrees 04 minutes 08 seconds West, with the west line of said 72 acre Lofland tract and the east line of said Miller Family Investment, LP tract, a distance of 450.81 feet to the northeast corner of said Miller Family Investment, LP tract, being in the southwest line of State Highway 205 (SH 205) (variable width right-of-way), from which a found mag nail bears North 00 degrees 01 minute 58 seconds West, a distance of 1.01 feet, said corner being on a non-tangent curve to the right, having a radius of 11,409.16 feet and a central angle of 90 degrees 35 minutes 02 seconds;

THENCE with the southeast line of said SH 205 and with said curve to the right, an arc distance of 116.29 feet (Chord Bearing South 42 degrees 43 minutes 19 seconds East - 116.29 feet) to a 1/2-inch iron rod with cap stamped "PJB SURVEYING" set;

THENCE South 47 degrees 34 minutes 12 seconds West, continuing with the southwest line of said SH 205, a distance of 20.00 feet to a 1/2-inch iron rod with cap stamped "PJB SURVEYING" set on a non-tangent curve to the right, having a radius of 11,389.16 feet and a central angle of 02 degrees 30 minutes 00 seconds;

THENCE continuing with the southwest line of said SH 205 and with said curve to the right, an arc distance of 496.95 feet (Chord Bearing South 41 degrees 10 minutes 48 seconds East - 496.91 feet) to a 1/2-inch iron rod with cap stamped "PJB SURVEYING" set;

THENCE North 00 degrees 04 minutes 12 seconds East, continuing with the southwest line of said SH 205, a distance of 20.00 feet to a 1/2-inch iron rod with cap stamped "PJB SURVEYING" set on a non-tangent curve to the right, having a radius of 11,409.16 feet and a central angle of 05 degrees 50 minutes 02 seconds;

THENCE continuing with the southwest line of said SH 205 and with said curve to the right, an arc distance of 1,161.69 feet (Chord Bearing South 37 degrees 00 minutes 47 seconds East - 1,161.19 feet) to a 5/8-inch iron rod with pink "TXDOT SURVEY MARKER" cap found at the point of curvature of a curve to the left having radius of 1,152.00 feet and a central angle of 19 degrees 30 minutes 41 seconds;

THENCE continuing with the southwest line of said SH 205 and with said curve to the left, an arc distance of 390.41 feet (Chord Bearing South 24 degrees 51 minutes 03 seconds East - 390.41 feet) to a 5/8-inch iron rod found at the point of tangency;

THENCE South 34 degrees 36 minutes 24 seconds East, continuing with the southwest line of said SH 205, at a distance of 228.25 feet passing a 5/8-inch iron rod with pink "TXDOT SURVEY MARKER" cap found, continuing a total distance of 528.00 feet to a 5/8-inch iron rod with pink "TXDOT SURVEY MARKER" cap found;

THENCE South 26 degrees 04 minutes 33 seconds East, continuing with the southwest line of said SH 205, a distance of 101.12 feet to a 5/8-inch iron rod with pink "TXDOT SURVEY MARKER" cap found;

THENCE South 34 degrees 36 minutes 24 seconds East, continuing with the southwest line of said SH 205, a distance of 221.52 feet to a 5/8-inch iron rod with pink "TXDOT SURVEY MARKER" cap found;

THENCE South 42 degrees 36 minutes 32 seconds East, continuing with the southwest line of said SH 205, a distance of 99.56 feet to a 1/2-inch iron rod with cap stamped "PJB SURVEYING" set on a non-tangent curve to the left, having a radius of 5,105.59 feet and a central angle of 12 degrees 47 minutes 29 seconds;

THENCE continuing with the southwest line of said SH 205 and with said curve to the left, an arc distance of 1,139.83 feet (Chord Bearing South 38 degrees 03 minutes 31 seconds East - 1,137.46 feet) to a 1/2-inch iron rod with cap stamped "PJB SURVEYING" set on the south line of said Lofland 72 acre tract and being in the approximate center of Lofland Circle (variable width right-of-way);

THENCE South 88 degrees 42 minutes 50 seconds West, with the south line of said Lofland 72 acre tract and along the approximate center of Lofland Circle, at a distance of 2,472.42 feet passing the southwest corner of said Lofland 72 acre tract and the southeast corner of said Lofland 60 acre tract, continuing with the south line of said Lofland 60 acre tract and the north line of said Lofland Circle, a total distance of 2,789.02 feet to a 1/2-inch iron rod with cap stamped "PJB SURVEYING" set at the northeast corner of a tract of land described in deed to Wallace Land Partners LP, recorded in Volume 2017, Pages 76, 82, 88, 94 & 100, D.R.R.C.T.;

THENCE South 88 degrees 42 minutes 50 seconds West, with the south line of said Lofland 60 acre tract and the north line of said Wallace Land Partners LP tract, a distance of 2,215.98 feet to a 1/2-inch iron rod with cap stamped "PJB SURVEYING" set at the southwest corner of said Lofland 60 acre tract and the southwest corner of said Rockwall Lake Properties Development No. 2, an addition to the City of Rockwall, Rockwall County, Texas, recorded in Cabinet A, Page 79 of the Map Records of Rockwall County, Texas;

THENCE North 00 degrees 53 minutes 57 seconds West, with the west line of said Lofland 60 acre tract and the east line of said Rockwall Lake Properties Development No. 2, a distance of 2,452.25 feet to a 1/2-inch iron rod with cap stamped "PJB SURVEYING" set at the northwest corner of said Lofland 60 acre tract and the northeast corner of said Rockwall Lake Properties Development No. 2, being in the south line of a tract of land described in deed to Vicmar I, Ltd., as recorded in Volume 200, D.R.R.C.T.;

THENCE North 88 degrees 46 minutes 35 seconds East, with the north line of said Lofland 60 acre tract and the south line of said Vicmar I, Ltd. tract, at a distance of 227.28 feet passing a found 5/8-inch iron rod found at the southeast corner of said Vicmar I, Ltd. tract and the southwest corner of a tract of land described in deed to Layza & Luna Real Estate, LLC recorded in Instrument No. 2022000001115, of the Official Public Records of Rockwall County, Texas (O.P.R.R.C.T.), continuing with the north line of said Lofland 60 acre tract and the south line of said Layza & Luna Real Estate, LLC tract, a distance of 1,232.98 feet to a 1/2-inch iron rod found at the southeast corner of Layza & Luna tract and the southwest corner of said Forrest tract, continuing with the north line of said Lofland 60 acre tract and the south line of said Forrest tract, a total distance of 2,545.43 feet to an "X" set at the southeast corner of said Forrest tract, being in the west line of said Lofland 72 acre tract;

THENCE North 01 degree 03 minutes 21 seconds West, with the west line of said Lofland 72 acre tract and the east line of said Forrest tract, a distance of 571.95 feet to the POINT OF BEGINNING and containing 242.2768 acres of land.

CERTIFICATION

I do hereby certify to J. Bond Partners, Ltd., William B. Lofland, David L. Bond, Lois Anne Bond, Hunter Scott Lofland, Gillian Grant Lofland Sherer, and Evelyn Ruth Lofland, Qualico Developments (U.S.), Inc., Independence Title and Title Resources Guaranty Company that this survey was prepared from an on the ground survey under my supervision on February 12, 2024.

Patrick J. Baldasaro 3.20.24
Patrick J. Baldasaro
Registered Professional Land Surveyor 5504

BOUNDARY SURVEY
OF A
242.2768 ACRE TRACT
OUT OF THE
JOHN. R. JOHNSON SURVEY, ABST. NO. 128
AND THE
ABNER JOHNSON SURVEY, ABST. NO. 123
IN THE
CITY OF ROCKWALL
ROCKWALL COUNTY, TEXAS

PREPARED BY
PJB SURVEYING, LLC
TBPELS NO. 10194303
200 W. BELMONT SUITE D
ALLEN, TEXAS 75013
872-648-6669

MARCH 26, 2024

BEING a tract of land situated in the Abner Johnston Survey, Abstract No. 123 and the John R. Johnson Survey, Abstract No. 128, in the City of Rockwall, Rockwall County, Texas, being a part of a called 120 acre tract of land described in deed to N.L. Lofland and Annie Lofland, as recorded in Volume 28, Page 487, in the Deed Records of Rockwall County, Texas (D.R.R.C.T.), part of a called 72 acre tract described in a deed to N.L. Lofland, as recorded in Volume 30, Page 548, D.R.R.C.T., part of a called 60 acre tract of land described in deed to Nan A. Smartt, Juliana Bond and W.I. Lofland, as recorded in Volume 98, Page 759, D.R.R.C.T., and part of a tract of land described in deed to N.L. Lofland, as recorded in Volume 35, Page 269, D.R.R.C.T, and being more particularly described as follows:

BEGINNING at a magnail found at the northeast corner of a called 14.05 acre tract of land described in deed to Frank Forrest and Kelli LaFon Forrest, as recorded in Volume 2664, Page 159, D.R.R.C.T. and the southeast corner of a called 15.598 acre tract of land described in deed to Miller Family Investment, LP, as recorded in Volume 5632, Page 292, D.R.R.C.T., being in the west line of said 72 acre Lofland tract;

THENCE North 00 degrees 04 minutes 08 seconds West, with the west line of said 72 acre Lofland tract and the east line of said Miller Family Investment, LP tract, a distance of 450.81 feet to the northeast corner of said Miller Family Investment, LP tract, being in the southwest line of State Highway 205 (SH 205) (variable width right-of-way), from which a found magnail bears North 00 degrees 01 minute 58 seconds West, a distance of 1.01 feet, said corner being on a non-tangent curve to the right, having a radius of 11,409.16 feet and a central angle of 00 degrees 35 minutes 02 seconds;

THENCE with the southeast line of said SH 205 and with said curve to the right, an arc distance of 116.29 feet (Chord Bearing South 42 degrees 43 minutes 19 seconds East - 116.29 feet) to a 1/2-inch iron rod with cap stamped "PJB SURVEYING" set;

THENCE South 47 degrees 34 minutes 12 seconds West, continuing with the southwest line of said SH 205, a distance of 20.00 feet to a 1/2-inch iron rod with cap stamped "PJB SURVEYING" set on a non-tangent curve to the right, having a radius of 11,389.16 feet and a central angle of 02 degrees 30 minutes 00 seconds;

THENCE continuing with the southwest line of said SH 205 and with said curve to the right, an arc distance of 496.95 feet (Chord Bearing South 41 degrees 10 minutes 48 seconds East - 496.91 feet) to a 1/2-inch iron rod with cap stamped "PJB SURVEYING" set;

THENCE North 50 degrees 04 minutes 12 seconds East, continuing with the southwest line of said SH 205, a distance of 20.00 feet to a 1/2-inch iron rod with cap stamped "PJB SURVEYING" set on a non-tangent curve to the right, having a radius of 11,409.16 feet and a central angle of 05 degrees 50 minutes 02 seconds;

THENCE continuing with the southwest line of said SH 205 and with said curve to the right, an arc distance of 1,161.69 feet (Chord Bearing South 37 degrees 00 minutes 47 seconds East - 1,161.19 feet) to a 5/8-inch iron rod with pink "TxDOT SURVEY MARKER" cap found at the point of curvature of a curve to the left having radius of 1,152.00 feet and a central angle of 19 degrees 30 minutes 41 seconds;

THENCE continuing with the southwest line of said SH 205 and with said curve to the left, an arc distance of 392.30 feet (Chord Bearing South 24 degrees 51 minutes 03 seconds East - 390.41 feet) to a 5/8-inch iron rod found at the point of tangency;

THENCE South 34 degrees 36 minutes 24 seconds East, continuing with the southwest line of said SH 205, at a distance of 228.25 feet passing a 5/8-inch iron rod with pink "TXDOT SURVEY MARKER" cap found, continuing a total distance of 528.00 feet to a 5/8-inch iron rod with pink "TXDOT SURVEY MARKER" cap found;

THENCE South 26 degrees 04 minutes 33 seconds East, continuing with the southwest line of said SH 205, a distance of 101.12 feet to a 5/8-inch iron rod with pink "TXDOT SURVEY MARKER" cap found;

THENCE South 34 degrees 36 minutes 24 seconds East, continuing with the southwest line of said SH 205, a distance of 221.52 feet to a 5/8-inch iron rod with pink "TXDOT SURVEY MARKER" cap found;

THENCE South 42 degrees 36 minutes 32 seconds East, continuing with the southwest line of said SH 205, a distance of 99.56 feet to a 1/2-inch iron rod with cap stamped "PJB SURVEYING" set on a non-tangent curve to the left, having a radius of 5,105.59 feet and a central angle of 12 degrees 47 minutes 29 seconds;

THENCE continuing with the southwest line of said SH 205 and with said curve to the left, an arc distance of 1,139.83 feet (Chord Bearing South 38 degrees 03 minutes 31 seconds East - 1,137.46 feet) to a 1/2-inch iron rod with cap stamped "PJB SURVEYING" set on the south line of said Lofland 72 acre tract and being in the approximate center of Lofland Circle (variable width right-of-way);

THENCE South 88 degrees 42 minutes 50 seconds West, with the south line of said Lofland 72 acre tract and along the approximate center of Lofland Circle, at a distance of 2,472.42 feet passing the southwest corner of said Lofland 72 acre tract and the southeast corner of said Lofland 60 acre tract, continuing with the south line of said Lofland 60 acre tract and the north line of said Lofland Circle, a total distance of 2,789.02 feet to a 1/2-inch iron rod with cap stamped "PJB SURVEYING" set at the northeast corner of a tract of land described in deed to Wallace Land Partners LP, recorded in Volume 2017, Pages 76, 82, 88, 94 & 100, D.R.R.C.T.;

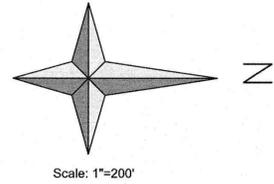
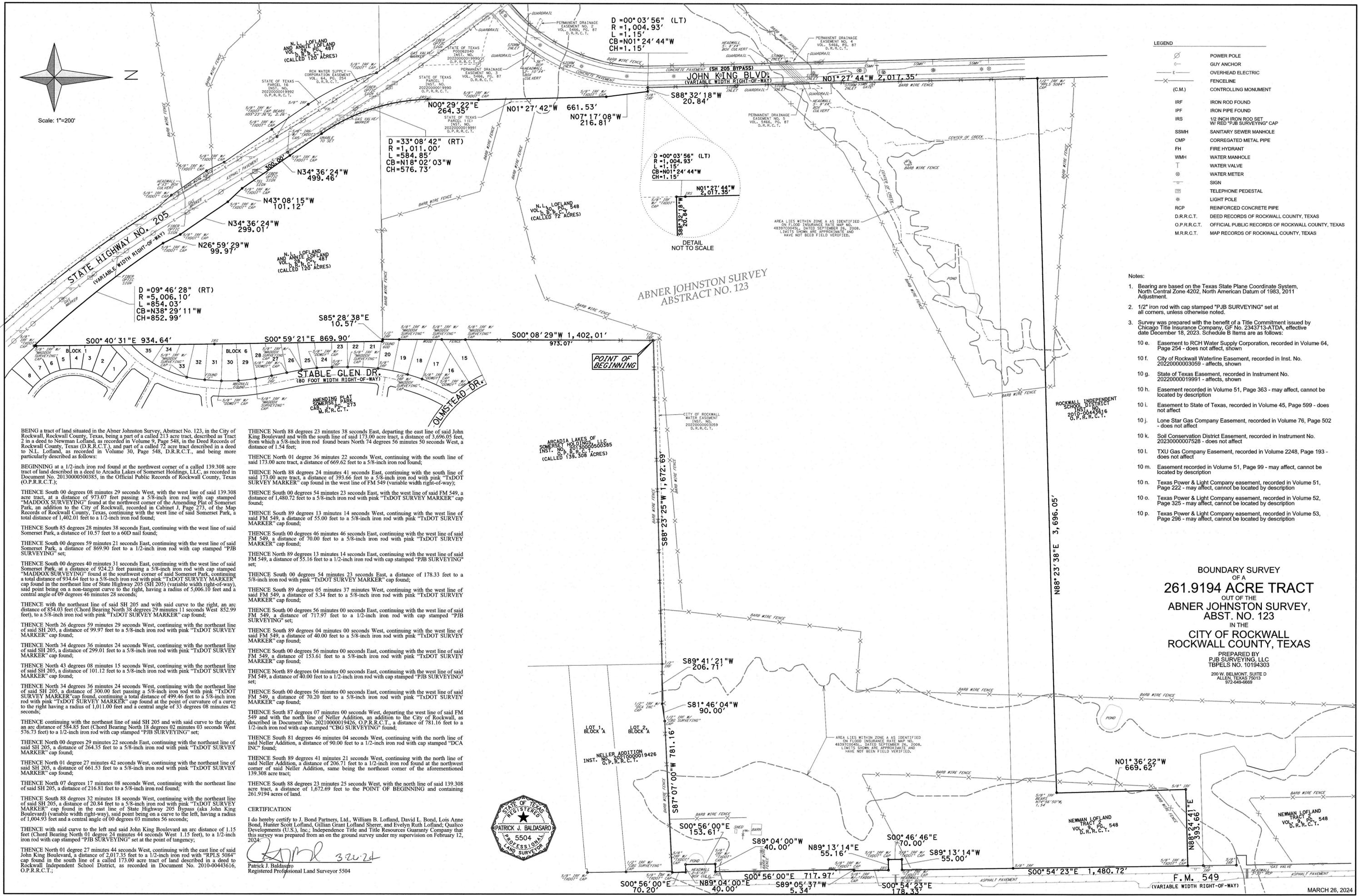
THENCE South 88 degrees 45 minutes 15 seconds West, with the south line of said Lofland 60 acre tract and the north line of said Wallace Land Partners LP tract, a distance of 2,215.98 feet to a 1/2-inch iron rod with cap stamped "PJB SURVEYING" set at the southwest corner of said Lofland 60 acre tract, being in the east line of Rockwall Lake Properties Development No. 2, an addition to the City of Rockwall, Rockwall County, Texas, recorded in Cabinet A, Page 79 of the Map Records of Rockwall County, Texas;

THENCE North 00 degrees 53 minutes 57 seconds West, with the west line of said Lofland 60 acre tract and the east line of said Rockwall Lake Properties Development No. 2, a distance of 2,452.25 feet to a 1/2-inch iron rod with cap stamped "PJB SURVEYING" set at the northwest corner of said Lofland 60 acre tract and the northeast corner of said Rockwall Lake Properties Development No. 2, being in the south line of a tract land described in deed to Vicmar I, Ltd., as recorded in Volume 2016, Page 200, D.R.R.C.T.;

THENCE North 88 degrees 46 minute 35 seconds East, with the north line of said Lofland 60 acre tract and the south line of said Vicmar I, Ltd. tract, at a distance of 227.28 feet passing a found 5/8-inch iron rod found at the southeast corner of said Vicmar I, Ltd. tract and the southwest corner of a tract of land described in deed to Layza & Luna Real Estate, LLC, recorded in Instrument No. 20220000001115, of the Official Public Records of Rockwall County, Texas (O.P.R.R.C.T.), continuing with the north line of said Lofland 60 acre tract and the south line of said Layza & Luna Real Estate, LLC tract, a distance of 1,232.98 feet to a 1/2-inch iron rod found at the southeast corner of Layza & Luna tract and the southwest corner

of said Forrest tract, continuing with the north line of said Lofland 60 acre tract and the south line of said Forrest tract, a total distance of 2,545.43 feet to an "X" set at the southeast corner of said Forrest tract, being in the west line of said Lofland 72 acre tract;

THENCE North 01 degree 03 minutes 21 seconds West, with the west line of said Lofland 72 acre tract and the east line of said Forrest tract, a distance of 571.95 feet to the POINT OF BEGINNING and containing 242.2768 acres of land.



LEGEND

	POWER POLE
	GUY ANCHOR
	OVERHEAD ELECTRIC
	FENCELINE
	CONTROLLING MONUMENT
	IRON ROD FOUND
	IRON PIPE FOUND
	1/2 INCH IRON ROD SET
	WI RED "PJB SURVEYING" CAP
	SANITARY SEWER MANHOLE
	CORRUGATED METAL PIPE
	FIRE HYDRANT
	WATER MANHOLE
	WATER VALVE
	WATER METER
	SIGN
	TELEPHONE PEDESTAL
	LIGHT POLE
	REINFORCED CONCRETE PIPE
	DEED RECORDS OF ROCKWALL COUNTY, TEXAS
	OFFICIAL PUBLIC RECORDS OF ROCKWALL COUNTY, TEXAS
	MAP RECORDS OF ROCKWALL COUNTY, TEXAS

- Notes:**
- Bearing are based on the Texas State Plane Coordinate System, North Central Zone 4202, North American Datum of 1983, 2011 Adjustment.
 - 1/2" iron rod with cap stamped "PJB SURVEYING" set at all corners, unless otherwise noted.
 - Survey was prepared with the benefit of a Title Commitment issued by Chicago Title Insurance Company, OF No. 2043715-ATDA, effective date December 18, 2023. Schedule B Items are as follows:
 - Easement to RCH Water Supply Corporation, recorded in Volume 64, Page 234 - does not affect, shown
 - City of Rockwall Waterline Easement, recorded in Inst. No. 20220000030593 - affects, shown
 - State of Texas Easement, recorded in Instrument No. 20220000019991 - affects, shown
 - Easement recorded in Volume 51, Page 363 - may affect, cannot be located by description
 - Easement to State of Texas, recorded in Volume 45, Page 599 - does not affect
 - Lone Star Gas Company Easement, recorded in Volume 76, Page 502 - does not affect
 - Soil Conservation District Easement, recorded in Instrument No. 2023000007528 - does not affect
 - TXU Gas Company Easement, recorded in Volume 2248, Page 193 - does not affect
 - Easement recorded in Volume 51, Page 99 - may affect, cannot be located by description
 - Texas Power & Light Company easement, recorded in Volume 51, Page 222 - may affect, cannot be located by description
 - Texas Power & Light Company easement, recorded in Volume 52, Page 325 - may affect, cannot be located by description
 - Texas Power & Light Company easement, recorded in Volume 53, Page 296 - may affect, cannot be located by description

**BOUNDARY SURVEY
OF A
261.9194 ACRE TRACT
OUT OF THE
ABNER JOHNSTON SURVEY,
ABST. NO. 123
IN THE
CITY OF ROCKWALL
ROCKWALL COUNTY, TEXAS**

PREPARED BY
PJB SURVEYING, LLC
TBPELS NO. 10194303

200 W. BELMONT, SUITE D
ALLEN, TEXAS 75013
972-548-6869

CERTIFICATION

I do hereby certify to J. Bond Partners, Ltd., William B. Lofland, David L. Bond, Lois Anne Bond, Hunter Scott Lofland, Gillian Grant Lofland Sherer, and Evelyn Ruth Lofland; Qualico Developments (U.S.), Inc.; Independence Title and Title Resources Guaranty Company that this survey was prepared from an on the ground survey under my supervision on February 12, 2024.

Patrick J. Baldasro
Patrick J. Baldasro
Registered Professional Land Surveyor 5504



BEING a tract of land situated in the Abner Johnston Survey, Abstract No. 123, in the City of Rockwall, Rockwall County, Texas, being a part of a called 213 acre tract, described as Tract 2 in a deed to Newman Lofland, as recorded in Volume 9, Page 548, in the Deed Records of Rockwall County, Texas (D.R.R.C.T.), and part of a called 72 acre tract described in a deed to N.L. Lofland, as recorded in Volume 30, Page 548, D.R.R.C.T., and being more particularly described as follows:

BEGINNING at a 1/2-inch iron rod found at the northwest corner of a called 139.308 acre tract of land described in a deed to Arcadia Lakes of Somerset Holdings, LLC, as recorded in Document No. 20130000500385, in the Official Public Records of Rockwall County, Texas (O.P.R.R.C.T.);

THENCE South 00 degrees 08 minutes 29 seconds West, with the west line of said 139.308 acre tract, at a distance of 973.07 feet passing a 5/8-inch iron rod with cap stamped "MADDOX SURVEYING" found at the northwest corner of the Amending Plat of Somerset Park, an addition to the City of Rockwall, recorded in Cabinet J, Page 273, of the Map Records of Rockwall County, Texas, continuing with the west line of said Somerset Park, a total distance of 1,402.01 feet to a 1/2-inch iron rod found;

THENCE South 85 degrees 28 minutes 38 seconds East, continuing with the west line of said Somerset Park, a distance of 10.57 feet to a 60D nail found;

THENCE South 00 degrees 59 minutes 21 seconds East, continuing with the west line of said Somerset Park, a distance of 869.90 feet to a 1/2-inch iron rod with cap stamped "PJB SURVEYING" set;

THENCE South 00 degrees 40 minutes 31 seconds East, continuing with the west line of said Somerset Park, at a distance of 924.23 feet passing a 5/8-inch iron rod with cap stamped "MADDOX SURVEYING" found at the southwest corner of said Somerset Park, continuing a total distance of 934.64 feet to a 5/8-inch iron rod with pink "TXDOT SURVEY MARKER" cap found in the northeast line of State Highway 205 (SH 205) (variable width right-of-way), said point being on a non-tangent curve to the right, having a radius of 5,006.10 feet and a central angle of 09 degrees 46 minutes 28 seconds;

THENCE with the northeast line of said SH 205 and with said curve to the right, an arc distance of 854.03 feet (Chord Bearing North 38 degrees 29 minutes 11 seconds West 852.99 feet), to a 5/8-inch iron rod with pink "TXDOT SURVEY MARKER" cap found;

THENCE North 26 degrees 59 minutes 29 seconds West, continuing with the northeast line of said SH 205, a distance of 99.97 feet to a 5/8-inch iron rod with pink "TXDOT SURVEY MARKER" cap found;

THENCE North 34 degrees 36 minutes 24 seconds West, continuing with the northeast line of said SH 205, a distance of 299.01 feet to a 5/8-inch iron rod with pink "TXDOT SURVEY MARKER" cap found;

THENCE North 43 degrees 08 minutes 15 seconds West, continuing with the northeast line of said SH 205, a distance of 101.12 feet to a 5/8-inch iron rod with pink "TXDOT SURVEY MARKER" cap found;

THENCE North 34 degrees 36 minutes 24 seconds West, continuing with the northeast line of said SH 205, a distance of 300.00 feet passing a 5/8-inch iron rod with pink "TXDOT SURVEY MARKER" cap found, continuing a total distance of 499.46 feet to a 5/8-inch iron rod with pink "TXDOT SURVEY MARKER" cap found at the point of tangency of a curve to the right having a radius of 1,011.00 feet and a central angle of 33 degrees 08 minutes 42 seconds;

THENCE continuing with the northeast line of said SH 205 and with said curve to the right, an arc distance of 584.85 feet (Chord Bearing North 18 degrees 02 minutes 03 seconds West 576.73 feet) to a 1/2-inch iron rod with cap stamped "PJB SURVEYING" set;

THENCE North 00 degrees 29 minutes 22 seconds East, continuing with the northeast line of said SH 205, a distance of 264.35 feet to a 5/8-inch iron rod with pink "TXDOT SURVEY MARKER" cap found;

THENCE North 01 degree 27 minutes 42 seconds West, continuing with the northeast line of said SH 205, a distance of 216.81 feet to a 5/8-inch iron rod found;

THENCE North 07 degrees 17 minutes 08 seconds West, continuing with the northeast line of said SH 205, a distance of 216.81 feet to a 5/8-inch iron rod found;

THENCE North 01 degree 27 minutes 42 seconds West, continuing with the northeast line of said SH 205, a distance of 216.81 feet to a 5/8-inch iron rod found;

THENCE North 88 degrees 23 minutes 38 seconds East, departing the east line of said John King Boulevard and with the south line of said 173.00 acre tract, a distance of 3,696.05 feet, from which a 5/8-inch iron rod found bears North 74 degrees 56 minutes 50 seconds West, a distance of 1.54 feet;

THENCE North 01 degree 36 minutes 22 seconds West, continuing with the south line of said 173.00 acre tract, a distance of 669.62 feet to a 5/8-inch iron rod found;

THENCE North 88 degrees 24 minutes 41 seconds East, continuing with the south line of said 173.00 acre tract, a distance of 393.66 feet to a 5/8-inch iron rod with pink "TXDOT SURVEY MARKER" cap found in the west line of FM 549 (variable width right-of-way);

THENCE South 00 degrees 54 minutes 23 seconds East, with the west line of said FM 549, a distance of 1,480.72 feet to a 5/8-inch iron rod with pink "TXDOT SURVEY MARKER" cap found;

THENCE South 89 degrees 13 minutes 14 seconds West, continuing with the west line of said FM 549, a distance of 55.00 feet to a 5/8-inch iron rod with pink "TXDOT SURVEY MARKER" cap found;

THENCE South 00 degrees 46 minutes 46 seconds East, continuing with the west line of said FM 549, a distance of 70.00 feet to a 5/8-inch iron rod with pink "TXDOT SURVEY MARKER" cap found;

THENCE North 89 degrees 13 minutes 14 seconds East, continuing with the west line of said FM 549, a distance of 55.16 feet to a 1/2-inch iron rod with cap stamped "PJB SURVEYING" set;

THENCE South 00 degrees 54 minutes 23 seconds East, a distance of 178.33 feet to a 5/8-inch iron rod with pink "TXDOT SURVEY MARKER" cap found;

THENCE South 89 degrees 05 minutes 37 minutes West, continuing with the west line of said FM 549, a distance of 5.34 feet to a 5/8-inch iron rod with pink "TXDOT SURVEY MARKER" cap found;

THENCE South 00 degrees 56 minutes 00 seconds East, continuing with the west line of said FM 549, a distance of 717.97 feet to a 1/2-inch iron rod with cap stamped "PJB SURVEYING" set;

THENCE South 00 degrees 56 minutes 00 seconds East, continuing with the west line of said FM 549, a distance of 70.20 feet to a 5/8-inch iron rod with pink "TXDOT SURVEY MARKER" cap found;

THENCE South 87 degrees 07 minutes 07 minutes West, departing the west line of said FM 549 and with the north line of Neller Addition, an addition to the City of Rockwall, as described in Document No. 20210000019426, O.P.R.R.C.T., a distance of 781.16 feet to a 1/2-inch iron rod with cap stamped "CBG SURVEYING" found;

THENCE South 81 degrees 46 minutes 04 seconds West, continuing with the north line of said Neller Addition, a distance of 90.00 feet to a 1/2-inch iron rod with cap stamped "DCA INC" found;

THENCE South 89 degrees 41 minutes 21 seconds West, continuing with the north line of said Neller Addition, a distance of 206.71 feet to a 1/2-inch iron rod found at the northwest corner of said Neller Addition, same being the northeast corner of the aforementioned 139.308 acre tract;

THENCE North 07 degrees 17 minutes 08 seconds West, continuing with the northeast line of said SH 205, a distance of 216.81 feet to a 5/8-inch iron rod found;

THENCE South 88 degrees 23 minutes 25 seconds West, with the north line of said 139.308 acre tract, a distance of 1,672.69 feet to the POINT OF BEGINNING and containing 261.9194 acres of land.

ABNER JOHNSTON SURVEY
ABSTRACT NO. 123

POINT OF BEGINNING

ARCADIA LAKES OF LLC
SOMERSET HOLDINGS, LLC
INST. NO. 20130000500385
O.P.R.R.C.T.
(CALLED 139.308 ACRES)

LOT 1
BLOCK 'A'
LOT 2
BLOCK 'A'
NELLER ADDITION
INST. NO. 20210000019426
O.P.R.R.C.T.

STATE OF TEXAS
REGISTERED
PROFESSIONAL LAND SURVEYOR
5504

BEING a tract of land situated in the Abner Johnston Survey, Abstract No. 123, in the City of Rockwall, Rockwall County, Texas, being a part of a called 213 acre tract, described as Tract 2 in a deed to Newman Lofland, as recorded in Volume 9, Page 548, in the Deed Records of Rockwall County, Texas (D.R.R.C.T.), part of a called 120 acre tract described in a deed to N.L. Lofland and Annie Lofland, as recorded in Volume 28, Page 487 D.R.R.C.T., and part of a called 72 acre tract described in a deed to N.L. Lofland, as recorded in Volume 30, Page 548, D.R.R.C.T., and being more particularly described as follows:

BEGINNING at a 1/2-inch iron rod found at the northwest corner of a called 139.308 acre tract of land described in a deed to Arcadia Lakes of Somerset Holdings, LLC, as recorded in Document No. 20130000500385, in the Official Public Records of Rockwall County, Texas (O.P.R.R.C.T.);

THENCE South 00 degrees 08 minutes 29 seconds West, with the west line of said 139.308 acre tract, at a distance of 973.07 feet passing a 5/8-inch iron rod with cap stamped "MADDOX SURVEYING" found at the northwest corner of the Amending Plat of Somerset Park, an addition to the City of Rockwall, recorded in Cabinet J, Page 273, of the Map Records of Rockwall County, Texas, continuing with the west line of said Somerset Park, a total distance of 1,402.01 feet to a 1/2-inch iron rod found;

THENCE South 85 degrees 28 minutes 38 seconds East, continuing with the west line of said Somerset Park, a distance of 10.57 feet to a 60D nail found;

THENCE South 00 degrees 59 minutes 21 seconds East, continuing with the west line of said Somerset Park, a distance of 869.90 feet to a 1/2-inch iron rod with cap stamped "PJB SURVEYING" set;

THENCE South 00 degrees 40 minutes 31 seconds East, continuing with the west line of said Somerset Park, at a distance of 924.23 feet passing a 5/8-inch iron rod with cap stamped "MADDOX SURVEYING" found at the southwest corner of said Somerset Park, continuing a total distance of 934.64 feet to a 5/8-inch iron rod with pink "TxDOT SURVEY MARKER" cap found in the northeast line of State Highway 205 (SH 205) (variable width right-of-way), said point being on a non-tangent curve to the right, having a radius of 5,006.10 feet and a central angle of 09 degrees 46 minutes 28 seconds;

THENCE with the northeast line of said SH 205 and with said curve to the right, an arc distance of 854.03 feet (Chord Bearing North 38 degrees 29 minutes 11 seconds West 852.99 feet), to a 5/8-inch iron rod with pink "TxDOT SURVEY MARKER" cap found;

THENCE North 26 degrees 59 minutes 29 seconds West, continuing with the northeast line of said SH 205, a distance of 99.97 feet to a 5/8-inch iron rod with pink "TxDOT SURVEY MARKER" cap found;

THENCE North 34 degrees 36 minutes 24 seconds West, continuing with the northeast line of said SH 205, a distance of 299.01 feet to a 5/8-inch iron rod with pink "TxDOT SURVEY MARKER" cap found;

THENCE North 43 degrees 08 minutes 15 seconds West, continuing with the northeast line of said SH 205, a distance of 101.12 feet to a 5/8-inch iron rod with pink "TxDOT SURVEY MARKER" cap found;

THENCE North 34 degrees 36 minutes 24 seconds West, continuing with the northeast line of said SH 205, a distance of 300.00 feet passing a 5/8-inch iron rod with pink "TxDOT SURVEY MARKER" cap found, continuing a total distance of 499.46 feet (unable to set) to the point of curvature of a curve to the right having a radius of 1,011.00 feet and a central angle of 33 degrees 08 minutes 42 seconds;

THENCE continuing with the northeast line of said SH 205 and with said curve to the right, an arc distance of 584.85 feet (Chord Bearing North 18 degrees 02 minutes 03 seconds West 576.73 feet) to a 1/2-inch iron rod with cap stamped "PJB SURVEYING" set;

THENCE North 00 degrees 29 minutes 22 seconds East, continuing with the northeast line of said SH 205, a distance of 264.35 feet to a 5/8-inch iron rod with pink "TxDOT SURVEY MARKER" cap found;

THENCE North 01 degree 27 minutes 42 seconds West, continuing with the northeast line of said SH 205, a distance of 661.53 feet to a 5/8-inch iron rod with pink "TxDOT SURVEY MARKER" cap found;

THENCE North 07 degrees 17 minutes 08 seconds West, continuing with the northeast line of said SH 205, a distance of 216.81 feet to a 5/8-inch iron rod found;

THENCE South 88 degrees 32 minutes 18 seconds West, continuing with the northeast line of said SH 205, a distance of 20.84 feet to a 5/8-inch iron rod with pink "TxDOT SURVEY MARKER" cap found in the east line of State Highway 205 Bypass (aka John King Boulevard) (variable width right-way), said point being on a curve to the left, having a radius of 1,004.93 feet and a central angle of 00 degrees 03 minutes 56 seconds;

THENCE with said curve to the left and said John King Boulevard an arc distance of 1.15 feet (Chord Bearing North 01 degree 24 minutes 44 seconds West 1.15 feet), to a 1/2-inch iron rod with cap stamped "PJB SURVEYING" set at the point of tangency;

THENCE North 01 degree 27 minutes 44 seconds West, continuing with the east line of said John King Boulevard, a distance of 2,017.35 feet to a 1/2-inch iron rod with "RPLS 5084" cap found in the south line of a called 173.00 acre tract of land described in a deed to Rockwall Independent School District, as recorded in Document No. 2010-00443616, O.P.R.R.C.T.;

THENCE North 88 degrees 23 minutes 38 seconds East, departing the east line of said John King Boulevard and with the south line of said 173.00 acre tract, a distance of 3,696.05 feet, from which a 5/8-inch iron rod found bears North 74 degrees 56 minutes 50 seconds West, a distance of 1.54 feet;

THENCE North 01 degree 36 minutes 22 seconds West, continuing with the south line of said 173.00 acre tract, a distance of 669.62 feet to a 5/8-inch iron rod found;

THENCE North 88 degrees 24 minutes 41 seconds East, continuing with the south line of said 173.00 acre tract, a distance of 393.66 feet to a 5/8-inch iron rod with pink "TxDOT SURVEY MARKER" cap found in the west line of FM 549 (variable width right-of-way);

THENCE South 00 degrees 54 minutes 23 seconds East, with the west line of said FM 549, a distance of 1,480.72 feet to a 5/8-inch iron rod with pink "TxDOT SURVEY MARKER" cap found;

THENCE South 89 degrees 13 minutes 14 seconds West, continuing with the west line of said FM 549, a distance of 55.00 feet to a 5/8-inch iron rod with pink "TxDOT SURVEY MARKER" cap found;

THENCE South 00 degrees 46 minutes 46 seconds East, continuing with the west line of said FM 549, a distance of 70.00 feet to a 5/8-inch iron rod with pink "TxDOT SURVEY MARKER" cap found;

THENCE North 89 degrees 13 minutes 14 seconds East, continuing with the west line of said FM 549, a distance of 55.16 feet to a 1/2-inch iron rod with cap stamped "PJB SURVEYING" set;

THENCE South 00 degrees 54 minutes 23 seconds East, a distance of 178.33 feet to a 5/8-inch iron rod with pink "TxDOT SURVEY MARKER" cap found;

THENCE South 89 degrees 05 minutes 37 minutes West, continuing with the west line of said FM 549, a distance of 5.34 feet to a 5/8-inch iron rod with pink "TxDOT SURVEY MARKER" cap found;

THENCE South 00 degrees 56 minutes 00 seconds East, continuing with the west line of said FM 549, a distance of 717.97 feet to a 1/2-inch iron rod with cap stamped "PJB SURVEYING" set;

THENCE South 89 degrees 04 minutes 00 seconds West, continuing with the west line of said FM 549, a distance of 40.00 feet to a 5/8-inch iron rod with pink "TxDOT SURVEY MARKER" cap found;

THENCE South 00 degrees 56 minutes 00 seconds East, continuing with the west line of said FM 549, a distance of 153.61 feet to a 5/8-inch iron rod with pink "TxDOT SURVEY MARKER" cap found;

THENCE North 89 degrees 04 minutes 00 seconds East, continuing with the west line of said FM 549, a distance of 40.00 feet to a 1/2-inch iron rod with cap stamped "PJB SURVEYING" set;

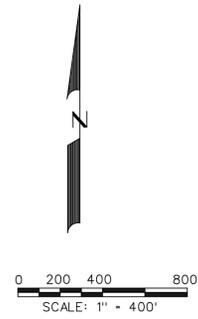
THENCE South 00 degrees 56 minutes 00 seconds East, continuing with the west line of said FM 549, a distance of 70.20 feet to a 5/8-inch iron rod with pink "TxDOT SURVEY MARKER" cap found;

THENCE South 87 degrees 07 minutes 00 seconds West, departing the west line of said FM 549 and with the north line of Neller Addition, an addition to the City of Rockwall, as described in Document No. 20210000019426, O.P.R.R.C.T., a distance of 781.16 feet to a 1/2-inch iron rod with cap stamped "CBG SURVEYING" found;

THENCE South 81 degrees 46 minutes 04 seconds West, continuing with the north line of said Neller Addition, a distance of 90.00 feet to a 1/2-inch iron rod with cap stamped "DCA INC" found;

THENCE South 89 degrees 41 minutes 21 seconds West, continuing with the north line of said Neller Addition, a distance of 206.71 feet to a 1/2-inch iron rod found at the northwest corner of said Neller Addition, same being the northeast corner of the aforementioned 139.308 acre tract;

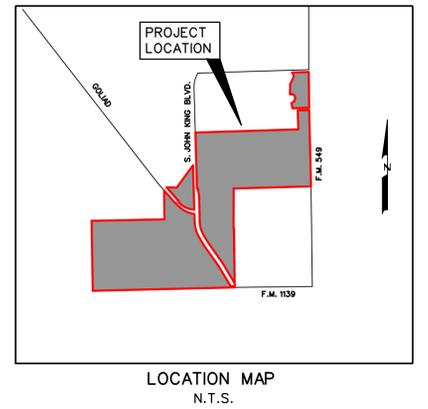
THENCE South 88 degrees 23 minutes 25 seconds West, with the north line of said 139.308 acre tract, a distance of 1,672.69 feet to the POINT OF BEGINNING and containing 261.9194 acres of land.



LEGEND

TYPICAL LOT SIZES

	- 52' X 125' - 65 LOTS
	- 62' X 125' - 308 LOTS
	- 72' X 125' - 377 LOTS
	- 82' X 125' - 125 LOTS
	- 100' X 150' - 46 LOTS
	- 1/2 ACRE LOT - 15 LOTS
	- 1 ACRE - 24 LOTS
	- OPEN SPACE - 136.80 Ac.
	- AMENITY CENTER - 4.81 Ac.
	- CITY PARK - 37.7 Ac.
	- COMMERCIAL - 41.0 Ac.



TOTAL ACRES	536.42
GROSS COMMERCIAL ACRES	41.0
TOTAL RESIDENTIAL LOTS	960
RESIDENTIAL DENSITY*	1.789
GROSS RESIDENTIAL DENSITY**	1.938
TOTAL FLOOD PLAIN ACRES	87.09
TOTAL OPEN SPACE ACRES	136.80

NOTE:
 * CALCULATED AT (TOT RES LOTS)/(TOTAL ACRES)
 ** CALCULATED AT (TOT RES LOTS)/(TOTAL ACRES-GROSS COMMERCIAL ACRES)

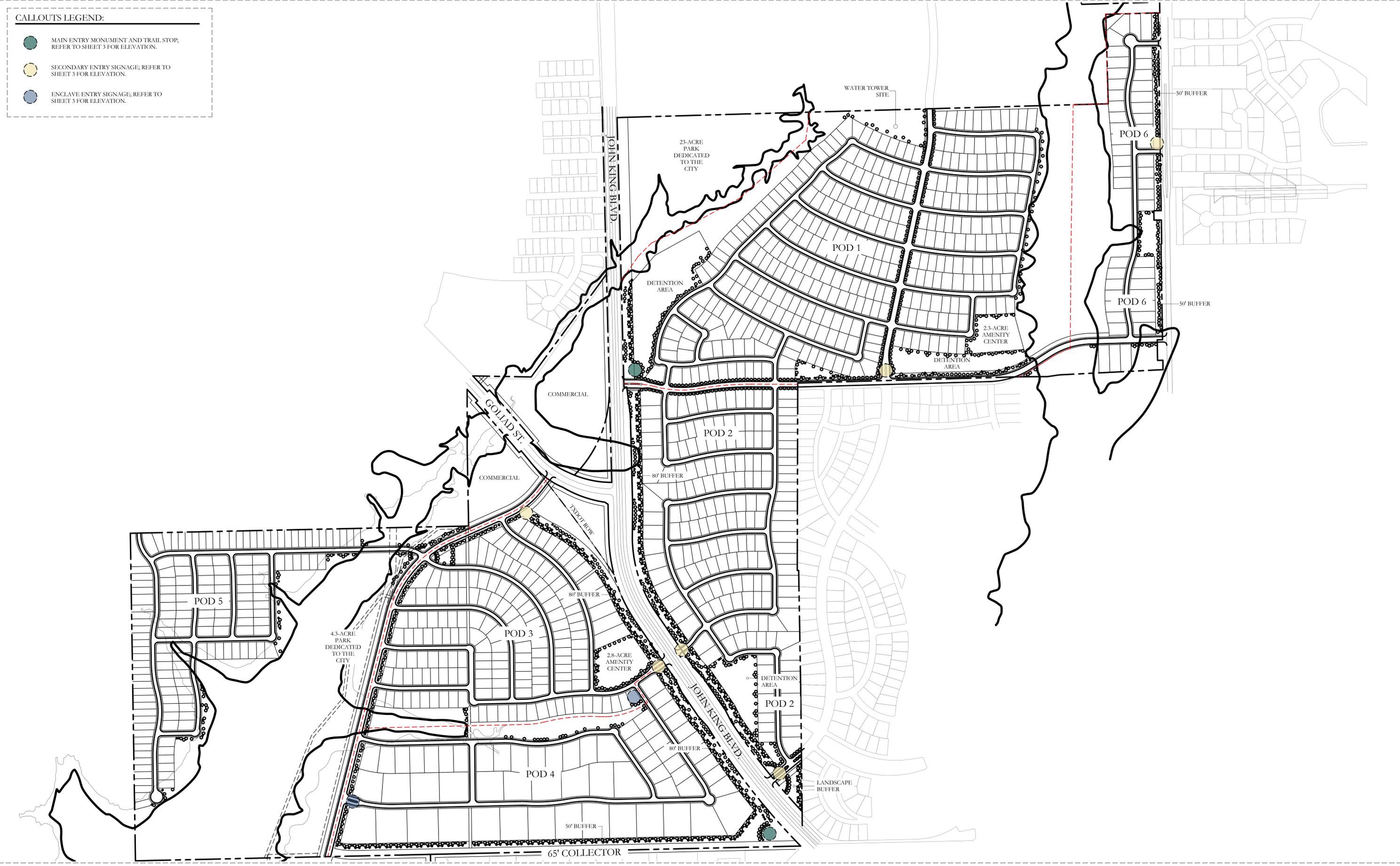
CONCEPT PLAN
 OF
JUNIPER
 SITUATED IN THE
 W.H. BAIRD SURVEY, ABSTRACT NO. 25
 A. JOHNSON SURVEY, ABSTRACT NO. 123
 J.R. JOHNSON SURVEY, ABSTRACT NO. 128
 IN THE
 CITY OF ROCKWALL
 ROCKWALL COUNTY, TEXAS
 PREPARED BY
CORWIN ENGINEERING, INC.
 200 W. BELMONT, SUITE E
 ALLEN, TEXAS 75013
 972-396-1200
 JULY 2024 SCALE 1" = 400'

OWNERS
 J BOND PARTNERS, LOIS ANNE BOND, DAVID LOFLAND BOND,
 WILLIAM BRIGGS LOFLAND, HUNTER SCOTT LOFLAND,
 GILLIAN GRANT LOFLAND SHERER & EVELYN RUTH LOFLAND
 1 CARMARTHEN COURT
 DALLAS, TEXAS 75225

CASE NO. XXXX

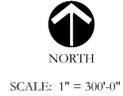
CALLOUTS LEGEND:

-  MAIN ENTRY MONUMENT AND TRAIL STOP; REFER TO SHEET 3 FOR ELEVATION.
-  SECONDARY ENTRY SIGNAGE; REFER TO SHEET 3 FOR ELEVATION.
-  ENCLAVE ENTRY SIGNAGE; REFER TO SHEET 3 FOR ELEVATION.



JUNIPER / OVERALL LAYOUT PLAN

City of Rockwall, Rockwall County, Texas

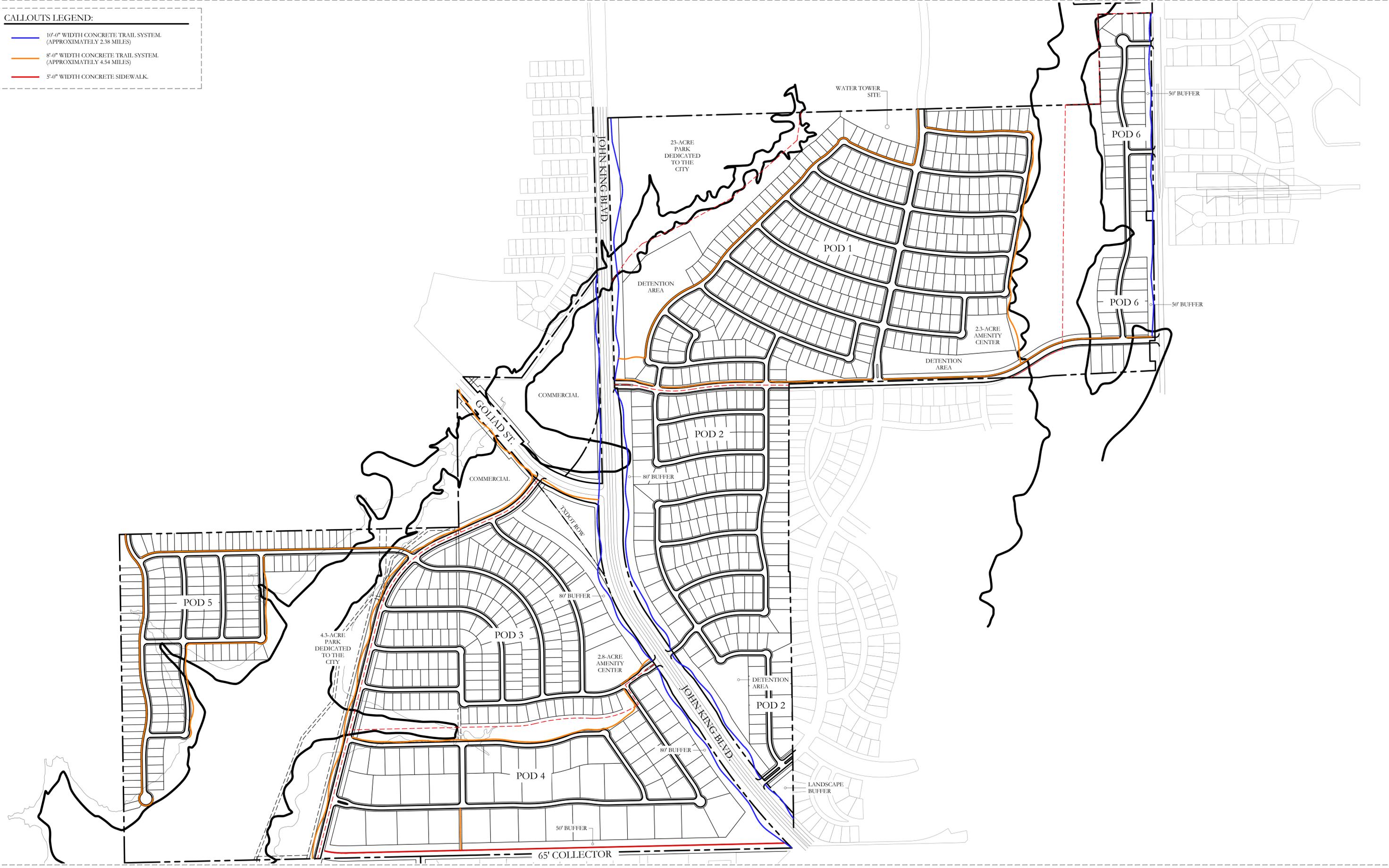


SHEET 1 OF 5
Owner Submittal 7-17-2024



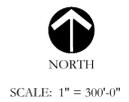
CALLOUTS LEGEND:

	10'-0" WIDTH CONCRETE TRAIL SYSTEM (APPROXIMATELY 2.38 MILES)
	8'-0" WIDTH CONCRETE TRAIL SYSTEM (APPROXIMATELY 4.54 MILES)
	5'-0" WIDTH CONCRETE SIDEWALK



JUNIPER / OVERALL SIDEWALK AND TRAIL PLAN

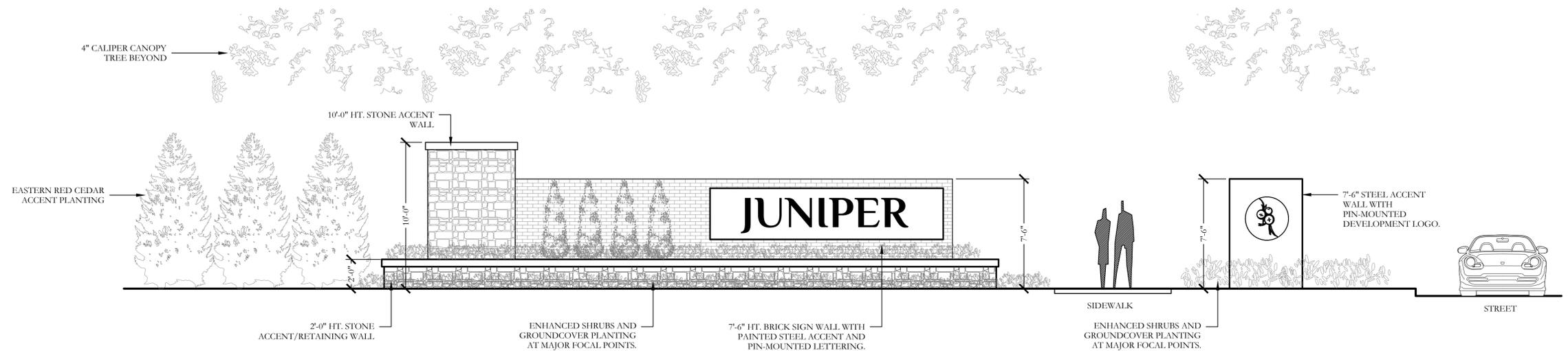
City of Rockwall, Rockwall County, Texas



SCALE: 1" = 300'-0"

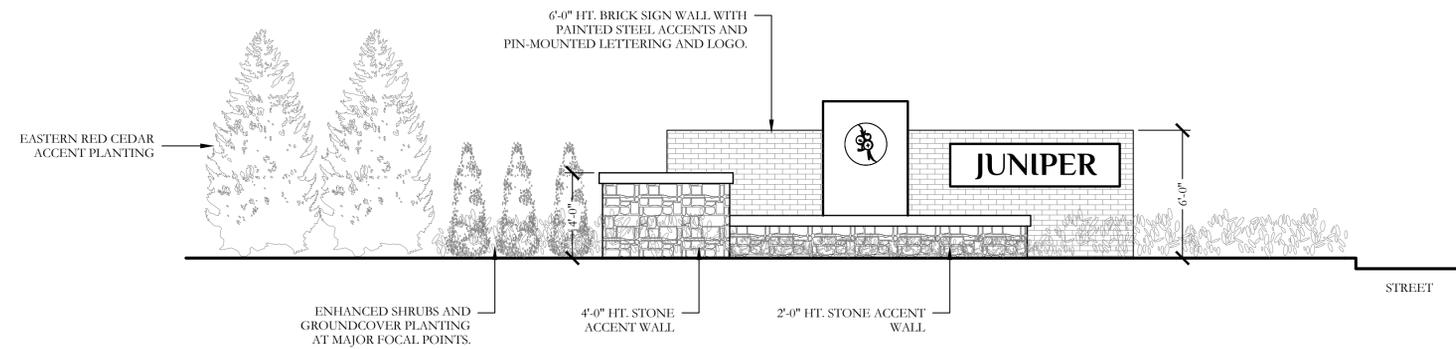
SHEET 2 OF 5
Owner Submittal 7-17-2024

JOHNSON VOLK CONSULTING
 TBP/ELS: Engineering Firm No. 11962 / Land Surveying Firm No. 10194033
 704 Central Parkway East | Suite 1200 | Plano, TX 75074 | 972.201.3100



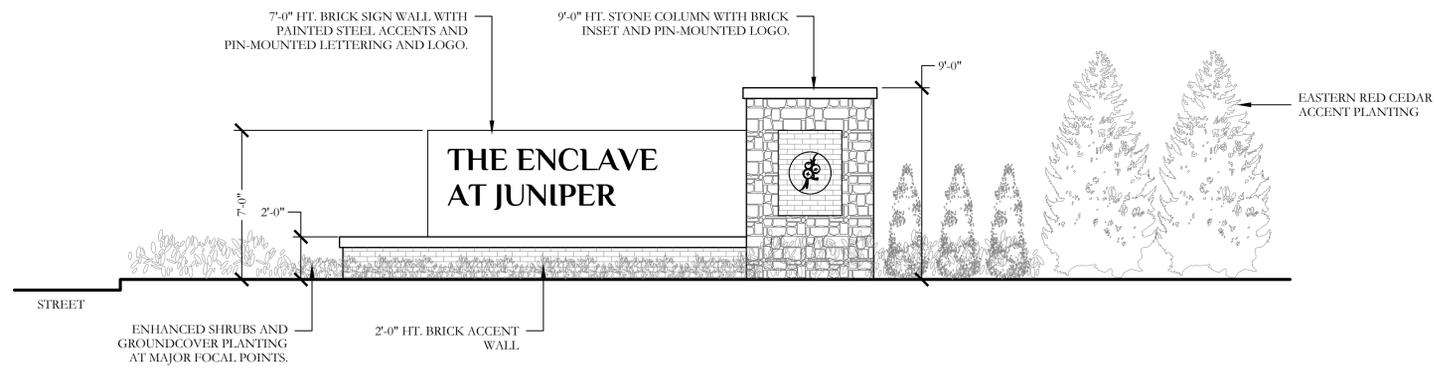
MAIN ENTRY SIGNAGE
ELEVATION

SCALE: 1/4" = 1'-0"



SECONDARY ENTRY SIGNAGE
ELEVATION

SCALE: 1/4" = 1'-0"



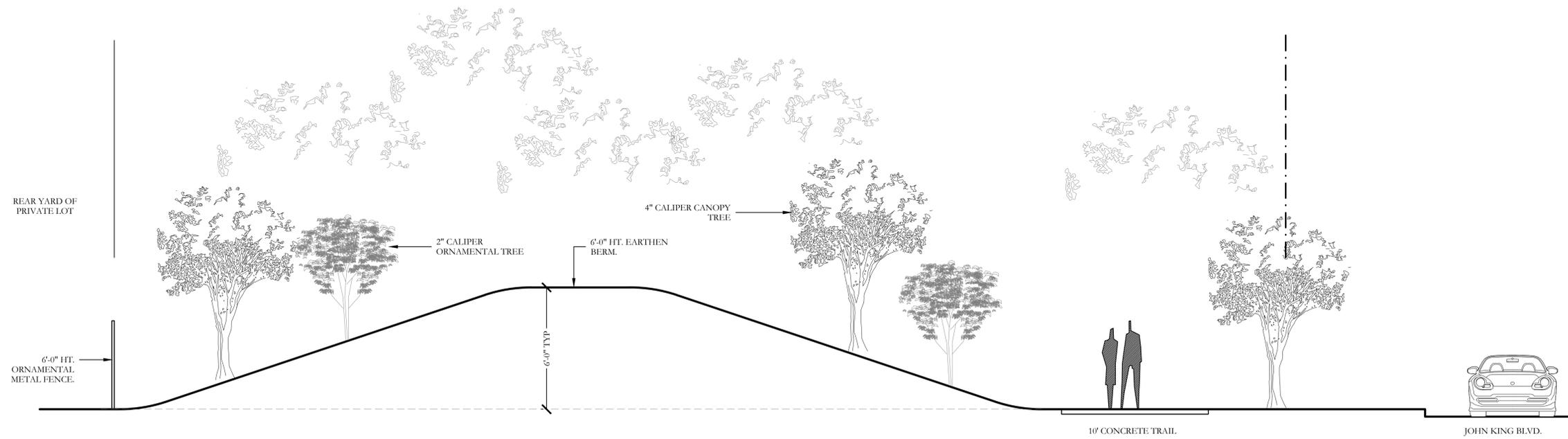
ENCLAVE ENTRY SIGNAGE
ELEVATION

SCALE: 1/4" = 1'-0"

JUNIPER / ENTRY MONUMENT ELEVATIONS

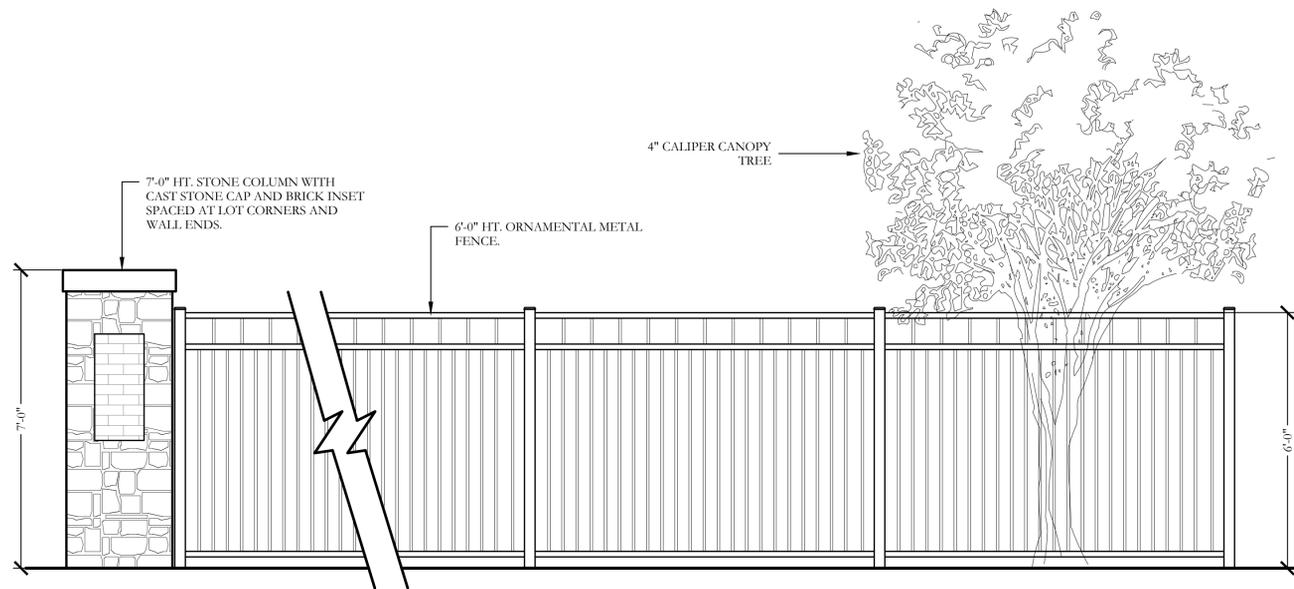
City of Rockwall, Rockwall County, Texas

SHEET 3 OF 5
Owner Submittal 7-17-2024



TYPICAL CROSS SECTION OF JOHN KING BLVD.
ELEVATION

SCALE: 1/4" = 1'-0"



TYPICAL ORNAMENTAL METAL FENCE AND COLUMNS
ELEVATION

SCALE: 1/2" = 1'-0"

JUNIPER / TYPICAL SCREENING DETAILS

City of Rockwall, Rockwall County, Texas

SHEET 4 OF 5
Owner Submittal 7-17-2024



JUNIPER / AMENITY CENTER INSPIRATION PAGE

City of Rockwall, Rockwall County, Texas

SHEET 5 OF 5
Owner Submittal 7-17-2024

Lot Type	Min Lot Size	Min Lot Size	Dwelling Units	% Dwel Un	actual sq ftg
1 acre	185 x 200	43560	24	2.50%	37000
1/2 acre		21780	15	1.56%	
100'	100x150	12000	46	4.79%	15000
82'	82x125	9600	125	13.02%	10250
72'	72x125	8640	377	39.27%	9000
62'	62x125	7440	308	32.08%	7750
52'	52x125		65	6.77%	6500
			960	100.00%	

Total Acres 536.42
 Gross Commercial 41
 Total Res Lots 960
 Residential Density 1.789 1.790 = #res lots/total acres
 Gross Res Density 1.938 = #res lots/(total acres-gross commercial)
 Total Flood Plain Acres 87.09
 Total Open Space Acres 136.8

Exhibit 'F':
Density and Development Standards

- (1) Permitted Uses. Unless specifically provided by this Planned Development District ordinance, the following uses are permitted on the *Subject Property*:
- (a) Residential Land Uses. Residential land uses shall be allowed only within the area designated for residential lots as depicted on the *Concept Plan* in *Exhibit 'C'* of this ordinance. These areas are limited to those uses permitted *by-right* or by Specific Use Permit (SUP) for the Single-Family 10 (SF-10) District, as stipulated by the *Permissible Use Charts* contained in Article 04, *Permissible Uses*, of the Unified Development Code (UDC).
- (b) Non-Residential Land Uses. Non-residential land uses shall be allowed only within the area designated for *Commercial* land uses as depicted on the *Concept Plan* in *Exhibit 'C'* of this ordinance. These areas are limited to those uses permitted *by-right* or by Specific Use Permit (SUP) for the General Retail (GR) District as stipulated by the *Permissible Use Charts* contained in Article 04, *Permissible Uses*, of the Unified Development Code (UDC) and subject to the approval of a *PD Development Plan* and *PD Site Plan* in accordance with the Planned Development District regulations contained in Article 10, *Planned Development District Regulations*, of the Unified Development Code (UDC); however, the following uses are expressly prohibited:
- ANIMAL BOARDING/KENNEL WITHOUT OUTSIDE PENS
 - ANIMAL HOSPITAL OR CLINIC
 - CONVENT, MONASTERY, OR TEMPLE
 - COMMERCIAL PARKING GARAGE
 - RESIDENCE HOTEL
 - MOTEL
 - CEMETERY/MAUSOLEUM
 - CONGREGATE CARE FACILITY/ELDERLY HOUSING
 - EMERGENCY GROUND AMBULANCE SERVICES
 - HOSPITAL
 - MORTUARY OR FUNERAL CHAPEL
 - TEMPORARY CARNIVAL, CIRCUS, OR AMUSEMENT
 - PORTABLE BEVERAGE SERVICE FACILITY
 - TEMPORARY CHRISTMAS TREE SALES LOT AND/OR SIMILAR USES
 - COPY CENTER
 - GARDEN SUPPLY/PLANT NURSERY
 - SELF SERVICE LAUNDROMAT
 - NIGHT CLUB, DISCOTHEQUE, OR DANCE HALL
 - RENTAL STORE WITHOUT OUTSIDE STORAGE AND/OR DISPLAY
 - RETAIL STORE WITH GASOLINE SALES THAT HAS MORE THAN TWO (2) DISPENSERS
 - TRADE SCHOOL
 - MINOR AUTO REPAIR GARAGE
 - SELF SERVICE CAR WASH
 - SERVICE STATION
 - MINING AND EXTRACTION OF SAND, GRAVEL, OIL AND/OR OTHER MATERIALS
 - ANTENNA DISH
 - COMMERCIAL FREESTANDING ANTENNA
 - HELIPAD
 - RAILROAD YARD OR SHOP
 - TRANSIT PASSENGER FACILITY
- (2) Residential Lot Composition and Layout. The lot layout and composition shall generally conform to the *Concept Plan* depicted in *Exhibit 'C'* and stated in *Table 1*, which is as follows:

**Exhibit 'F':
Density and Development Standards**

TABLE 1: LOT COMPOSITION

LOT TYPE	MINIMUM LOT SIZE (FT)	MINIMUM LOT SIZE (SF)	DWELLING UNITS (#)	DWELLING UNITS (%)
A	185' x 200'	43,560 SF	24	2.50%
B	100' x 200'	21,780 SF	15	1.56%
C	100' x 150'	12,000 SF	46	4.79%
D	82' x 125'	9,600 SF	125	13.02%
E	72' x 125'	8,640 SF	377	39.27%
F	62' x 125'	7,440 SF	308	32.08%
G	52' x 125'	6,000	65	6.77
<i>Maximum Permitted Units:</i>			960	100.00%

(3) Density and Dimensional Requirements. Unless specifically provided by this Planned Development District ordinance, the development standards stipulated for the *Subject Property* shall be as follows:

(a) Residential. Except as modified by this Planned Development District ordinance, residential land uses on the *Subject Property* shall be required to meet the development standards for the Single-Family 10 (SF-10) District, as specified by Article 05, *District Development Standards*, of the Unified Development Code (UDC). The maximum permissible density for the *Subject Property* shall not exceed 1.938 dwelling units per gross acre of land; however, in no case should the proposed development exceed 960 units. All lots shall conform to the standards depicted in *Table 2*, which are as follows:

TABLE 2: LOT DIMENSIONAL REQUIREMENTS

Lot Type (see Concept Plan) ►	A	B	C	D	E	F	G
<i>Minimum Lot Width</i> ⁽¹⁾	185'	100'	100'	80'	72'	62'	52'
<i>Minimum Lot Depth</i>	200'	200'	110'	110'	110'	110'	110'
<i>Minimum Lot Area (SF)</i>	43,560	21,780	12,000	9,600	8,640	7,440	6000
<i>Minimum Front Yard Setback</i> ^{(2), (5) & (6)}	30'	30'	20'	20'	20'	20'	20'
<i>Minimum Side Yard Setback</i>	15'	15'	10'	6'	6'	6'	6'
<i>Minimum Side Yard Setback (Adjacent to a Street)</i> ^{(2) & (5)}	15'	15'	15'	15'	15'	15'	15'
<i>Minimum Length of Driveway Pavement</i>	20'	20'	20'	20'	20'	20'	20'
<i>Maximum Height</i> ⁽³⁾	35'	35'	35'	35'	35'	35'	35'
<i>Minimum Rear Yard Setback</i> ⁽⁴⁾	30'	30'	10'	10'	10'	10'	10'
<i>Minimum Area/Dwelling Unit (SF) [Air-Conditioned Space]</i>	3,200	3,200	3,200	2,800	2,500	2,200	2,000
<i>Minimum Garage Spaces</i>	3	3	3	3	2	2	2

General Notes:

- ¹: Lots fronting onto curvilinear streets, cul-de-sacs and eyebrows may have the front or rear lot width reduced by 20% as measured at the front or rear property line provided that the lot width will be met at the *Front Yard* and *Rear Yard Building Setback*. Additionally, the lot depth on lots fronting onto curvilinear streets, cul-de-sacs and eyebrows may be reduced by up to ten (10) percent, but shall meet the minimum lot size for each lot type referenced in *Table 1*.
- ²: The location of the *Front Yard Building Setback* as measured from the front property line.
- ³: The *Maximum Height* shall be measured to the eave or top plate (*whichever is greater*) of the single-family home.
- ⁴: The location of the *Rear Yard Building Setback* as measured from the rear property line.
- ⁵: Sunrooms, porches, stoops, bay windows, balconies, masonry clad chimneys, eaves and similar architectural features may encroach beyond the *Front Yard Building Setback* by up to ten (10) feet for any property; however, the encroachment shall not exceed five (5) feet on *Side Yard Setbacks*. A sunroom is an enclosed room no more than 15-feet in width that has glass on at least 50% of each of the encroaching faces.
- ⁶: *J-Swing* or *Traditional Swing Garages* are permitted to encroach into the front yard building setback a maximum of five (5) feet.

(b) Non-Residential. Except as modified by this Planned Development District ordinance,

Exhibit 'F':

Density and Development Standards

the non-residential land uses on the *Subject Property* shall be required to meet the development standards stipulated by the *General Overlay District Standards*, *General Commercial District Standards*, and the standards required for the General Retail (GR)

Exhibit 'F':
Density and Development Standards

District as stipulated by Article 05, *District Development Standards*, of the Unified Development Code (UDC) for a property in a General Retail (GR) District. In addition, the *Commercial* area shall be designed to be pedestrian-oriented and easily accessible to the adjacent residential neighborhoods, and be constructed to be integrated with the adjacent uses, not be separated from them by screening walls or other physical barriers. This will be accomplished by creating paths from the adjacent development into the *Commercial* area and through the use of a 50-foot landscape buffer utilizing a berm and three (3) tiered screening (*i.e.* [1] a small to mid-sized shrub, [2] large shrubs or accent trees, and [3] canopy trees on 20-foot centers), and building design and other urban design elements to create compatibility with the surrounding residential neighborhood.

- (4) *Building Standards for Residential.* All residential development shall adhere to the following building standards:
- (a) *Masonry Requirement.* The minimum masonry requirement for the exterior façade of all buildings shall be 90% (*excluding dormers and walls over roof areas*). For the purposes of this ordinance, the masonry requirement shall be limited to full width brick, natural stone, and cast stone. Cementitious fiberboard (*e.g. HardiBoard or Hardy Plank*) in a horizontal lap-siding, *board-and-batten* siding, or a decorative pattern (*see examples below*) may be used for up to 80% of the masonry requirement; however, administrative approval from the Director of Planning and Zoning may be requested for housing plans that utilize cementitious fiberboard in excess of 80% of the masonry requirement on a *case-by-case* basis.

FIGURE 1: EXAMPLES OF CEMENTITIOUS FIBERBOARD



FIGURE 2: EXAMPLES OF BOARD AND BATTEN

Exhibit 'F':
Density and Development Standards



Exhibit 'F':
Density and Development Standards

FIGURE 3: EXAMPLES OF HORIZONTAL LAP



- (b) Roof Pitch. A minimum of an 8:12 roof pitch is required on all structures with the exception of dormers, sunrooms and porches, which shall have a minimum of a 4:12 roof pitch.
- (c) Garage Orientation and Garage Doors. This development shall adhere to the following garage design standards and orientation requirements:
- (1) Type 'A', 'B' & 'C' Lots. The Type 'A', 'B' & 'C' Lots (i.e. the yellow, orange and purple lots depicted in Exhibit 'C') shall be oriented in a traditional swing (or j-swing) garage configuration -- where the two (2) car garage is stated facing the side property line and the driveway swings into the garage in a 'J' configuration. In a traditional swing (or j-swing) garage configuration, a second (single or double) garage door facing the street is permitted if it is behind the width of the double garage door in the traditional swing (or j-swing) configuration.
 - (2) Type 'D' & 'E' Lots. A total of 22.54% or 188 of the Type 'D' & 'E' Lots (i.e. blue and green colored lots depicted in Exhibit 'C') may have garage configurations that are oriented in a Front Entry garage configuration (i.e. where the garage door faces the street); however the front façade of the garage shall be setback a minimum of five (5) feet behind the front façade of the primary structure and the front yard building setback shall be increased to 25-feet. The remaining 77.46% or 646 of the Type 'D' & 'E' Lots shall be oriented in a traditional swing (or j-swing) garage configuration -- where the two (2) car garage is situated facing the side property line and the driveway swings into the garage in a 'J' configuration. In a traditional swing (or j-swing) garage configuration, a second (single or double) garage door facing the street is permitted if it is behind the width of the double garage door in the traditional swing (or j-swing) configuration.

All garage configurations not conforming to the aforementioned garage configurations shall meet the requirements stipulated by Article 09, *Parking and Loading*, of the Unified Development Code (UDC). In addition, the following architectural elements must be incorporated into all garage configurations: [1] divided garage bay doors (i.e. for two (2) car garages two (2) individual entrances and for three (3) car garages a standard two (2) bay garage door with a single bay garage door adjacent), [2] carriage style hardware and lighting, [3] decorative wood doors or wood overlays on insulated metal doors, and [4] driveways must be constructed with ornamental stamped concrete brick pavers, broom finished, or salt finish. An example of a garage door meeting these standards is depicted in Figure 4.

**Exhibit 'F':
Density and Development Standards**

FIGURE 4. EXAMPLES OF ENHANCED WOOD GARAGE DOOR



FIGURE 5: EXAMPLES OF UPGRADED FINISHES



DIVIDED BAYS

CARRIAGE HARDWARE

CEDAR CLADDING

ORNAMENTAL PAVING

FIGURE 6: EXAMPLES OF UPGRADED GARAGES



Exhibit 'F':
Density and Development Standards

- (5) Anti-Monotony Restrictions. The development shall adhere to the Anti-Monotony Matrix depicted in Table 3 below (for spacing requirements see Figures 7 & 8 below).

TABLE 3: ANTI-MONOTONY MATRIX

<u>Lot Type</u>	<u>Minimum Lot Size</u>	<u>Elevation Features</u>
A	185' x 200'	(1), (2), (3), (4), (5)
B	100' x 110'	(1), (2), (3), (4), (5)
C	80' x 110'	(1), (2), (3), (4), (5)
D	72' x 110'	(1), (2), (3), (4), (5)
E	62' x 110'	(1), (2), (3), (4), (5)

- (a) Identical brick blends or paint colors may not occur on adjacent (*side-by-side*) properties along any block face without at least five (5) intervening homes of differing materials on the same side of the street beginning with the adjacent property and six (6) intervening homes of differing materials on the opposite side of the street.
- (b) Front building elevations shall not repeat along any block face without at least five (5) intervening homes of differing appearance on the same side of the street and six (6) intervening homes of differing appearance on the opposite side of the street. The rear elevation of homes backing to open spaces, John King Boulevard, S. Goliad Street, FM-549, or Lofland Circle shall not repeat without at least five (5) intervening homes of differing appearance. Homes are considered to have a differing appearance if any of the following three (3) items deviate:
- (1) Number of Stories
 - (2) Permitted Encroachment Type and Layout
 - (3) Roof Type and Layout
 - (4) Articulation of the Front Façade
 - (5) Garage Orientation
- (c) Permitted encroachment (*i.e. porches and sunroom*) elevations shall not repeat or be the same along any block face without at least five (5) intervening homes of sufficient dissimilarity on the same side of the street beginning with the home adjacent to the subject property and six (6) intervening homes beginning with the home on the opposite side of the street.
- (d) Each phase of the subdivision will allow for a maximum of four (4) compatible roof colors, and all roof shingles shall be an architectural or dimensional shingle (*3-Tab Roofing Shingles are prohibited*).

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Exhibit 'F':
Density and Development Standards

FIGURE 7. PROPERTIES LINE UP ON THE OPPOSITE SIDE OF THE STREET. WHERE RED IS THE SUBJECT PROPERTY.

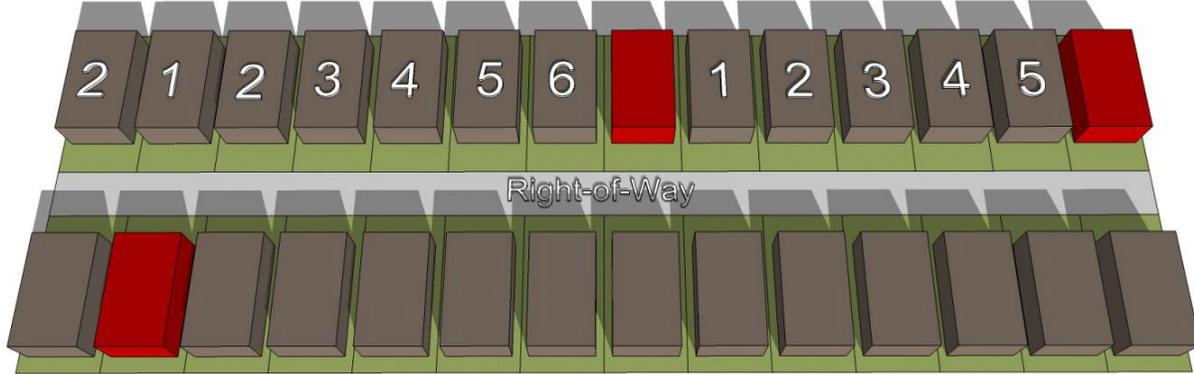
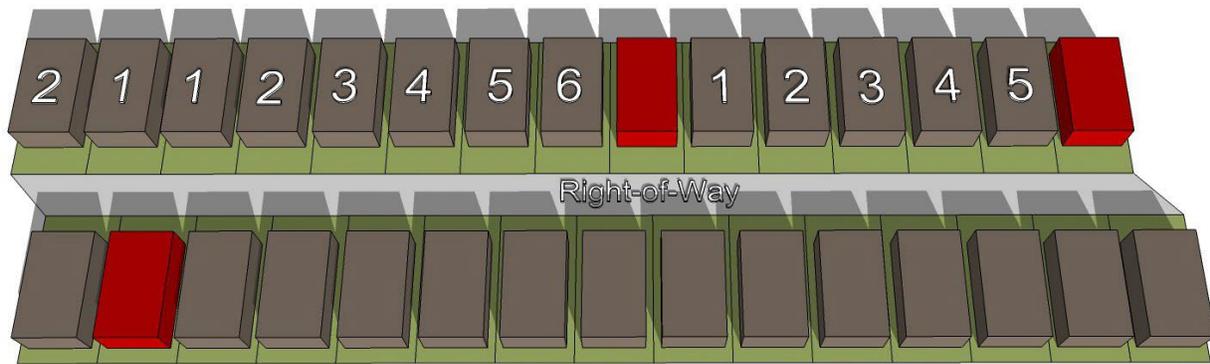


FIGURE 8. PROPERTIES DO NOT LINE UP ON OPPOSITE SIDE OF THE STREET. WHERE RED IS THE SUBJECT PROPERTY.



- (6) **Fencing Standards.** All individual residential fencing and walls shall be architecturally compatible with the design, materials and colors of the primary structure on the same lot, and meet the following standards:
- (a) **Front Yard Fences.** Front yard fences shall be prohibited.
 - (b) **Wood Fences.** All solid fencing shall be constructed utilizing standard cedar fencing materials (*spruce fencing is prohibited*) that are a minimum of ½-inch or greater in thickness. Fences shall be *board-on-board* panel fence that is constructed a minimum of six (6) feet in height and a maximum of eight (8) feet in height. Posts, fasteners, and bolts shall be formed from hot dipped galvanized or stainless steel. All cedar pickets shall be placed on the public side (*i.e. facing streets, alleys, open space, parks, and/or neighboring properties*). All posts and/or framing shall be placed on the private side (*i.e. facing towards the home*) of the fence. All wood fences shall be smooth finished, free of burs and splinters, and be stained and sealed on both sides of the fence. Painting a fence with oil or latex based paint shall be prohibited.
 - (c) **Wrought Iron/Tubular Steel.** Lots located along the perimeter of roadways (*i.e. John King Boulevard, S. Goliad Street, FM-549, or Lofland Circle*), abutting open spaces, greenbelts and parks shall be required to install a wrought iron or tubular steel fence. Wrought iron/tubular steel fences can be a maximum of six (6) feet in height.

**Exhibit 'F':
Density and Development Standards**

- (d) **Corner Lots.** Corner lot fences (*i.e. adjacent to the street*) shall provide masonry columns at 45-foot center spacing that begins at the rear property line corner and terminates ten (10) feet behind the front yard building setback line (*see Figure 9*). A maximum of six (6) foot wrought iron fence shall be constructed between the masonry columns along the side and/or rear lot adjacent to a street. In addition, the fencing shall be setback from the side property line adjacent to a street a minimum of ten (10) feet. The property owner shall be required to maintain both sides of the fence.

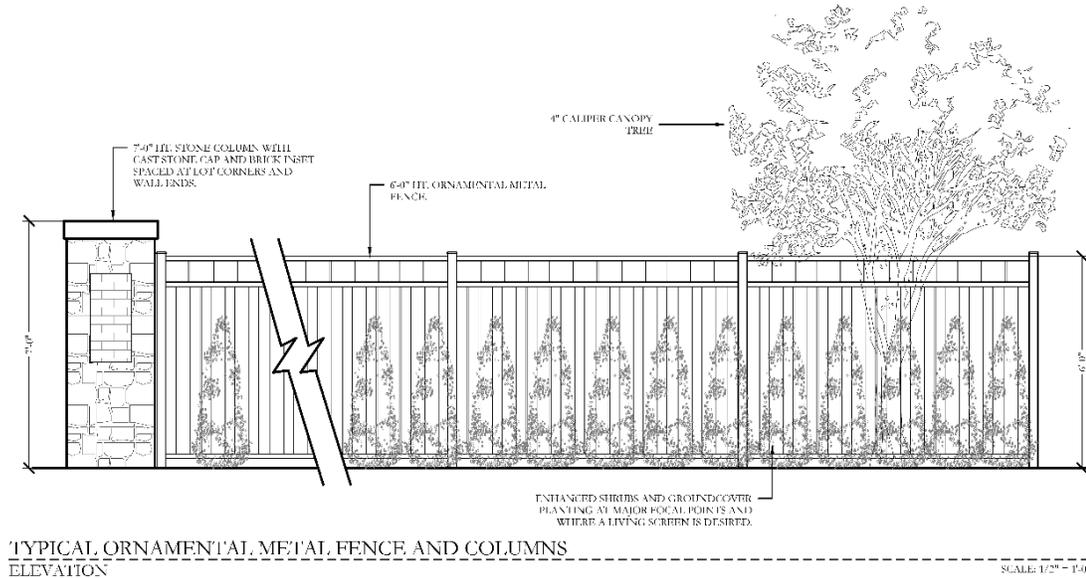


FIGURE 9. TYPICAL ORNAMENTAL METAL FENCE WITH COLUMNS

- (e) **Solid Fences (including Wood Fences).** All solid fences shall incorporate a decorative top rail or cap detailing into the design of the fence.
- (f) **Fence in Easements.** No fencing shall be constructed in or across the City of Rockwall’s easements.

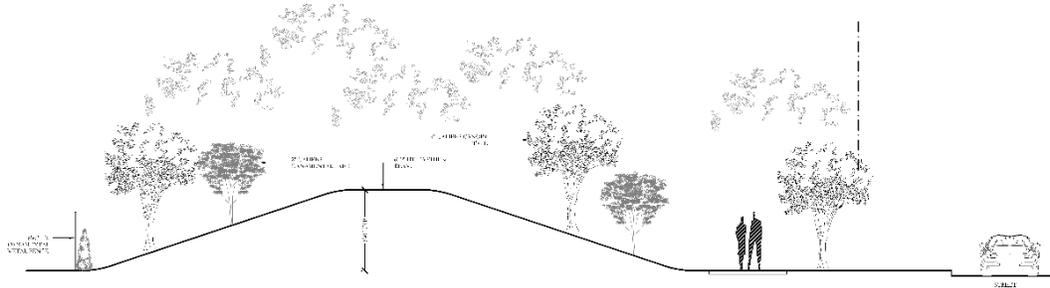
(7) Landscape and Hardscape Standards.

- (a) **Landscape.** Landscaping shall be reviewed and approved with the *PD Site Plan*. All *Canopy/Shade Trees* planted within this development shall be a minimum of four (4) caliper inches in size and all *Accent/Ornamental/Under-Story Trees* shall be a minimum of four (4) feet in total height. Any residential lot that sides or backs to a major roadway where wrought iron/tubular steel fencing is required, shall also be required to plant a row of shrubs adjacent to the wrought iron/tubular fence within the required 30-foot landscape buffer (*i.e. on the Homeowner’s Associations’ [HOAs] property*). These shrubs shall be maintained by the Homeowner’s Association (HOA).
- (b) **Landscape Buffers.** All landscape buffers and plantings located within the buffers shall be maintained by the Homeowner’s Association (HOA). All trail locations shall generally be in accordance with *Exhibit ‘D’* of this ordinance.
- (1) **Landscape Buffer and Sidewalks (John King Boulevard).** A minimum of an 80-foot landscape buffer shall be provided along John King Boulevard (*outside of and*

Exhibit 'F':
Density and Development Standards

beyond any required right-of-way dedication), and shall incorporate ground cover, an undulating *built-up* berm, and shrubbery along the entire length of the frontage. Berms shall have a minimum height of 48-inches each. In addition, three (3) canopy trees and four (4) accent trees shall be planted per 100-feet of linear frontage. A meandering ten (10) foot trail shall be constructed within the 80-foot landscape buffer. All residential lots backing to John King Boulevard shall also incorporate an additional row of evergreen shrubs adjacent to the wrought-iron fencing along the rear property lines in the landscape buffer.

FIGURE 10. TYPICAL CROSS SECTION OF LANDSCAPE BUFFER FOR JOHN KING BOULEVARD



- (2) *Landscape Buffer and Sidewalks (S. Goliad Street [SH-205])*. A minimum of an 80-foot landscape buffer shall be provided along John King Boulevard and S. Goliad Street (*outside of and beyond any required right-of-way dedication*), and shall incorporate ground cover, an undulating *built-up* berm, and shrubbery along the entire length of the frontage. Berms shall have a minimum height of 48-inches each. In addition, three (3) canopy trees and four (4) accent trees shall be planted per 100-feet of linear frontage. A meandering eight (8) foot trail shall be constructed within the 80-foot landscape buffer.
- (3) *Landscape Buffer and Sidewalks (FM-549)*. A minimum of a 50-foot landscape buffer shall be provided along FM-549 for the residential property (*outside of and beyond any required right-of-way dedication*), and shall incorporate ground cover, an undulating *built-up* berm, and shrubbery along the entire length of the frontage. Berms shall have a minimum height of 48-inches each. In addition, three (3) canopy trees and four (4) accent trees shall be planted per 100-feet of linear frontage. A meandering eight (8) foot trail shall be constructed within the 50-foot landscape buffer. All residential lots backing to FM-549 shall also incorporate an additional row of evergreen shrubs adjacent to the wrought-iron fencing along the rear property lines.
- (4) *Landscape Buffer and Sidewalks (Perimeter Minor Collectors)*. A minimum of a 30-foot landscape buffer shall be provided along all *Perimeter Minor Collectors* where residential lots do not front the *Minor Collector*. This landscape buffer shall incorporate one (1) canopy tree and one (1) accent tree per 50-linear feet along the entire adjacency. A meandering eight (8) foot trail shall be constructed within the 30-foot landscape buffer.
- (5) *Landscape Buffer and Sidewalks (Minor Collectors)*. A minimum of a ten (10) foot landscape buffer shall be provided along all *Minor Collectors* where residential lots do not front the *Minor Collector*. This landscape buffer shall incorporate one (1) canopy tree and one (1) accent tree per 50-linear feet along the entire adjacency. A

Exhibit 'F':
Density and Development Standards

meandering five (5) foot sidewalk shall be constructed within the ten (10) foot landscape buffer.

- (6) *Landscape Buffer and Sidewalks (Lofland Circle)*. A minimum of a 50-foot landscape buffer shall be provided along Lofland Circle across from the existing residential lots in the Oaks of Buffalo Way subdivision after which point the landscape buffer may be reduced to ten (10) feet. The segment of landscape buffer that is required to be 50-feet wide shall incorporate a minimum of a 48-inch berm and a five (5) foot meandering sidewalk along the entire landscape buffer. The entire landscape buffer along Lofland Circle shall incorporate a solid living screen utilizing evergreen trees - *- either Eastern Red Cedar or Leland Cypress unless otherwise approved by the Planning and Zoning Commission at the time of PD Site Plan --*, a minimum of four (4) caliper inches in size, that will be planted on ten (10) foot centers.
- (7) *Commercial Landscape Buffer (Adjacent to Residential Properties)*. A minimum of a 50-foot landscape buffer with a minimum of a 48-inch continuous *built-up* berm and three (3) tiered screening (*i.e. [1] a small to mid-sized shrub, [2] large shrubs or accent trees, and [3] canopy trees on 20-foot centers*) shall be provided on commercial properties that have direct adjacency to residential properties as generally depicted in *Exhibit 'C'* of this ordinance.
- (8) *Landscape Screening in the Western Triangle South of Stable Glen Drive (Adjacent to the Somerset Park Subdivision)*. In order to create a solid living screen adjacent to the homes in the Somerset Park Subdivision that will back to the proposed open space on the west side of SH-205 (*i.e. south of Stable Glen Drive*) a solid living screen utilizing evergreen trees -- *either Eastern Red Cedar or Leland Cypress unless otherwise approved by the Planning and Zoning Commission at the time of PD Site Plan --*, a minimum of four (4) caliper inches in size, will be planted on ten (10) foot centers along the entire adjacency.
- (c) *Street Trees*. The Homeowner's Association (HOA) shall be responsible for the maintenance of all street trees and will be required to maintain a minimum of 14-foot vertical clearance height for any trees overhanging a public right-of-way. Street trees shall be planted a minimum of five (5) feet from public water, sanitary sewer and storm lines. All street trees shall be reviewed with the *PD Site Plan*.
- (d) *Residential Lot Landscaping*. Prior to the issuance of a Certificate of Occupancy (CO), any residential lots depicted on *Exhibit 'C'* shall be landscaped with a minimum of two (2), four (4) inch caliper canopy trees (*as measured per Article 08, Landscape and Fence Standards, of the Unified Development Code [UDC]*) within the front yard. In addition, corner lots shall be required to add a minimum of two (2), four (4) inch caliper canopy trees (*as measured per Article 08, Landscape and Fence Standards, of the Unified Development Code [UDC]*) within the side yard facing the street.
- (e) *Irrigation Requirements*. Irrigation shall be installed for all required landscaping located within detention areas, common areas, landscape buffers, and/or open space. Irrigation installed in these areas shall be designed by a Texas licensed irrigator or landscape architect and shall be maintained by the Homeowner's Association (HOA).
- (f) *Hardscape*. Hardscape plans indicating the location of all sidewalks and trails shall be reviewed and approved with the *PD Site Plan*.

Exhibit 'F':
Density and Development Standards

- (8) Street. All streets (excluding drives, fire lanes and private parking areas) shall be built according to City street standards.
- (9) Lighting. Light poles shall not exceed 20-feet in total height (i.e. base and lighting standard). All fixtures shall be directed downward and be positioned to contain all light within the development area.
- (10) Sidewalks. All sidewalks adjacent to a street shall be a maximum of two (2) feet inside the right-of-way line and be a minimum of five (5) feet in overall width.
- (11) Buried Utilities. New distribution power-lines required to serve the *Subject Property* shall be placed underground, whether such lines are located internally or along the perimeter of the *Subject Property*, unless otherwise authorized by the City Council. Temporary power-lines constructed across undeveloped portions of the *Subject Property* to facilitate development phasing and looping may be allowed above ground, but shall not be considered existing lines at the time the area is developed, and if they are to become permanent facilities, such lines shall be placed underground pursuant to this paragraph. Franchise utilities shall be placed within a ten (10) foot public utility easement behind the sidewalk, between the home and the property line.
- (12) Open Space/Public Park. The development shall consist of a minimum of 20.00% open space (or a minimum of 108.066-acres -- as calculated by the formula stipulated in the *Comprehensive Plan*), and generally conform to the *Concept Plan* contained in *Exhibit 'C'* of this ordinance.
- (13) Amenity Center. Amenity centers shall be constructed in generally the same areas as depicted in *Exhibit 'C'* of this ordinance and generally in accordance with the images depicted in *Exhibit 'E'* of this ordinance, and shall be maintained by the Homeowner's Association (HOA). The design and layout of the two (2) amenity centers shall be approved with the *PD Site Plan*.
- (14) Trails. A concrete trail system shall be constructed generally in the same location as the trail system depicted in *Exhibit 'D'* of this ordinance, and shall provide connectivity to the proposed parks.
- (15) Trail Rest Stop. A trail rest stop shall be constructed at the location as depicted in *Exhibit 'D'* of this ordinance and shall include a rest bench, shade structure, water fountain, and bike repair station.
- (16) Neighborhood Signage and Enhancements. Permanent subdivision identification signage shall be required at all major entry points for the proposed subdivision. Final design and location of any entry features shall be reviewed and approved with the *PD Site Plan*. The developer shall provide enhanced landscaping areas at all entry points to the *Subject Property*. The final design of these areas shall be provided on the *PD Site Plan*; however, they should generally conform with *Figures 11, 12 & 13*.

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**Exhibit 'F':
Density and Development Standards**

FIGURE 11. MAIN ENTRY SIGNAGE

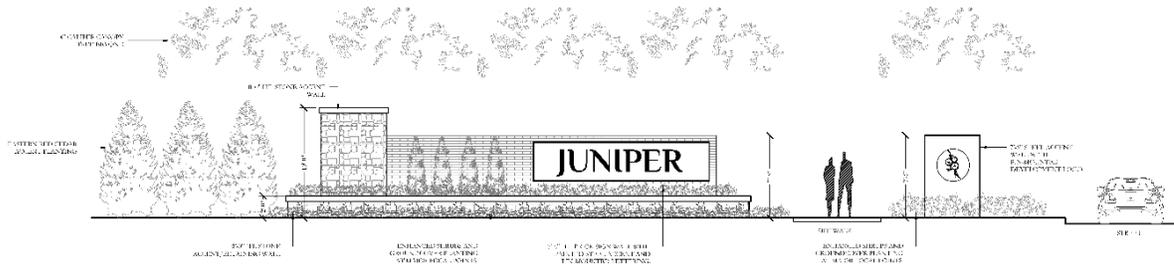


FIGURE 12. SECONDARY ENTRY SIGNAGE

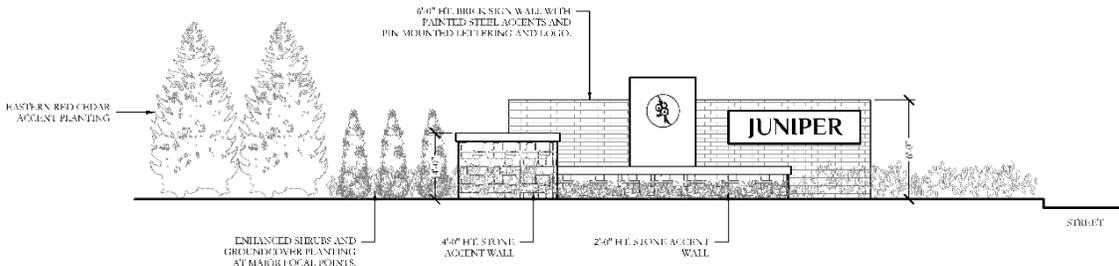
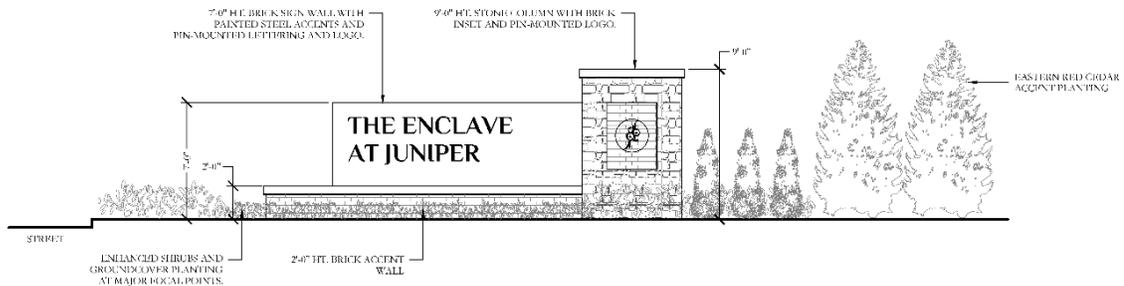


FIGURE 13. ENCLAVE ENTRY SIGNAGE



- (17) **Homeowner's Association (HOA).** A Homeowner's Association (HOA) shall be created to enforce the restrictions established in accordance with the requirements of *Section 38-15* of the *Subdivision Regulations* contained within the Municipal Code of Ordinances of the City of Rockwall. The HOA shall also maintain all private neighborhood parks, trails, open space and common areas (*including drainage facilities*), detention and drainage easements, floodplain areas, irrigation, landscaping, screening fences and neighborhood signage associated with this development. These areas are required to be delineated on the *PD Site Plan*.
- (18) **Variances.** The variance procedures and standards for approval that are set forth in the Unified Development Code (UDC) shall apply to any application for variances to this ordinance.

16 SOUTH CENTRAL RESIDENTIAL DISTRICT

DISTRICT DESCRIPTION

The *South Central Residential District* contains a mixture of established medium and low density residential subdivisions along with several large vacant tracts of land designated for low density residential land uses. At the center of the district, the Rockwall Independent School District (RISD) acquired a large tract of land that is the home of the new Career Academy School, with potential plans to add a stadium, high school, and middle school to the property in the future. In addition, the realignment of SH-276 will create a major intersection at the corner of SH-205 and SH-276 that is anticipated to be a major commercial corner after the completion of the realignment. Having some of the largest tracts of undivided land, the *South Central Residential District* is an ideal place for low-density master planned communities that are highly amenitized.

POINTS OF REFERENCE

- A. Meadow Creek Estates Subdivision
- B. Hickory Ridge Subdivision
- C. Lofland Farms Subdivision
- D. RISD's Career Academy
- E. Somerset Park Subdivision
- F. Sterling Farms Subdivision
- G. Fontanna Ranch Subdivision
- H. Timber Creek Subdivision

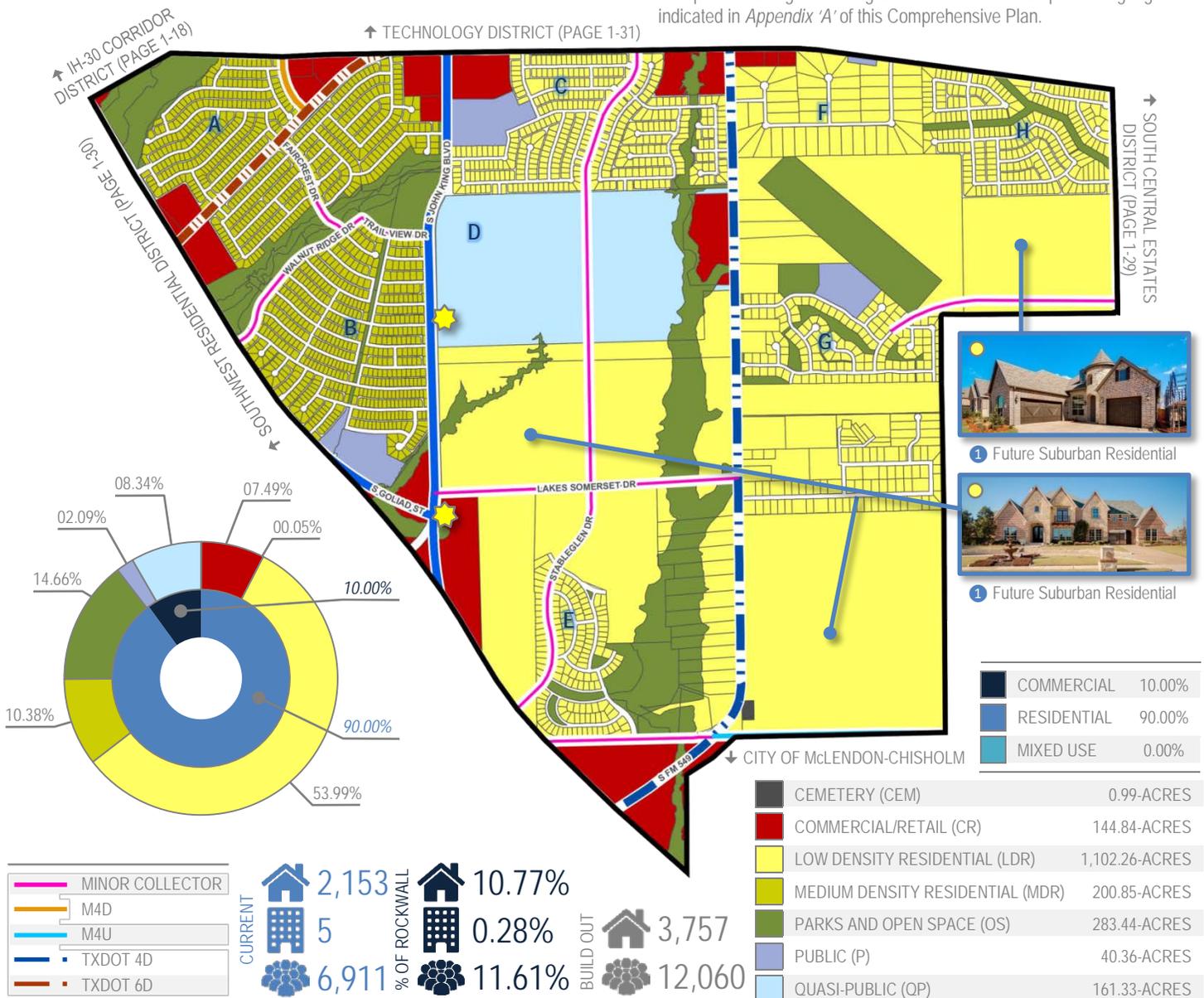
LAND USE PALETTES

- Current Land Use
- Future Land Use
- John King Boulevard Trail Plan Rest Stop/Trailblazer Pylon

DISTRICT STRATEGIES

The *South Central Residential District* is anticipated to add additional suburban developments in the western and southern areas of the district. Taking this into consideration the following are the strategies for this district:

- 1 **Suburban Residential.** This district has several large tracts of land that can support highly amenitized master planned communities. These developments should look to incorporate Traditional Neighborhood Design (TND) design principles to create unique developments from the more traditional suburban design prevalent in the northern districts. These developments should include a mix of larger to mid-sized lots.
- 2 **Commercial Land Uses.** Commercial in the northern areas of this district are intended to support the existing and proposed residential developments and should be compatible in scale with the adjacent residential structures. Commercial areas along SH-205 can include supportive and larger commercial developments. Larger commercial developments and cluster development is anticipated at the intersection of S. Goliad Street [SH-205] and SH-276 and S. Goliad Street [SH-205] and John King Boulevard. All commercial development should use berms, landscaping and large buffers to transition to residential land uses.
- 3 **John King Boulevard Trail Plan.** A ten (10) foot hike/bike trail should be incorporated along John King Boulevard with rest stops and signage as indicated in *Appendix 'A'* of this Comprehensive Plan.



18 SOUTHWEST RESIDENTIAL DISTRICT

DISTRICT DESCRIPTION

The *Southwest Residential District* contains a mixture of land uses that include existing medium and low density residential, heavy commercial/retail land uses (i.e. *National Drive, Sids Road, and Mims Road*) and commercial land uses. In the future, this district is expected to continue to function as it does today with additional low-density master planned communities filling in the vacant land remaining in the central and southern areas of the district. In addition, the areas that are in transition are expected to continue to improve adding additional value to the City.

DISTRICT STRATEGIES

The strategies for the *Southwest Residential District* are as follows:

1 Suburban Residential. This district has several large tracts of land that can support highly amenitized master planned communities. Areas adjacent to the Oaks of Buffalo Way Subdivision should utilize larger lots adjacent to the subdivision to transition to a smaller lot sizes; however, these areas should incorporate a mix of larger to mid-sized lots.

2 Commercial/Industrial Land Uses. The areas around Sids Road, National Drive, and Mims Road are some of the only areas in the City that are designated for *Commercial/Industrial* land uses. As a result, these areas should be protected from the encroachment of incompatible land uses (i.e. *residential land uses -- higher density or otherwise*). This should protect the businesses that currently exist in these areas.

3 Transitional Areas. The areas designated as *Transitional Areas* are currently transitioning from interim land uses and building types to more permanent structures with conforming land uses. These areas should be given special consideration with regard to requests that further the establishment of uses and structures that will improve the property values of the adjacent properties; however, the City should look to continue to discourage uses and structures that are situated within established floodplains.

4 Intersection of SH-276 and S. Goliad Street (Sids Road and S. Goliad Street). The intersection at Sids Road and S. Goliad Street [SH-205] -- also identified as the future intersection of SH-276 and S. Goliad Street -- is anticipated to be a major commercial intersection due to the high traffic volumes carried by both SH-276 and S. Goliad Street [SH-205]. This intersection will most likely have commercial at all four (4) corners and will create a major node along both highways.



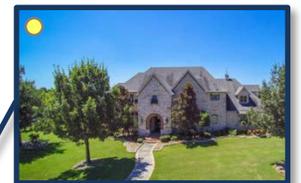
1 Current Suburban Residential



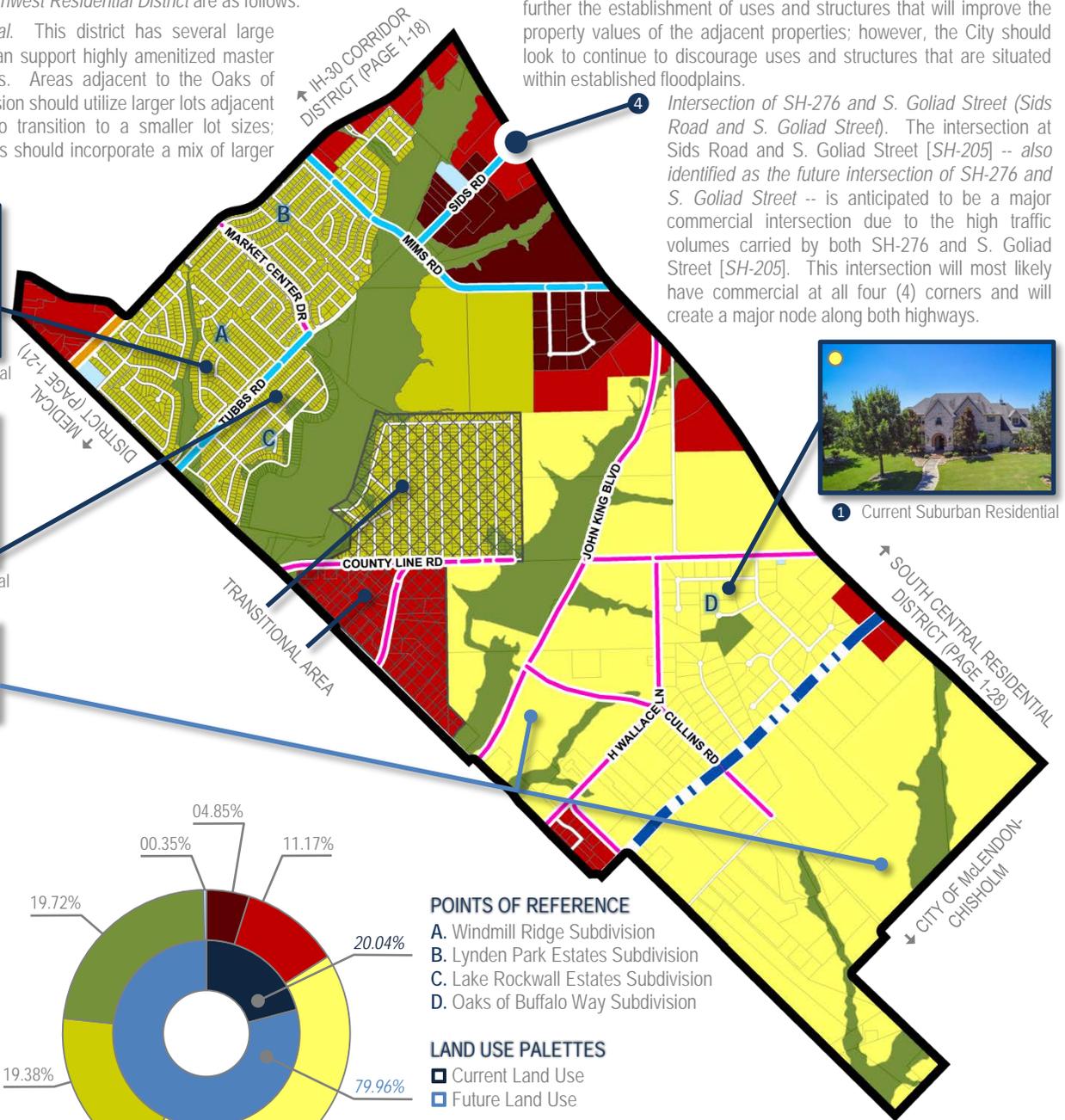
1 Current Suburban Residential



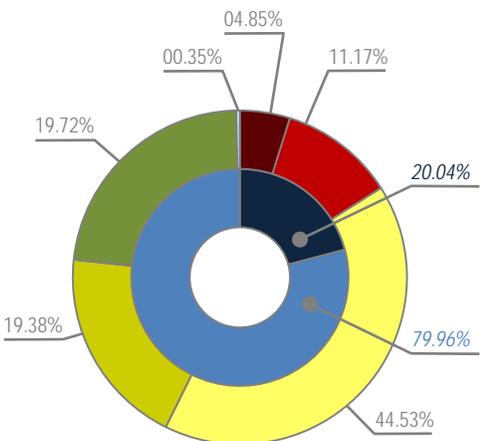
1 Future Suburban Residential



1 Current Suburban Residential



BUILD OUT		4,251
		14,108
% OF ROCKWALL		10.95%
		10.34%
		12.49%
CURRENT		2,190
		188
		7,437

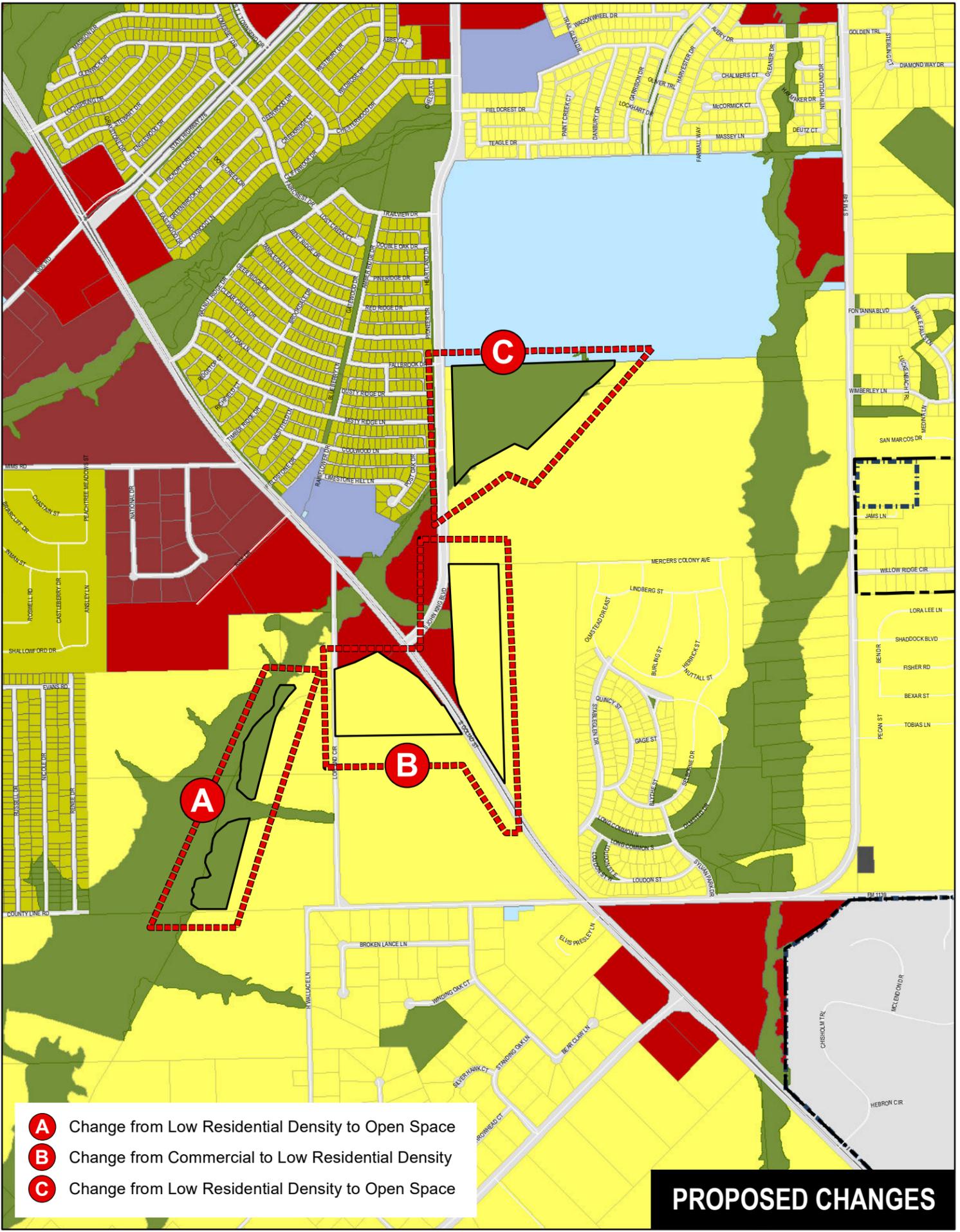
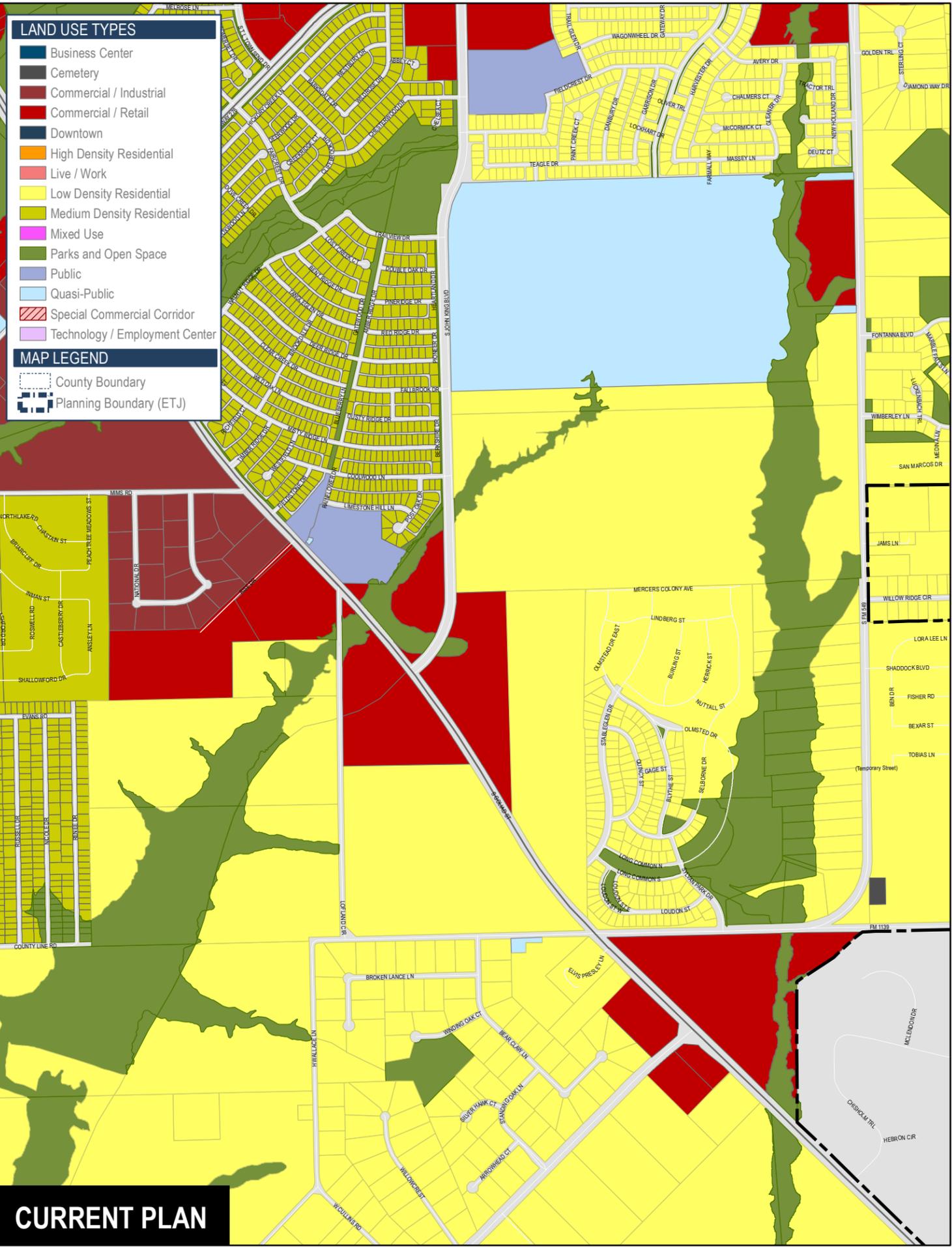


- POINTS OF REFERENCE**
- A. Windmill Ridge Subdivision
 - B. Lynden Park Estates Subdivision
 - C. Lake Rockwall Estates Subdivision
 - D. Oaks of Buffalo Way Subdivision

- LAND USE PALETTES**
- Current Land Use
 - Future Land Use

	COMMERCIAL/INDUSTRIAL (CI)	120.50-ACRES
	COMMERCIAL/RETAIL (CR)	277.44-ACRES
	LOW DENSITY RESIDENTIAL (LDR)	1,106.20-ACRES
	MEDIUM DENSITY RESIDENTIAL (MDR)	481.39-ACRES
	PARKS AND OPEN SPACE (OS)	489.99-ACRES
	QUASI-PUBLIC (QP)	8.67-ACRES

	COMMERCIAL	20.04%
	RESIDENTIAL	79.96%
	MIXED USE	0.00%
	MINOR COLLECTOR	
	M4D	
	M4U	
	TXDOT 4D	



CITY OF ROCKWALL

ORDINANCE NO. 24-XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL, AS HERETOFORE AMENDED, SO AS TO CHANGE THE ZONING FROM AN AGRICULTURAL (AG) DISTRICT TO PLANNED DEVELOPMENT DISTRICT XX (PD-XX) FOR SINGLE FAMILY 10 (SF-10) DISTRICT AND GENERAL RETAIL (GR) DISTRICT LAND USES ON THE SUBJECT PROPERTY, BEING A 544.89-ACRE TRACT OF LAND IDENTIFIED AS TRACTS 3 & 3-1 OF THE A. JOHNSON SURVEY, ABSTRACT NO. 123; TRACTS 7 & 7-2 OF THE W. H. BAIRD SURVEY, ABSTRACT NO. 25; AND TRACTS 3 & 4 OF THE J. R. JOHNSON SURVEY, ABSTRACT NO. 128, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS AND MORE FULLY DESCRIBED HEREIN BY EXHIBIT 'A' AND DEPICTED HEREIN BY EXHIBIT 'B'; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has received a request by Ryan Joyce of Michael Joyce Properties on behalf of Bill Lofland for the approval of a zoning change from an Agricultural (AG) District to a Planned Development District for Single Family 10 (SF-10) District and General Retail (GR) District land uses, on a 544.89-acre tract of land identified Tracts 3 & 3-1 of the A. Johnson Survey, Abstract No. 123 [355.146-acres]; Tracts 7 & 7-2 of the W. H. Baird Survey, Abstract No. 25 [45.744-acres]; and Tracts 3 & 4 of the J. R. Johnson Survey, Abstract No. 128 [144.00-acres], City of Rockwall, Rockwall County, Texas and more fully described in *Exhibit 'A'* and depicted in *Exhibit 'B'* of this ordinance, which hereinafter shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally and to all persons interested in and situated in the affected area, and in the vicinity thereof, and the governing body in the exercise of its legislative discretion, has concluded that the Unified Development Code [Ordinance No. 20-02] should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS:

SECTION 1. That the *Subject Property* shall be used only in the manner and for the purposes authorized by this Planned Development District Ordinance and the Unified Development Code [Ordinance No. 20-02] of the City of Rockwall as heretofore amended, as amended herein by granting this zoning change, and as maybe amended in the future;

SECTION 2. That development of the *Subject Property* shall generally be in accordance with the *Concept Plan*, depicted in *Exhibit 'C'* of this ordinance, attached hereto and incorporated herein by reference as *Exhibit 'C'*, which is deemed hereby to be a condition of approval of the

amended zoning classification for the *Subject Property*;

SECTION 3. That development of the trails and trail heads for the *Subject Property* shall generally be in accordance with the *Trail and Trail Head Plan*, depicted in *Exhibit 'D'* of this ordinance, attached hereto and incorporated herein by reference as *Exhibit 'D'*, which is deemed hereby to be a condition of approval of the amended zoning classification for the *Subject Property*;

SECTION 4. That development of the amenities for the *Subject Property* shall generally be in accordance with the *Amenity Center Guidelines*, depicted in *Exhibit 'E'* of this ordinance, attached hereto and incorporated herein by reference as *Exhibit 'E'*, which is deemed hereby to be a condition of approval of the amended zoning classification for the *Subject Property*;

SECTION 5. That development of the *Subject Property* shall generally be in accordance with the *Density and Development Standards*, outlined in *Exhibit 'F'* of this ordinance, attached hereto and incorporated herein by reference as *Exhibit 'F'*, which is deemed hereby to be a condition of approval of the amended zoning classification for the *Subject Property*;

SECTION 6. That a *Master Parks and Open Space Plan* for the *Subject Property* -- prepared in accordance with this ordinance and consistent with the *Planned Development Concept Plan* depicted in *Exhibit 'C'* and *Trail Layout Plan* depicted in *Exhibit 'D'* of this ordinance -- shall be considered for approval by the City Council following recommendation of the Parks and Recreation Board.

SECTION 7. That residential development on the *Subject Property* shall be in conformance with the schedule listed below (*except as set forth below with regard to simultaneous processing and approvals*).

- (a) The procedures set forth in the City's subdivision regulations on the date this ordinance is approved by the City, as amended by this ordinance [*including Subsections 7(b) through 7(g) below*], shall be the exclusive procedures applicable to the subdivision and platting of the *Subject Property*.
- (b) The following plans and plats shall be required in the order listed below (*except as set forth below with regard to simultaneous processing and approvals*). The City Council shall act on an application for a *Master Parks and Open Space Plan* in accordance with the time period specified in *Section 212.009* of the *Texas Local Government Code*.
 - (1) Master Parks and Open Space Plan
 - (2) Master Plat
 - (3) Preliminary Plat
 - (4) PD Site Plan
 - (5) Final Plat
- (c) *Master Parks and Open Space Plan*. A *Master Parks and Open Space Plan* for the *Subject Property*, as depicted in *Exhibit 'C'* of this ordinance, prepared in accordance with this ordinance, shall be considered for approval by the City Council following recommendation of the Parks and Recreation Board.
- (d) *Master Plat*. A *Master Plat* for the *Subject Property*, as depicted in *Exhibit 'C'* of this ordinance, shall be submitted and shall identify the proposed timing of each phase of the proposed development. A *Master Plat* application may be processed by the City

concurrently with a *Master Parks and Open Space Plan* application for the development.

- (e) *Preliminary Plat*. A *Preliminary Plat* for each phase of the *Subject Property*, as depicted in *Exhibit 'C'* of this ordinance, shall be submitted in accordance with the phasing plan established by the *Master Plat* and shall include a *Treescape Plan* for the phase being *Preliminary Platted*. A *Preliminary Plat* application may be processed by the City concurrently with a *Master Plat* and a *Master Parks and Open Space Plan* application for the development.
- (f) *PD Site Plan*. A *PD Site Plan* for each phase of the development of the *Subject Property*, as depicted in *Exhibit 'C'* of this ordinance, shall be submitted and shall identify all site/landscape/hardscape plan(s) for all open space, neighborhood parks, trail systems, street buffers and entry features. A *PD Site Plan* application may be processed by the City concurrently with a *Final Plat* application for the development.
- (g) *Final Plat*. Prior to the issuance of any building permits, a *Final Plat*, conforming to the *Preliminary Plat*, shall be submitted for approval.

SECTION 8. That commercial development on the *Subject Property* shall be in conformance with the process and procedures stipulated by this Planned Development District ordinance, the City's subdivision regulations, and the Unified Development Code (UDC);

SECTION 9. That any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *Two Thousand Dollars* (\$2,000.00) for each offense and each and every day such offense shall continue shall be deemed to constitute a separate offense;

SECTION 10. That if any section, paragraph, or provision of this ordinance or the application of that section, paragraph, or provision to any person, firm, corporation or situation is for any reason judged invalid, the adjudication shall not affect any other section, paragraph, or provision of this ordinance or the application of any other section, paragraph or provision to any other person, firm, corporation or situation, nor shall adjudication affect any other section, paragraph, or provision of the Unified Development Code, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions for this ordinance are declared to be severable;

SECTION 11. The standards in this ordinance shall control in the event of a conflict between this ordinance and any provision of the Unified Development Code or any provision of the City Code, ordinance, resolution, rule, regulation, or procedure that provides a specific standard that is different from and inconsistent with this ordinance. References to zoning district regulations or other standards in the Unified Development Code (including references to the *Unified Development Code*), and references to overlay districts, in this ordinance or any of the Exhibits hereto are those in effect on the date this ordinance was passed and approved by the City Council of the City of Rockwall, Texas;

SECTION 12. That this ordinance shall take effect immediately from and after its passage;

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, THIS THE 1ST DAY OF JULY, 2024.

Trace Johannesen, Mayor

ATTEST:

Kristy Teague, *City Secretary*

APPROVED AS TO FORM:

Frank J. Garza, *City Attorney*

1st Reading: August 19, 2024

2nd Reading: September 3, 2024

DRAFT
ORDINANCE
07.30.2024

Exhibit 'A':
Legal Description

BOUNDARY 1

BEING a tract of land situated in the Abner Johnston Survey, Abstract No. 123, in the City of Rockwall, Rockwall County, Texas, being a part of a called 213-acre tract, described as Tract 2 in a deed to Newman Lofland, as recorded in Volume 9, Page 548, in the Deed Records of Rockwall County, Texas (D.R.R.C.T.), and part of a called 72-acre tract described in a deed to N.L. Lofland, as recorded in Volume 30, Page 548, D.R.R.C.T., and being more particularly described as follows:

BEGINNING at a ½-inch iron rod found at the northwest corner of a called 139.308-acre tract of land described in a deed to Arcadia Lakes of Somerset Holdings, LLC, as recorded in Document No. 20130000500385, in the Official Public Records of Rockwall County, Texas (O.P.R.R.C.T.);

THENCE South 00 degrees 08 minutes 29 seconds West, with the west line of said 139.308-acre tract, at a distance of 973.07-feet passing a 5/8-inch iron rod with cap stamped "MADDOX SURVEYING" found at the northwest corner of the Amending Plat of Somerset Park, an addition to the City of Rockwall, recorded in Cabinet J, Page 273, of the Map Records of Rockwall County, Texas, continuing with the west line of said Somerset Park, a total distance of 1,402.01-feet to a ½-inch iron rod found;

THENCE South 85 degrees 28 minutes 38 seconds East, continuing with the west line of said Somerset Park, a distance of 10.57-feet;

THENCE South 00 degrees 59 minutes 21 seconds East, continuing with the west line of said Somerset Park, a distance of 869.90-feet;

THENCE South 00 degrees 40 minutes 31 seconds East, continuing with the west line of said Somerset Park, at a distance of 924.23-feet passing a 5/8-inch iron rod with cap stamped "MADDOX SURVEYING" found at the southwest corner of said Somerset Park, continuing a total distance of 934.64-feet to a 5/8-inch iron rod with pink "TxDOT SURVEY MARKER" cap found in the northeast line of State Highway 205 (SH 205) (variable width right-of-way), said point being on a non-tangent curve to the right, having a radius of 5,006.10-feet and a central angle of 09 degrees 46 minutes 28 seconds;

THENCE with the northeast line of said SH 205 and with said curve to the right, an arc distance of 854.03-feet (Chord Bearing North 38 degrees 29 minutes 11 seconds West 852.99-feet), to a 5/8-inch iron rod with pink "TxDOT SURVEY MARKER" cap found;

THENCE North 26 degrees 59 minutes 29 seconds West, continuing with the northeast line of said SH 205, a distance of 99.97-feet to a 5/8-inch iron rod with pink "TxDOT SURVEY MARKER" cap found;

THENCE North 34 degrees 36 minutes 24 seconds West, continuing with the northeast line of said SH 205, a distance of 299.01-feet to a 5/8-inch iron rod with pink "TxDOT SURVEY MARKER" cap found;

THENCE North 43 degrees 08 minutes 15 seconds West, continuing with the northeast line of said SH 205, a distance of 101.12-feet to a 5/8-inch iron rod with pink "TxDOT SURVEY MARKER" cap found;

THENCE North 34 degrees 36 minutes 24 seconds West, continuing with the northeast line of said SH 205, a distance of 300.00-feet to a 5/8-inch iron rod with pink "TxDOT SURVEY MARKER" cap found;

THENCE South 55 degrees 23 minutes 36 seconds West, continuing with the northeast line of said SH 205, a distance of 19.60-feet to a 5/8-inch iron rod with pink "TxDOT SURVEY MARKER" cap found on a non-tangent curve to the left, having a radius of 11,509.16-feet and a central angle of 06 degrees 20 minutes 55 seconds;

THENCE continuing with the northeast line of said SH 205 and with said curve to the left, an arc distance of 1,275.25-feet (Chord Bearing North 34 degrees 13 minutes 17 seconds West - 1,274.59-feet), to the east line of State Highway 205 Bypass (aka John King Boulevard) (variable width right-way), said point being on a curve to the left, having a radius of 1,004.93-feet and a central angle of 52 degrees 52 minutes 54 seconds;

THENCE with said curve to the left and said John King Boulevard an arc distance of 927.51-feet (Chord Bearing North 24 degrees 59 minutes 44 seconds East - 894.94-feet), to the point of tangency;

Exhibit 'A':
Legal Description

THENCE North 01 degree 27 minutes 44 seconds West, continuing with the east line of said John King Boulevard, a distance of 2,017.35-feet to a ½-inch iron rod with "RPLS 5084" cap found in the south line of a called 173.00-acre tract of land described in a deed to Rockwall Independent School District, as recorded in Document No. 2010-00443616, O.P.R.R.C.T.;

THENCE North 88 degrees 23 minutes 38 seconds East, departing the east line of said John King Boulevard and with the south line of said 173.00-acre tract, a distance of 3,696.05-feet, from which a 5/8-inch iron rod found bears North 74 degrees 56 minutes 50 seconds West, a distance of 1.54-feet;

THENCE North 01 degree 36 minutes 22 seconds West, continuing with the south line of said 173.00-acre tract, a distance of 669.62-feet to a 5/8-inch iron rod found;

THENCE North 88 degrees 24 minutes 41 seconds East, continuing with the south line of said 173.00-acre tract, a distance of 393.66-feet to a 5/8-inch iron rod with pink "TxDOT SURVEY MARKER" cap found in the west line of FM 549 (variable width right-of-way);

THENCE South 00 degrees 54 minutes 23 seconds East, with the west line of said FM 549, a distance of 1,480.72-feet to a 5/8-inch iron rod with pink "TxDOT SURVEY MARKER" cap found;

THENCE South 89 degrees 13 minutes 14 seconds West, continuing with the west line of said FM 549, a distance of 55.00-feet to a 5/8-inch iron rod with pink "TxDOT SURVEY MARKER" cap found;

THENCE South 00 degrees 46 minutes 46 seconds East, continuing with the west line of said FM 549, a distance of 70.00-feet to a 5/8-inch iron rod with pink "TxDOT SURVEY MARKER" cap found;

THENCE North 89 degrees 13 minutes 14 seconds East, continuing with the west line of said FM 549, a distance of 55.16-feet;

THENCE South 00 degrees 54 minutes 23 seconds East, a distance of 178.33-feet to a 5/8-inch iron rod with pink "TxDOT SURVEY MARKER" cap found;

THENCE South 89 degrees 05 minutes 37 minutes West, continuing with the west line of said FM 549, a distance of 5.34-feet to a 5/8-inch iron rod with pink "TxDOT SURVEY MARKER" cap found;

THENCE South 00 degrees 56 minutes 00 seconds East, continuing with the west line of said FM 549, a distance of 717.97-feet;

THENCE South 89 degrees 04 minutes 00 seconds West, continuing with the west line of said FM 549, a distance of 40.00-feet to a 5/8-inch iron rod with pink "TxDOT SURVEY MARKER" cap found;

THENCE South 00 degrees 56 minutes 00 seconds East, continuing with the west line of said FM 549, a distance of 153.61-feet to a 5/8-inch iron rod with pink "TxDOT SURVEY MARKER" cap found;

THENCE North 89 degrees 04 minutes 00 seconds East, continuing with the west line of said FM 549, a distance of 40.00-feet;

THENCE South 00 degrees 56 minutes 00 seconds East, continuing with the west line of said FM 549, a distance of 70.20-feet to a 5/8-inch iron rod with pink "TxDOT SURVEY MARKER" cap found;

THENCE South 87 degrees 07 minutes 00 seconds West, departing the west line of said FM 549 and with the north line of Neller Addition, an addition to the City of Rockwall, as described in Document No. 20210000019426, O.P.R.R.C.T., a distance of 781.16-feet;

THENCE South 81 degrees 46 minutes 04 seconds West, continuing with the north line of said Neller Addition, a distance of 90.00-feet;

THENCE South 89 degrees 41 minutes 21 seconds West, continuing with the north line of said Neller Addition, a distance of 206.71-feet to a ½-inch iron rod found at the northwest corner of said Neller Addition, same being the northeast corner of the aforementioned 139.308-acre tract;

THENCE South 88 degrees 23 minutes 25 seconds West, with the north line of said 139.308-acre tract, a

Exhibit 'A':
Legal Description

distance of 1,672.69-feet to the *POINT OF BEGINNING* and containing 268.2965-acres of land.

BOUNDARY 2

BEING a tract of land situated in the Abner Johnston Survey, Abstract No. 123 and the John R. Johnson Survey, Abstract No. 128, in the City of Rockwall, Rockwall County, Texas, being a part of a called 120-acre tract of land described in deed to N.L. Lofland and Annie Lofland, as recorded in Volume 28, Page 487, in the Deed Records of Rockwall County, Texas (D.R.R.C.T.), part of a called 72-acre tract described in a deed to N.L. Lofland, as recorded in Volume 30, Page 548, D.R.R.C.T., part of a called 60-acre tract of land described in deed to Nan A. Smartt, Juliana Bond and W.I. Lofland, as recorded in Volume 98, Page 759, and part of a tract of land described in deed to N.L. Lofland, as recorded in Volume 35, Page 269, D.R.R.C.T., and being more particularly described as follows:

BEGINNING at a magnail found at the northeast corner of a called 14.05-acre tract of land described in deed to Frank Forrest and Kelli LaFon Forrest, as recorded in Volume 2664, Page 159, D.R.R.C.T. and the southeast corner of a called 15.598-acre tract of land described in deed to Miller Family Investment, LP, as recorded in Volume 5632, Page 292, D.R.R.C.T., being in the west line of said 72-acre Lofland tract;

THENCE North 00 degrees 04 minutes 08 seconds West, with the west line of said 72-acre Lofland tract and the east line of said Miller Family Investment, LP tract, a distance of 450.81-feet to the northeast corner of said Miller Family Investment, LP tract, being in the southwest line of State Highway 205 (SH 205) (variable width right-of-way), from which a found magnail bears North 00 degrees 01 minute 58 seconds West, a distance of 1.01-feet, said corner being on a non-tangent curve to the right, having a radius of 11,409.16-feet and a central angle of 00 degrees 35 minutes 02 seconds;

THENCE with the southeast line of said SH 205 and with said curve to the right, an arc distance of 116.29-feet (Chord Bearing South 42 degrees 43 minutes 19 seconds East 116.29-feet);

THENCE South 47 degrees 34 minutes 12 seconds West, continuing with the southwest line of said SH 205, a distance of 20.00-feet to a point on a non-tangent curve to the right, having a radius of 11,389.16-feet and a central angle of 02 degrees 30 minutes 00 seconds;

THENCE continuing with the southwest line of said SH 205 and with said curve to the right, an arc distance of 496.95-feet (Chord Bearing South 41 degrees 10 minutes 48 seconds East 496.91-feet);

THENCE North 50 degrees 04 minutes 12 seconds East, continuing with the southwest line of said SH 205, a distance of 20.00-feet to a point on a non-tangent curve to the right, having a radius of 11,409.16-feet and a central angle of 08 degrees 54 minutes 51 seconds;

THENCE continuing with the southwest line of said SH 205 and with said curve to the right, an arc distance of 1,775.05-feet (Chord Bearing South 35 degrees 28 minutes 22 seconds East 1,773.26-feet) to a point from which a found 5/8-inch iron rod with pink "TXDOT SURVEY MARKER" cap bears North 55 degrees 23 minutes 36 seconds East, a distance of 2.26-feet;

THENCE South 55 degrees 23 minutes 36 seconds West, continuing with the southwest line of said SH 205, a distance of 44.21-feet to a 5/8-inch iron rod with pink "TXDOT SURVEY MARKER" cap found;

THENCE South 34 degrees 36 minutes 24 seconds East, continuing with the southwest line of said SH 205, a distance of 299.87-feet to a 5/8-inch iron rod with pink "TXDOT SURVEY MARKER" cap found;

THENCE South 26 degrees 04 minutes 33 seconds East, continuing with the southwest line of said SH 205, a distance of 101.12-feet to a 5/8-inch iron rod with pink "TXDOT SURVEY MARKER" cap found;

THENCE South 34 degrees 36 minutes 24 seconds East, continuing with the southwest line of said SH 205, a distance of 221.52-feet to a 5/8-inch iron rod with pink "TXDOT SURVEY MARKER" cap found;

THENCE South 42 degrees 36 minutes 32 seconds East, continuing with the southwest line of said SH 205, a distance of 99.56-feet to a point on a non-tangent curve to the left, having a radius of 5,105.59-feet

Exhibit 'A':
Legal Description

and a central angle of 12 degrees 47 minutes 28 seconds;

THENCE continuing with the southwest line of said SH 205 and with said curve to the left, an arc distance of 1,139.82-feet (Chord Bearing South 38 degrees 03 minutes 30 seconds East 1,137.45-feet) to the south line of said Lofland 72-acre tract and being in the approximate center of Lofland Circle (variable width right-of-way);

THENCE South 88 degrees 42 minutes 50 seconds West, with the south line of said Lofland 72-acre tract and along the approximate center of Lofland Circle, at a distance of 2,472.42-feet passing the southwest corner of said Lofland 72-acre tract and the southeast corner of said Lofland 60-acre tract, continuing with the south line of said Lofland 60-acre tract and the north line of said Lofland Circle, a total distance of 2,789.02-feet to the northeast corner of a tract of land described in deed to Wallace Land Partners LP, recorded in Volume 2017, Pages 76, 82, 88, 94 & 100, D.R.R.C.T.;

THENCE South 88 degrees 45 minutes 15 seconds West, with the south line of said Lofland 60-acre tract and the north line of said Wallace Land Partners LP tract, a distance of 2,215.98-feet to the southwest corner of said Lofland 60-acre tract, being in the east line of Rockwall Lake Properties Development No. 2, an addition to the City of Rockwall, Rockwall County, Texas, recorded in Cabinet A, Page 79 of the Map Records of Rockwall County, Texas;

THENCE North 00 degrees 53 minutes 57 seconds West, with the west line of said Lofland 60-acre tract and the east line of said Rockwall Lake Properties Development No. 2, a distance of 2,452.25-feet to the northwest corner of said Lofland 60-acre tract and the northeast corner of said Rockwall Lake Properties Development No. 2, being in the south line of a tract land described in deed to Vicmar I, Ltd., as recorded in Volume 2016, Page 200, D.R.R.C.T.;

THENCE North 88 degrees 46 minute 35 seconds East, with the north line of said Lofland 60-acre tract and the south line of said Vicmar I, Ltd. tract, at a distance of 227.28-feet passing a found 5/8-inch iron rod found at the southeast corner of said Vicmar I, Ltd. tract and the southwest corner of a tract of land described in deed to Layza & Luna Real Estate, LLC, recorded in Instrument No. 20220000001115, of the Official Public Records of Rockwall County, Texas (O.P.R.R.C.T.), continuing with the north line of said Lofland 60-acre tract and the south line of said Lazya & Luna Real Estate, LLC tract, a distance of 1,232.98-feet to a 1/2-inch iron rod found at the southeast corner of Lazya & Luna tract and the southwest corner of said Forrest tract, continuing with the north line of said Lofland 60-acre tract and the south line of said Forrest tract, a total distance of 2,545.43-feet to the southeast corner of said Forrest tract, being in the west line of said Lofland 72-acre tract;

THENCE North 01 degree 05 minutes 11 seconds West, with the west line of said Lofland 72-acre tract and the east line of said Forrest tract, a distance of 571.91-feet to the *POINT OF BEGINNING* and containing 242.8992-acres of land.

BOUNDARY 3

BEING a tract of land situated in the Abner Johnston Survey, Abstract No. 123, in the City of Rockwall, Rockwall County, Texas, being a part of a called 213-acre tract, described as Tract 2 in a deed to Newman Lofland, as recorded in Volume 9, Page 548, in the Deed Records of Rockwall County, Texas and being more particularly described as follows:

BEGINNING at a 5/8-inch iron rod (controlling monument) found at the northwest corner of a tract of land described in a right-of-way deed to the State of Texas (FM 549) (variable width right-of-way), as described in Document No. 20200000017688, of the Official Public Records of Rockwall County, Texas (O.P.R.C.C.T.), being in an interior south line of a called 173.00-acre tract of land described in a deed to the Rockwall Independent School District, as recorded in Instrument No. 2010-00443616 O.P.R.R.C.T.;

THENCE South 00 degrees 54 minutes 23 seconds East, with the west line of said FM 549, a distance of 1,037.85-feet;

THENCE South 89 degrees 13 minutes 14 seconds West, continuing with the west line of said FM 549, a

**Exhibit 'A':
Legal Description**

distance of 50.00-feet;

THENCE South 00 degrees 46 minutes 46 seconds East, continuing with the west line of said FM 549, a distance of 50.00-feet;

THENCE North 89 degrees 13 minutes 14 seconds East, continuing with the west line of said FM 549, a distance of 50.12-feet to a 5/8-inch iron rod found;

THENCE South 00 degrees 54 minutes 23 seconds East, continuing with the west line of said FM 549, a distance of 171.74-feet to a 5/8-inch iron rod (controlling monument) found in an interior north line of said 173.00-acre tract;

THENCE South 88 degrees 23 minutes 38 seconds West, with said north line, a distance of 572.76-feet to a point in a creek;

THENCE North 18 degrees 43 minutes 38 seconds West, with an interior east line of said 173.00-acre tract and generally along said creek, a distance of 15.83-feet;

THENCE North 13 degrees 52 minutes 54 seconds West, continuing with said east line and generally along said creek, a distance of 165.60-feet;

THENCE North 50 degrees 33 minutes 15 seconds East, continuing with said east line and generally along said creek, a distance of 85.13-feet;

THENCE North 72 degrees 01 minute 55 seconds East, continuing with said east line and generally along said creek, a distance of 38.44-feet;

THENCE North 15 degrees 26 minutes 07 seconds East, continuing with said east line, a distance of 119.88-feet;

THENCE North 09 degrees 56 minutes 47 seconds West, continuing with said east line and generally along said creek, a distance of 80.55-feet;

THENCE North 51 degrees 24 minutes 38 seconds West, continuing with said east line and generally along said creek, a distance of 90.30-feet;

THENCE South 89 degrees 08 minutes 06 seconds West, continuing with said east line and generally along said creek, a distance of 96.61-feet;

THENCE North 00 degrees 45 minutes 48 seconds West, continuing with said east line and generally along said creek, a distance of 367.60-feet;

THENCE North 27 degrees 52 minutes 21 seconds East, continuing with said east line and generally along said creek, a distance of 163.10-feet;

THENCE North 22 degrees 05 minutes 52 seconds East, continuing with said east line, a distance of 149.77-feet;

THENCE North 28 degrees 18 minutes 12 seconds West, continuing with said east line and generally along said creek, a distance of 135.42-feet;

THENCE North 88 degrees 23 minutes 38 seconds East, with the above referenced interior south line, a distance of 581.01-feet to the *POINT OF BEGINNING* and containing 16.89-acres of land.

BOUNDARY 4

BEING a tract of land situated in the Abner Johnston Survey, Abstract No. 123, in the City of Rockwall, Rockwall County, Texas, being a part of a called 72-acre tract described in a deed to N.L. Lofland, as recorded in Volume 30, Page 548, in the Deed Records of Rockwall County, Texas (D.R.R.C.T.), and being more particularly described as follows:

Exhibit 'A':
Legal Description

BEGINNING at easternmost southeast corner of Hickory Ridge Phase Four, an addition to the City of Rockwall, recorded in Cabinet E, Page 287, of the Map Records of Rockwall County, Texas, being in the west line of State Highway 205 Bypass (also known as John King Boulevard) (variable width right-of-way), from which a found disturbed 5/8-inch iron rod with cap bears North 01 degree 27 minutes 44 seconds West, a distance of 1.93-feet;

THENCE South 01 degree 27 minutes 44 seconds East, with the west line said SH 205 Bypass a distance of 847.60-feet to the point of curvature of a curve to the right, having a radius of 894.93-feet and a central angle of 52 degrees 46 minutes 14 seconds;

THENCE with said curve to the right and with the west line of said SH 205 Bypass, an arc distance of 824.25 (Chord Bearing South 24 degrees 56 minutes 28 seconds West 795.42-feet), to the northeast line of State Highway 205 (SH 205) (variable width right-of-way), said point being on a non-tangent curve to the left, having a radius of 11,509.16-feet and a central angle of 01 degree 59 minutes 12 seconds;

THENCE with the northeast line of said SH 205 and with said curve to the left, an arc distance of 399.07-feet (Chord Bearing North 38 degrees 56 minutes 12 seconds West 399.05-feet);

THENCE North 50 degrees 04 minutes 12 seconds East, continuing with the northeast line of said SH 205, a distance of 20.00-feet the point of curvature of a non-tangent curve to the left, having a radius of 11,529.16-feet and a central angle of 02 degrees 30 minutes 00 seconds;

THENCE continuing with the northeast line of said SH 205 and with said curve to the left, an arc distance of 503.05-feet (Chord Bearing North 41 degrees 10 minutes 48 seconds West 503.01-feet);

THENCE South 47 degrees 34 minutes 12 seconds West, continuing with the northeast line of said SH 205, a distance of 20.00-feet to the point of curvature of a non-tangent curve to the left, having a radius of 11,509.16-feet and a central angle of 00 degrees 48 minutes 19 seconds;

THENCE continuing with the northeast line of said SH 205 and with said curve to the left, an arc distance of 161.75-feet (Chord Bearing North 42 degrees 49 minutes 57 seconds West 161.75-feet to the southernmost southwest corner of said Hickory Ridge Phase Four, from which a found disturbed ½-inch iron rod with cap bears North 48 degrees 07 minutes 13 seconds East, a distance of 1.86-feet;

THENCE South 89 degrees 00 minutes 00 seconds East, departing the northeast line of said SH 205, with the south line of said Hickory Ridge Phase Four, a distance of 439.07-feet to the southernmost southeast corner of said Hickory Ridge Phase Four;

THENCE North 36 degrees 21 minutes 06 seconds East, with the southeast line of said Hickory Ridge Phase Four, a distance of 955.17-feet to the *POINT OF BEGINNING* and containing 15.5866-acres of land.

Exhibit 'B':
Survey

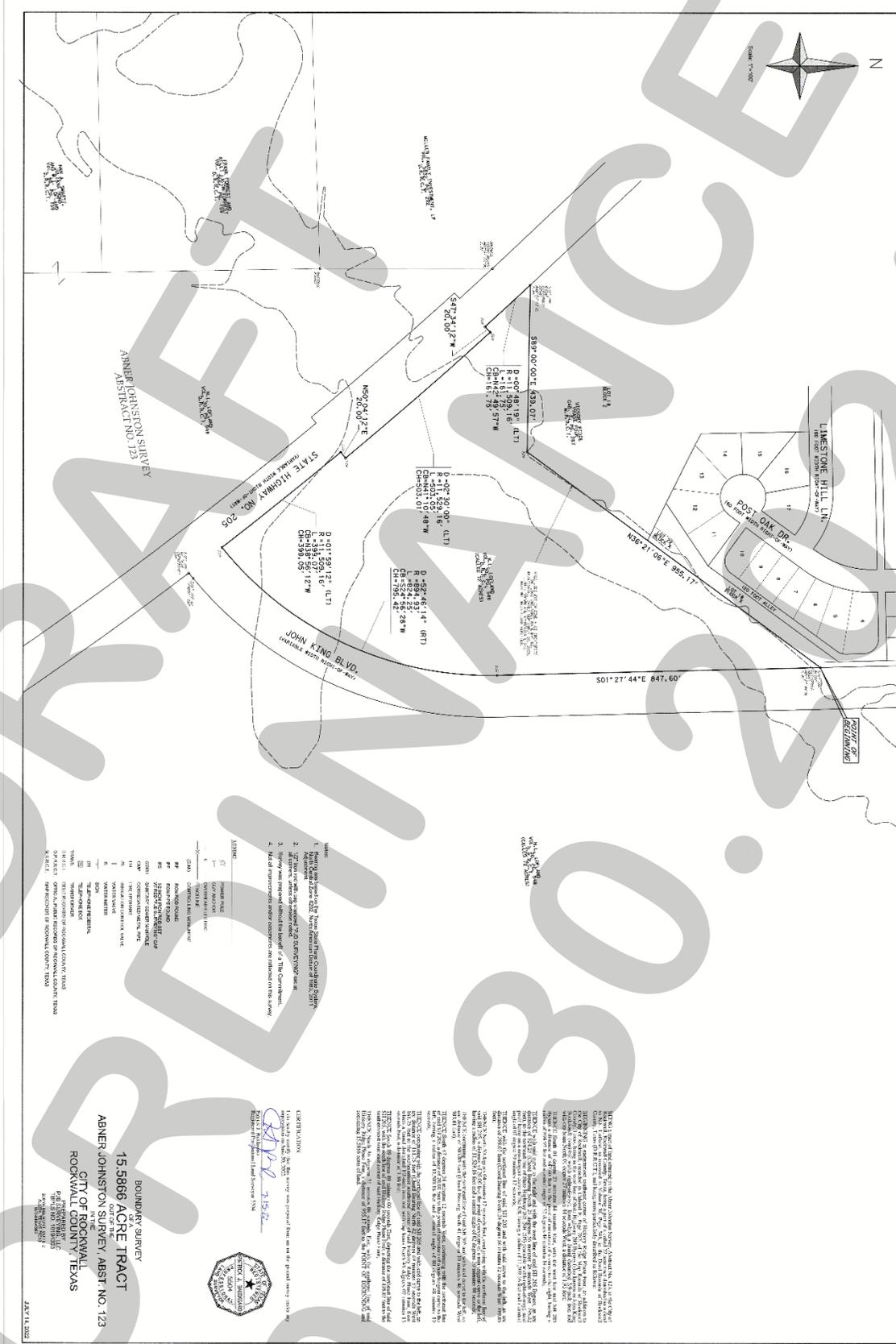


Exhibit 'B':
Survey



Exhibit 'B':
Survey



LEGEND

1	PROPERTY LINE
2	QUAD BOUNDARY
3	CONVEYED INTEREST
4	CHURCH/EDUCATIONAL
5	ROAD RIGHT-OF-WAY
6	ADJACENT ROAD
7	ADJACENT TRACT
8	ADJACENT SURVEY
9	ADJACENT SURVEY
10	ADJACENT SURVEY
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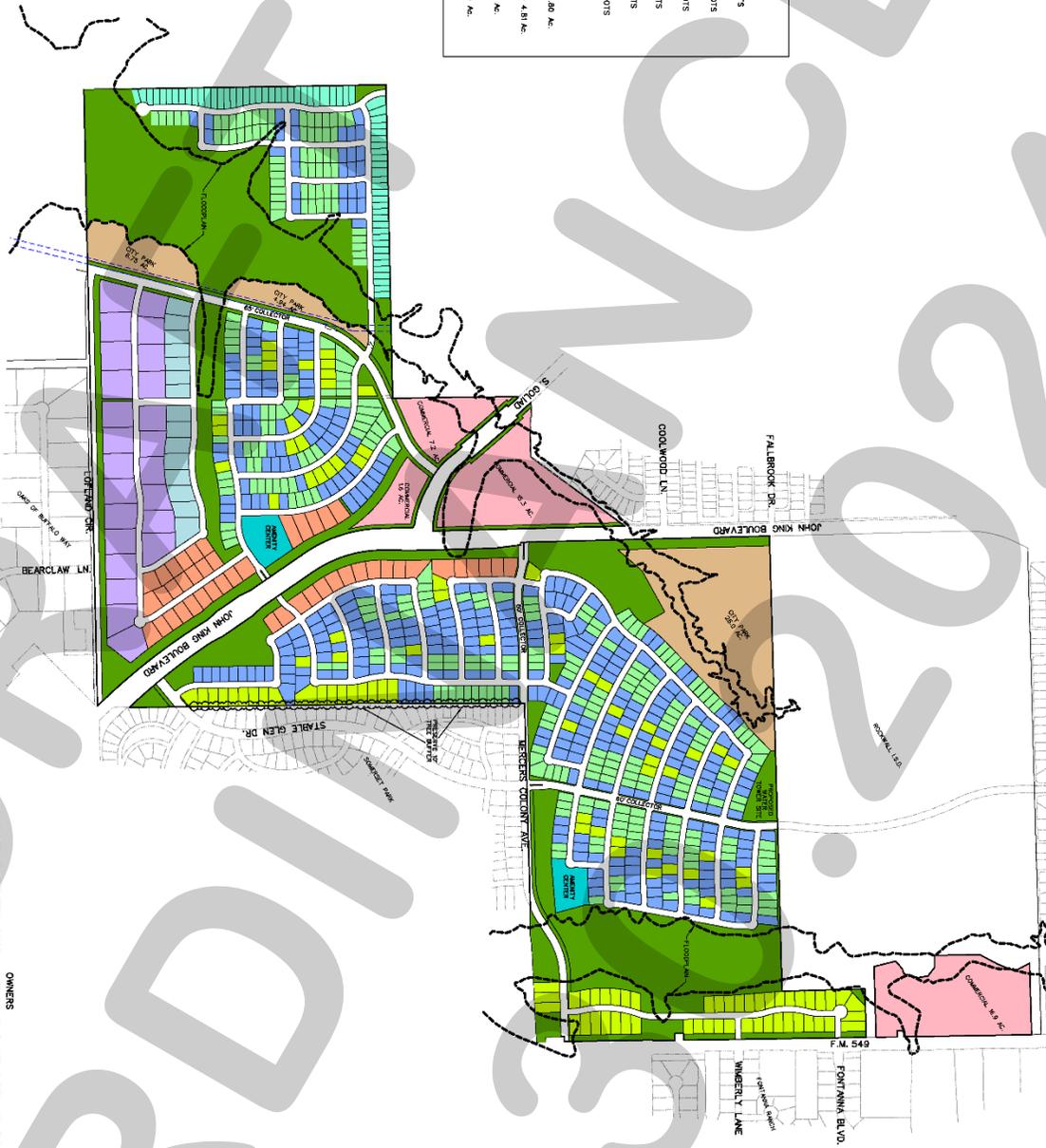
BOUNDARY SURVEY
242.8992 ACRE TRACT
JOHN R. JOHNSON SURVEY ABST. NO. 128
ABNER JOHNSON SURVEY ABST. NO. 123
CITY OF ROCKWALL
ROCKWALL, TEXAS

APPROVED BY: [Signature]
DATE: 05/17/2022

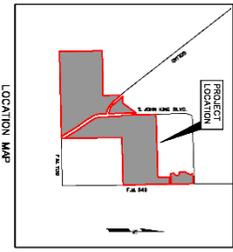
CELESTINATION
APPROVED BY: [Signature]
DATE: 05/17/2022

Exhibit 'C': Concept Plan

LEGEND	
	- 52' X 125' - 69 LOTS
	- 52' X 125' - 598 LOTS
	- 72' X 125' - 377 LOTS
	- 82' X 125' - 125 LOTS
	- 100' X 150' - 46 LOTS
	- 1/4-ACRE LOT - 16 LOTS
	- 1-ACRE - 24 LOTS
	- OPEN SPACE - 15,800 AC.
	- AMENITY CENTER - 4.81 AC.
	- CITY PARK - 37.7 AC.
	- COMMERCIAL - 410 AC.



OWNERS
 J BOND PARTNERS, LOIS ANNE BOND, DAVID LOTLAND, BOND,
 WILLIAM BROGS LOTLAND, HUNTER SCOTT LOTLAND,
 GILLIAN GRANT LOTLAND, SHEREN & EVELYN RUTH LOTLAND
 DALLAS, TEXAS 75225



TOTAL ACRES	538.42
GROSS COMMERCIAL ACRES	410
TOTAL RESIDENTIAL LOTS	980
RESIDENTIAL DENSITY**	1.789
GROSS RESIDENTIAL DENSITY**	1.938
TOTAL FLOOD PLAN ACRES	87.09
TOTAL OPEN SPACE ACRES	15,800

NOTE: **CALCULATED AS 1,000 RES. UNITS/TOTAL ACRES
 **CALCULATED AS 1,000 RES. UNITS/TOTAL ACRES
 (TOTAL ACRES-GROSS COMMERCIAL ACRES)

CONCEPT PLAN
JUNIPER
 SITUATED IN THE
 W. H. BARD SURVEY, ABSTRACT NO. 25
 A. JOHNSON SURVEY, ABSTRACT NO. 123
 J.R. JOHNSON SURVEY, ABSTRACT NO. 128
 CITY OF ROCKWALL
 ROCKWALL COUNTY, TEXAS
 PREPARED BY
 CORWIN ENGINEERING, INC.
 2100 ALLEN
 AUSTIN, TEXAS 78701
 JULY 2024 SCALE 1" = 400'
 CASE NO. XXXX

**Exhibit 'D':
Entry Signage and Trail Plan**

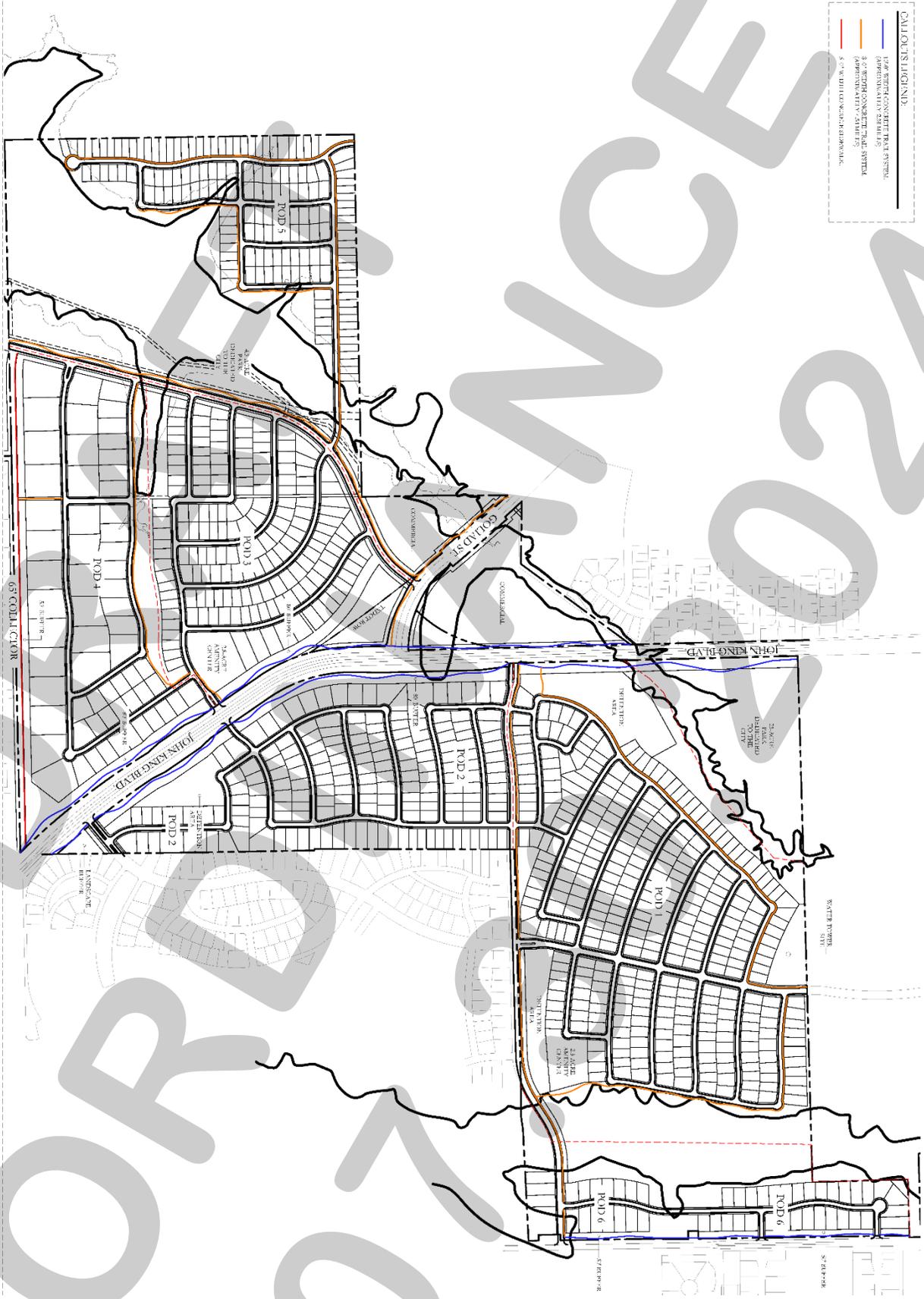


Exhibit 'E':
Amenity Centers

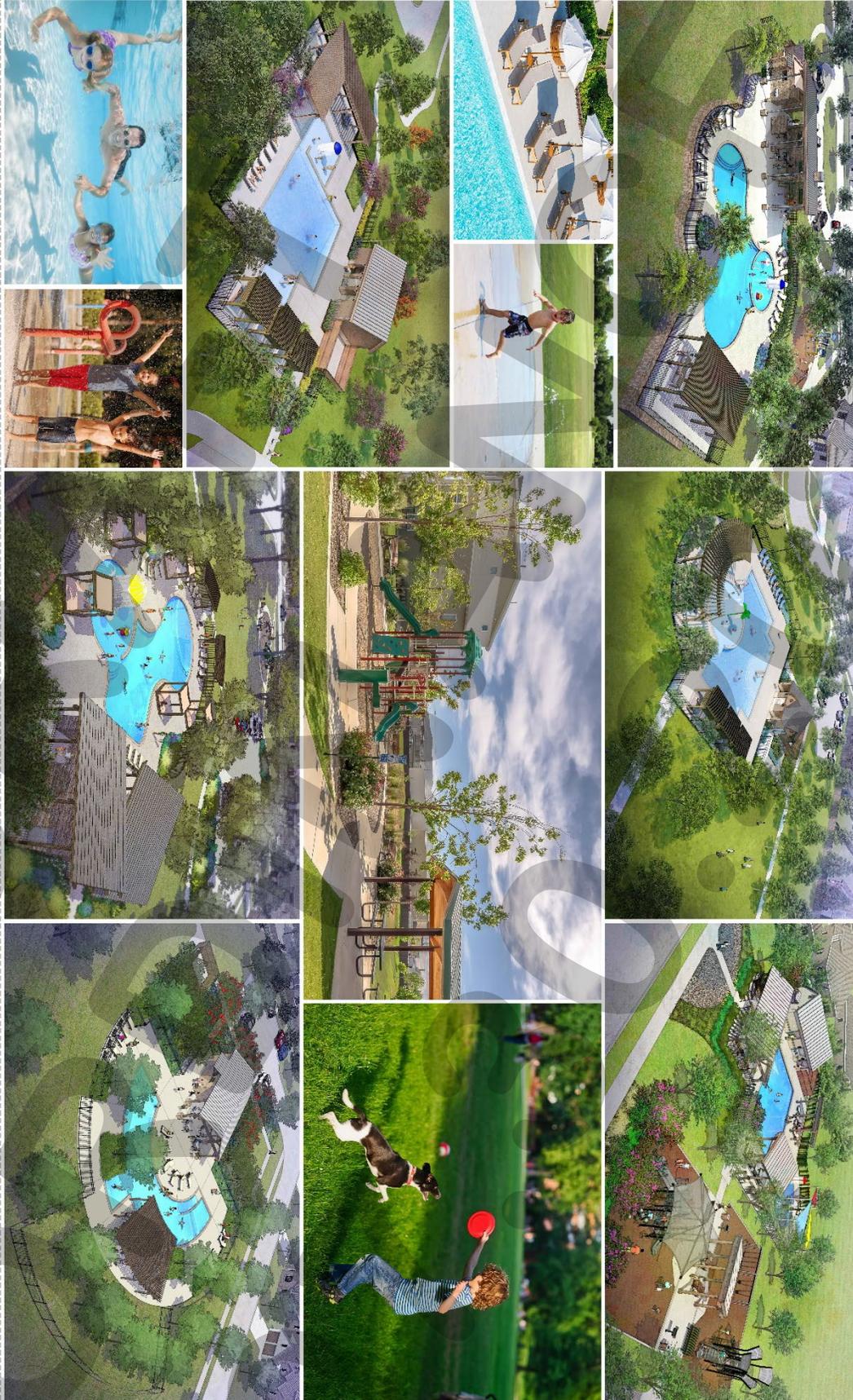


Exhibit 'F':
Density and Development Standards

(1) Permitted Uses. Unless specifically provided by this Planned Development District ordinance, the following uses are permitted on the *Subject Property*:

(a) Residential Land Uses. Residential land uses shall be allowed only within the area designated for residential lots as depicted on the *Concept Plan* in *Exhibit 'C'* of this ordinance. These areas are limited to those uses permitted *by-right* or by Specific Use Permit (SUP) for the Single-Family 10 (SF-10) District, as stipulated by the *Permissible Use Charts* contained in Article 04, *Permissible Uses*, of the Unified Development Code (UDC).

(b) Non-Residential Land Uses. Non-residential land uses shall be allowed only within the area designated for *Commercial* land uses as depicted on the *Concept Plan* in *Exhibit 'C'* of this ordinance. These areas are limited to those uses permitted *by-right* or by Specific Use Permit (SUP) for the General Retail (GR) District as stipulated by the *Permissible Use Charts* contained in Article 04, *Permissible Uses*, of the Unified Development Code (UDC) and subject to the approval of a *PD Development Plan* and *PD Site Plan* in accordance with the Planned Development District regulations contained in Article 10, *Planned Development District Regulations*, of the Unified Development Code (UDC); however, the following uses are expressly prohibited:

- ANIMAL BOARDING/KENNEL WITHOUT OUTSIDE PENS
- ANIMAL HOSPITAL OR CLINIC
- CONVENT, MONASTERY, OR TEMPLE
- COMMERCIAL PARKING GARAGE
- RESIDENCE HOTEL
- MOTEL
- CEMETERY/MAUSOLEUM
- CONGREGATE CARE FACILITY/ELDERLY HOUSING
- EMERGENCY GROUND AMBULANCE SERVICES
- HOSPITAL
- MORTUARY OR FUNERAL CHAPEL
- TEMPORARY CARNIVAL, CIRCUS, OR AMUSEMENT
- PORTABLE BEVERAGE SERVICE FACILITY
- TEMPORARY CHRISTMAS TREE SALES LOT AND/OR SIMILAR USES
- COPY CENTER
- GARDEN SUPPLY/PLANT NURSERY
- SELF SERVICE LAUNDROMAT
- NIGHT CLUB, DISCOTHEQUE, OR DANCE HALL
- RETAIL STORE WITHOUT OUTSIDE STORAGE AND/OR DISPLAY
- RETAIL STORE WITH GASOLINE SALES THAT HAS MORE THAN TWO (2) DISPENSERS
- TRADE SCHOOL
- MINOR AUTO REPAIR GARAGE
- SELF SERVICE CAR WASH
- SERVICE STATION
- MINING AND EXTRACTION OF SAND, GRAVEL, OIL AND/OR OTHER MATERIALS
- ANTENNA DISH
- COMMERCIAL FREESTANDING ANTENNA
- HELIPAD
- RAILROAD YARD OR SHOP
- TRANSIT PASSENGER FACILITY

**Exhibit 'F':
Density and Development Standards**

- (2) Residential Lot Composition and Layout. The lot layout and composition shall generally conform to the *Concept Plan* depicted in *Exhibit 'C'* and stated in *Table 1*, which is as follows:

TABLE 1: LOT COMPOSITION

LOT TYPE	MINIMUM LOT SIZE (FT)	MINIMUM LOT SIZE (SF)	DWELLING UNITS (#)	DWELLING UNITS (%)
A	185' x 200'	43,560 SF	24	02.50%
B	100' x 200'	21,780 SF	15	01.56%
C	100' x 150'	12,000 SF	46	04.79%
D	82' x 125'	9,600 SF	125	13.02%
E	72' x 125'	8,640 SF	377	39.27%
F	62' x 125'	7,440 SF	308	32.08%
G	52' x 125'	6,000 SF	65	06.77%
<i>Maximum Permitted Units:</i>			960	100.00%

- (3) Density and Dimensional Requirements. Unless specifically provided by this Planned Development District ordinance, the development standards stipulated for the *Subject Property* shall be as follows:

- (a) Residential. Except as modified by this Planned Development District ordinance, residential land uses on the *Subject Property* shall be required to meet the development standards for the Single-Family 10 (SF-10) District, as specified by Article 05, *District Development Standards*, of the Unified Development Code (UDC). The maximum permissible density for the *Subject Property* shall not exceed 1.938 dwelling units per gross acre of land; however, in no case should the proposed development exceed 960 units. All lots shall conform to the standards depicted in *Table 2*, which are as follows:

TABLE 2: LOT DIMENSIONAL REQUIREMENTS

Lot Type (see Concept Plan) ▶	A	B	C	D	E	F	G
<i>Minimum Lot Width</i> ⁽¹⁾	185'	100'	100'	82'	72'	62'	52'
<i>Minimum Lot Depth</i>	200'	200'	150'	125'	125'	125'	125'
<i>Minimum Lot Area (SF)</i>	43,560	21,780	12,000	9,600	8,640	7,440	6,000
<i>Minimum Front Yard Setback</i> ^{(2), (5) & (6)}	30'	30'	20'	20'	20'	20'	20'
<i>Minimum Side Yard Setback</i>	15'	15'	10'	6'	6'	6'	6'
<i>Minimum Length of Driveway Pavement</i> ⁽⁸⁾	20'	20'	20'	20'	20'	20'	20'
<i>Maximum Height</i> ⁽³⁾	35'	35'	35'	35'	35'	35'	35'
<i>Minimum Rear Yard Setback</i> ⁽⁴⁾	30'	30'	10'	10'	10'	10'	10'
<i>Minimum Area/Dwelling Unit (SF)</i> ⁽⁷⁾	3,200	3,200	3,200	2,800	2,800	2,800	2,800
<i>Maximum Lot Coverage</i>	50%	65%	65%	65%	65%	65%	65%
<i>Minimum Garage Parking Spaces</i>	3	3	3	3	2	2	2

General Notes:

- ¹: Lots fronting onto curvilinear streets, cul-de-sacs and eyebrows may have the front lot width reduced by 20% and the rear lot width reduced by ten (10) percent as measured at the front property line provided that the lot width will be met at the *Front Yard* and *Rear Yard Building Setback*. Additionally, the lot depth on lots fronting onto curvilinear streets, cul-de-sacs and eyebrows may be reduced by up to ten (10) percent, but shall meet the minimum lot size for each lot type referenced in *Table 1*.
- ²: The location of the *Front Yard Building Setback* as measured from the front property line. For corner lots, the front yard building setback shall be applied to all property lines that have frontage on a public street. Keystone lots (*i.e. corner lots that share a rear yard with the side yard of another property*) shall be required to have the fencing at or behind the front yard building setback.
- ³: The *Maximum Height* shall be measured to the eave or top plate (*whichever is greater*) of the single-family home.
- ⁴: The location of the *Rear Yard Building Setback* as measured from the rear property line.
- ⁵: Sunrooms, porches, stoops, bay windows, balconies, masonry clad chimneys, eaves and similar architectural features may encroach beyond the *Front Yard Building Setback* by up to ten (10) feet for

Exhibit 'F':
Density and Development Standards

any property; however, the encroachment shall not exceed five (5) feet on *Side Yard Setbacks*. A sunroom is an enclosed room no more than 15-feet in width that has glass on at least 50% of each of the encroaching faces.

- 6: *J-Swing* or *Traditional Swing Garages* are permitted to encroach into the front yard building setback a maximum of five (5) feet.
- 7: Air-conditioned space.
- 8: No drive approach for a residential lot shall be situated to allow access on a collector or arterial roadway.

(b) ***Non-Residential.*** Except as modified by this Planned Development District ordinance, the non-residential land uses on the *Subject Property* shall be required to meet the development standards stipulated by the *General Overlay District Standards*, *General Commercial District Standards*, and the standards required for the General Retail (GR) District as stipulated by Article 05, *District Development Standards*, of the Unified Development Code (UDC) for a property in a General Retail (GR) District. In addition, the *Commercial* area shall be designed to be pedestrian-oriented and easily accessible to the adjacent residential neighborhoods, and be constructed to be integrated with the adjacent uses, not be separated from them by screening walls or other physical barriers. This will be accomplished by creating paths from the adjacent development into the *Commercial* area and through the use of a 50-foot landscape buffer utilizing a berm and three (3) tiered screening (*i.e.* [1] *a small to mid-sized shrub*, [2] *large shrubs or accent trees*, and [3] *canopy trees on 20-foot centers*), and building design and other urban design elements to create compatibility with the surrounding residential neighborhood.

(4) ***Building Standards for Residential.*** All residential development shall adhere to the following building standards:

(a) ***Masonry Requirement.*** The minimum masonry requirement for the exterior façade of all buildings shall be 90% (*excluding dormers and walls over roof areas*). For the purposes of this ordinance, the masonry requirement shall be limited to full width brick, natural stone, and cast stone. Cementitious fiberboard (*e.g. HardiBoard or Hardie Plank*) in a horizontal lap-siding, *board-and-batten* siding, or a decorative pattern (*see examples below*) may be used for up to 80% of the masonry requirement; however, administrative approval from the Director of Planning and Zoning may be requested for housing plans that utilize cementitious fiberboard in excess of 80% of the masonry requirement on a *case-by-case* basis.

FIGURE 1: EXAMPLES OF CEMENTITIOUS FIBERBOARD



Exhibit 'F':
Density and Development Standards

FIGURE 2: EXAMPLES OF BOARD AND BATTEN



FIGURE 3: EXAMPLES OF HORIZONTAL LAP



- (b) **Roof Pitch.** A minimum of an 8:12 roof pitch is required on all structures with the exception of dormers, sunrooms and porches, which shall have a minimum of a 4:12 roof pitch.
- (c) **Garage Orientation and Garage Doors.** This development shall adhere to the following garage design standards and orientation requirements:
 - (1) **Type 'A', 'B' & 'C' Lots.** The Type 'A', 'B', 'C', & 'D' Lots (i.e. the yellow, orange, light blue, and purple lots depicted in Exhibit 'C') shall be oriented in a traditional swing (or j-swing) garage configuration -- where the two (2) car garage is stated facing the side property line and the driveway swings into the garage in a 'J' configuration. In a traditional swing (or j-swing) garage configuration, a second (single or double) garage door facing the street is permitted if it is behind the width of the double garage door in the traditional swing (or j-swing) configuration.
 - (2) **Type 'D' & 'E' Lots.** A total of 24.96% or 171 of the Type 'E', 'F', & 'G' Lots (i.e. dark blue, aqua, and light green colored lots depicted in Exhibit 'C') may have garage configurations that are oriented in a Front Entry garage configuration (i.e. where the garage door faces the street); however the front façade of the garage shall be setback a minimum of five (5) feet behind the front façade of the primary structure and the front yard building setback shall be increased to 25-feet. The remaining 75.04% or 514 of the Type 'E', 'F', & 'G' Lots shall be oriented in a traditional swing (or j-swing) garage configuration -- where the two (2) car garage is situated facing the

Exhibit 'F':
Density and Development Standards

side property line and the driveway swings into the garage in a 'J' configuration. In a traditional swing (or j-swing) garage configuration, a second (single or double) garage door facing the street is permitted if it is behind the width of the double garage door in the traditional swing (or j-swing) configuration.

All garage configurations not conforming to the aforementioned garage configurations shall meet the requirements stipulated by Article 09, *Parking and Loading*, of the Unified Development Code (UDC). In addition, the following architectural elements must be incorporated into all garage configurations: [1] divided garage bay doors (i.e. for two (2) car garages two (2) individual entrances and for three (3) car garages a standard two (2) bay garage door with a single bay garage door adjacent), [2] carriage style hardware and lighting, [3] decorative wood doors or wood overlays on insulated metal doors, and [4] driveways must be constructed with ornamental stamped concrete brick pavers, broom finished, or salt finish. An example of a garage door meeting these standards is depicted in Figure 4.

FIGURE 4. EXAMPLES OF ENHANCED WOOD GARAGE DOOR



FIGURE 5: EXAMPLES OF UPGRADED FINISHES



DIVIDED BAYS



CARRIAGE HARDWARE



CEDAR CLADDING



ORNAMENTAL PAVING

**Exhibit 'F':
Density and Development Standards**

FIGURE 6: EXAMPLES OF UPGRADED GARAGES



- (5) Anti-Monotony Restrictions. The development shall adhere to the Anti-Monotony Matrix depicted in Table 3 below (for spacing requirements see Figures 7 & 8 below).

TABLE 3: ANTI-MONOTONY MATRIX

<u>Lot Type</u>	<u>Minimum Lot Size</u>	<u>Elevation Features</u>
A	185' x 200'	(1), (2), (3), (4), (5)
B	100' x 200'	(1), (2), (3), (4), (5)
C	100' x 150'	(1), (2), (3), (4), (5)
D	82' x 125'	(1), (2), (3), (4), (5)
E	72' x 125'	(1), (2), (3), (4), (5)
F	62' x 125'	(1), (2), (3), (4), (5)
G	52' x 110'	(1), (2), (3), (4), (5)

- (a) Identical brick blends or paint colors may not occur on adjacent (*side-by-side*) properties along any block face without at least five (5) intervening homes of differing materials on the same side of the street beginning with the adjacent property and six (6) intervening homes of differing materials on the opposite side of the street.
- (b) Front building elevations shall not repeat along any block face without at least five (5) intervening homes of differing appearance on the same side of the street and six (6) intervening homes of differing appearance on the opposite side of the street. The rear elevation of homes backing to open spaces, John King Boulevard, S. Goliad Street, FM-549, or Lofland Circle shall not repeat without at least five (5) intervening homes of differing appearance. Homes are considered to have a differing appearance if any of the following three (3) items deviate:

Exhibit 'F':
Density and Development Standards

- (1) Number of Stories
 - (2) Permitted Encroachment Type and Layout
 - (3) Roof Type and Layout
 - (4) Articulation of the Front Façade
 - (5) Garage Orientation
- (c) Permitted encroachment (*i.e. porches and sunroom*) elevations shall not repeat or be the same along any block face without at least five (5) intervening homes of sufficient dissimilarity on the same side of the street beginning with the home adjacent to the subject property and six (6) intervening homes beginning with the home on the opposite side of the street.
- (d) Each phase of the subdivision will allow for a maximum of four (4) compatible roof colors, and all roof shingles shall be an architectural or dimensional shingle (*3-Tab Roofing Shingles are prohibited*).

FIGURE 7. PROPERTIES LINE UP ON THE OPPOSITE SIDE OF THE STREET. WHERE RED IS THE SUBJECT PROPERTY.



FIGURE 8. PROPERTIES DO NOT LINE UP ON OPPOSITE SIDE OF THE STREET. WHERE RED IS THE SUBJECT PROPERTY.



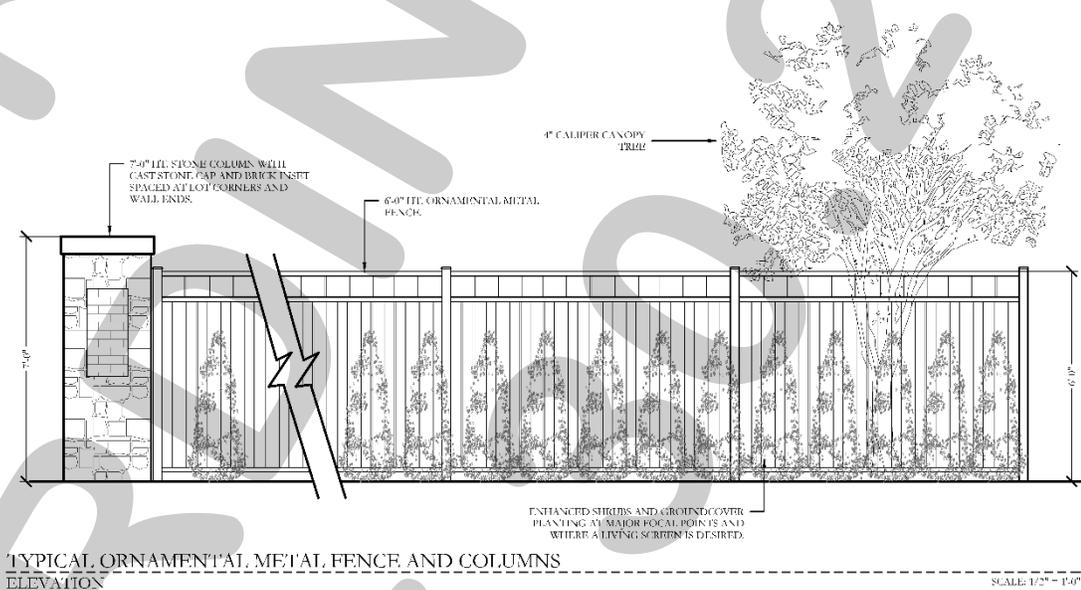
(6) **Fencing Standards.** All individual residential fencing and walls shall be architecturally compatible with the design, materials and colors of the primary structure on the same lot, and meet the following standards:

(a) **Front Yard Fences.** Front yard fences shall be prohibited.

Exhibit 'F':
Density and Development Standards

- (b) Wood Fences. All solid fencing shall be constructed utilizing standard cedar fencing materials (*spruce fencing is prohibited*) that are a minimum of ½-inch or greater in thickness. Fences shall be *board-on-board* panel fence that is constructed a minimum of six (6) feet in height and a maximum of eight (8) feet in height. Posts, fasteners, and bolts shall be formed from hot dipped galvanized or stainless steel. All cedar pickets shall be placed on the public side (*i.e. facing streets, alleys, open space, parks, and/or neighboring properties*). All posts and/or framing shall be placed on the private side (*i.e. facing towards the home*) of the fence. All wood fences shall be smooth finished, free of burs and splinters, and be stained and sealed on both sides of the fence. Painting a fence with oil or latex based paint shall be prohibited.
- (c) Wrought Iron/Tubular Steel. Lots located along the perimeter of roadways (*i.e. John King Boulevard, S. Goliad Street, FM-549, or Lofland Circle*), abutting open spaces, greenbelts and parks shall be required to install a wrought iron or tubular steel fence. Wrought iron/tubular steel fences can be a maximum of six (6) feet in height.
- (d) Corner Lots. Corner lot fences (*i.e. adjacent to the street*) shall provide masonry columns at 45-foot center spacing that being at the rear property line corner and terminates ten (10) feet behind the front yard building setback line (*see Figure 9*). A maximum of six (6) foot wrought iron fence shall be constructed between the masonry columns along the side and/or rear lot adjacent to a street. In addition, the fencing shall be setback from the side property line adjacent to a street a minimum of ten (10) feet. The property owner shall be required to maintain both sides of the fence.

FIGURE 9. TYPICAL ORNAMENTAL METAL FENCE WITH COLUMNS



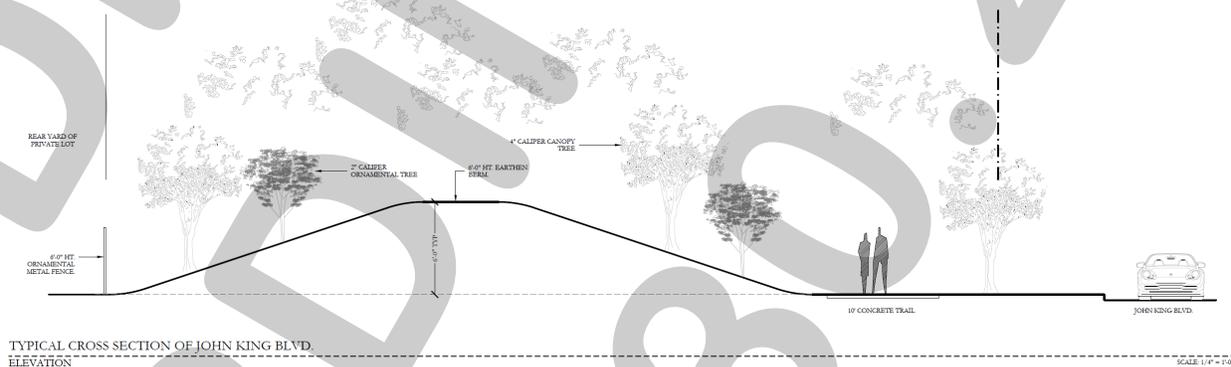
- (e) Solid Fences (including Wood Fences). All solid fences shall incorporate a decorative top rail or cap detailing into the design of the fence.
- (f) Fence in Easements. No fencing shall be constructed in or across the City of Rockwall's easements.

Exhibit 'F':
Density and Development Standards

(7) Landscape and Hardscape Standards.

- (a) Landscape. Landscaping shall be reviewed and approved with the *PD Site Plan*. All *Canopy/Shade Trees* planted within this development shall be a minimum of four (4) caliper inches in size and all *Accent/Ornamental/Under-Story Trees* shall be a minimum of four (4) feet in total height. Any residential lot that sides or backs to a major roadway where wrought iron/tubular steel fencing is required, shall also be required to plant a row of shrubs adjacent to the wrought iron/tubular fence within the required 30-foot landscape buffer (*i.e. on the Homeowner's Associations' [HOAs] property*). These shrubs shall be maintained by the Homeowner's Association (HOA).
- (b) Landscape Buffers. All landscape buffers and plantings located within the buffers shall be maintained by the Homeowner's Association (HOA). All trail locations shall generally be in accordance with *Exhibit 'D'* of this ordinance.
- (1) Landscape Buffer and Sidewalks (John King Boulevard). A minimum of an 80-foot landscape buffer shall be provided along John King Boulevard (*outside of and beyond any required right-of-way dedication*), and shall incorporate ground cover, an undulating *built-up* berm, and shrubbery along the entire length of the frontage. Berms shall have a minimum height of 48-inches each. In addition, three (3) canopy trees and four (4) accent trees shall be planted per 100-feet of linear frontage. A meandering ten (10) foot trail shall be constructed within the 80-foot landscape buffer. All residential lots backing to John King Boulevard shall also incorporate an additional row of evergreen shrubs adjacent to the wrought-iron fencing along the rear property lines in the landscape buffer.

FIGURE 10. TYPICAL CROSS SECTION OF LANDSCAPE BUFFER FOR JOHN KING BOULEVARD



- (2) Landscape Buffer and Sidewalks (S. Goliad Street [SH-205]). A minimum of an 80-foot landscape buffer shall be provided along John King Boulevard and S. Goliad Street (*outside of and beyond any required right-of-way dedication*), and shall incorporate ground cover, an undulating *built-up* berm, and shrubbery along the entire length of the frontage. Berms shall have a minimum height of 48-inches each. In addition, three (3) canopy trees and four (4) accent trees shall be planted per 100-feet of linear frontage. A meandering eight (8) foot trail shall be constructed within the 80-foot landscape buffer.
- (3) Landscape Buffer and Sidewalks (FM-549). A minimum of a 50-foot landscape buffer shall be provided along FM-549 for the residential property (*outside of and beyond*

Exhibit 'F':
Density and Development Standards

any required right-of-way dedication), and shall incorporate ground cover, an undulating *built-up* berm, and shrubbery along the entire length of the frontage. Berms shall have a minimum height of 48-inches each. In addition, three (3) canopy trees and four (4) accent trees shall be planted per 100-feet of linear frontage. A meandering eight (8) foot trail shall be constructed within the 50-foot landscape buffer. All residential lots backing to FM-549 shall also incorporate an additional row of evergreen shrubs adjacent to the wrought-iron fencing along the rear property lines.

- (4) *Landscape Buffer and Sidewalks (Perimeter Minor Collectors)*. A minimum of a 30-foot landscape buffer shall be provided along all *Perimeter Minor Collectors* where residential lots do not front the *Minor Collector*. This landscape buffer shall incorporate one (1) canopy tree and one (1) accent tree per 50-linear feet along the entire adjacency. A meandering eight (8) foot trail shall be constructed within the 30-foot landscape buffer.
- (5) *Landscape Buffer and Sidewalks (Minor Collectors)*. A minimum of a ten (10) foot landscape buffer shall be provided along all *Minor Collectors* where residential lots do not front the *Minor Collector*. This landscape buffer shall incorporate one (1) canopy tree and one (1) accent tree per 50-linear feet along the entire adjacency. A meandering five (5) foot sidewalk shall be constructed within the ten (10) foot landscape buffer.
- (6) *Landscape Buffer and Sidewalks (Lofland Circle)*. A minimum of a 50-foot landscape buffer shall be provided along Lofland Circle across from the existing residential lots in the Oaks of Buffalo Way subdivision after which point the landscape buffer may be reduced to ten (10) feet. The segment of landscape buffer that is required to be 50-feet wide shall incorporate a minimum of a 48-inch berm and a five (5) foot meandering sidewalk along the entire landscape buffer. The entire landscape buffer along Lofland Circle shall incorporate a solid living screen utilizing evergreen trees - *either Eastern Red Cedar or Leland Cypress unless otherwise approved by the Planning and Zoning Commission at the time of PD Site Plan --*, a minimum of four (4) caliper inches in size, that will be planted on ten (10) foot centers.
- (7) *Commercial Landscape Buffer (Adjacent to Residential Properties)*. A minimum of a 50-foot landscape buffer with a minimum of a 48-inch continuous *built-up* berm and three (3) tiered screening (*i.e. [1] a small to mid-sized shrub, [2] large shrubs or accent trees, and [3] canopy trees on 20-foot centers*) shall be provided on commercial properties that have direct adjacency to residential properties as generally depicted in *Exhibit 'C'* of this ordinance.
- (8) *Landscape Screening in the Western Triangle South of Stable Glen Drive (Adjacent to the Somerset Park Subdivision)*. In order to create a solid living screen adjacent to the homes in the Somerset Park Subdivision that will back to the proposed open space on the west side of SH-205 (*i.e. south of Stable Glen Drive*) a solid living screen utilizing evergreen trees -- *either Eastern Red Cedar or Leland Cypress unless otherwise approved by the Planning and Zoning Commission at the time of PD Site Plan --*, a minimum of four (4) caliper inches in size, will be planted on ten (10) foot centers along the entire adjacency.

Exhibit 'F':
Density and Development Standards

- (c) Street Trees. The Homeowner's Association (HOA) shall be responsible for the maintenance of all street trees and will be required to maintain a minimum of 14-foot vertical clearance height for any trees overhanging a public right-of-way. Street trees shall be planted a minimum of five (5) feet from public water, sanitary sewer and storm lines. All street trees shall be reviewed with the *PD Site Plan*.
- (d) Residential Lot Landscaping. Prior to the issuance of a Certificate of Occupancy (CO), any residential lots depicted on *Exhibit 'C'* shall be landscaped with a minimum of two (2), four (4) inch caliper canopy trees (*as measured per Article 08, Landscape and Fence Standards, of the Unified Development Code [UDC]*) within the front yard. In addition, corner lots shall be required to add a minimum of two (2), four (4) inch caliper canopy trees (*as measured per Article 08, Landscape and Fence Standards, of the Unified Development Code [UDC]*) within the side yard facing the street.
- (e) Irrigation Requirements. Irrigation shall be installed for all required landscaping located within detention areas, common areas, landscape buffers, and/or open space. Irrigation installed in these areas shall be designed by a Texas licensed irrigator or landscape architect and shall be maintained by the Homeowner's Association (HOA).
- (f) Hardscape. Hardscape plans indicating the location of all sidewalks and trails shall be reviewed and approved with the *PD Site Plan*.
- (8) Street. All streets (*excluding drives, fire lanes and private parking areas*) shall be built according to City street standards.
- (9) Lighting. Light poles shall not exceed 20-feet in total height (*i.e. base and lighting standard*). All fixtures shall be directed downward and be positioned to contain all light within the development area.
- (10) Sidewalks. All sidewalks adjacent to a street shall be a maximum of two (2) feet inside the right-of-way line and be a minimum of five (5) feet in overall width.
- (11) Buried Utilities. New distribution power-lines required to serve the *Subject Property* shall be placed underground, whether such lines are located internally or along the perimeter of the *Subject Property*, unless otherwise authorized by the City Council. Temporary power-lines constructed across undeveloped portions of the *Subject Property* to facilitate development phasing and looping may be allowed above ground, but shall not be considered existing lines at the time the area is developed, and if they are to become permanent facilities, such lines shall be placed underground pursuant to this paragraph. Franchise utilities shall be placed within a ten (10) foot public utility easement behind the sidewalk, between the home and the property line.
- (12) Open Space/Public Park. The development shall consist of a minimum of 20.00% open space (*or a minimum of 108.066-acres -- as calculated by the formula stipulated in the Comprehensive Plan*), and generally conform to the *Concept Plan* contained in *Exhibit 'C'* of this ordinance.
- (13) Amenity Center. Amenity centers shall be constructed in generally the same areas as depicted in *Exhibit 'C'* of this ordinance and generally in accordance with the images depicted in *Exhibit 'E'* of this ordinance, and shall be maintained by the Homeowner's

**Exhibit 'F':
Density and Development Standards**

Association (HOA). The design and layout of the two (2) amenity centers shall be approved with the *PD Site Plan*.

- (14) **Trails.** A concrete trail system shall be constructed generally in the same location as the trail system depicted in *Exhibit 'D'* of this ordinance, and shall provide connectivity to the proposed parks.
- (15) **Trail Rest Stop.** A trail rest stop shall be constructed at the location as depicted in *Exhibit 'D'* of this ordinance and shall include a rest bench, shade structure, water fountain, and bike repair station.
- (16) **Neighborhood Signage and Enhancements.** Permanent subdivision identification signage shall be required at all major entry points for the proposed subdivision. Final design and location of any entry features shall be reviewed and approved with the *PD Site Plan*. The developer shall provide enhanced landscaping areas at all entry points to the *Subject Property*. The final design of these areas shall be provided on the *PD Site Plan*; however, they should generally conform with *Figures 11, 12 & 13*.

... CONTINUED ON NEXT PAGE

FIGURE 11. MAIN ENTRY SIGNAGE

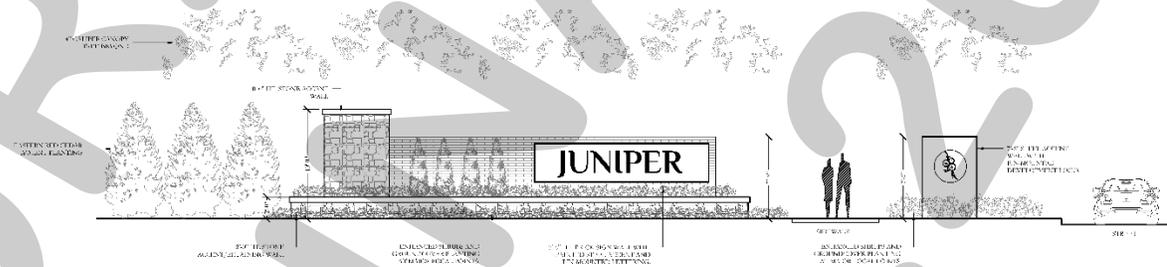


FIGURE 12. SECONDARY ENTRY SIGNAGE

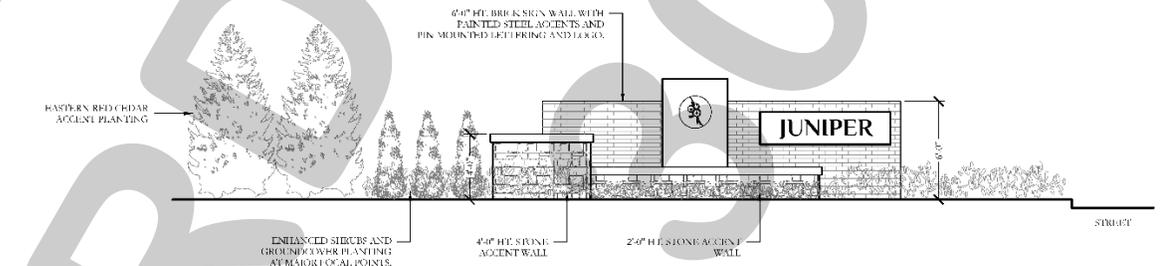
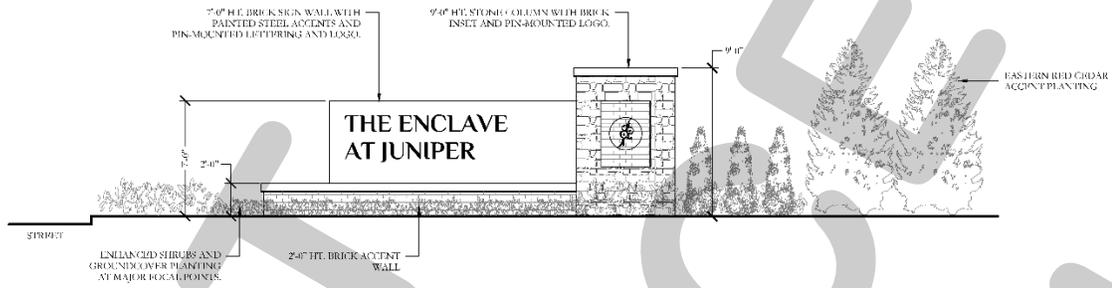


Exhibit 'F':
Density and Development Standards

FIGURE 13. ENCLAVE ENTRY SIGNAGE



- (17) Homeowner's Association (HOA). A Homeowner's Association (HOA) shall be created to enforce the restrictions established in accordance with the requirements of *Section 38-15* of the *Subdivision Regulations* contained within the Municipal Code of Ordinances of the City of Rockwall. The HOA shall also maintain all private neighborhood parks, trails, open space and common areas (*including drainage facilities*), detention and drainage easements, floodplain areas, irrigation, landscaping, screening fences and neighborhood signage associated with this development. These areas are required to be delineated on the *PD Site Plan*.
- (18) Variances. The variance procedures and standards for approval that are set forth in the Unified Development Code (UDC) shall apply to any application for variances to this ordinance.

PROJECT COMMENTS



CITY OF ROCKWALL
385 S. GOLIAD STREET
ROCKWALL, TEXAS 75087
PHONE: (972) 771-7700

DATE: 7/25/2024

PROJECT NUMBER: Z2024-034
PROJECT NAME: SUP for a STR at 161 Walnut Lane
SITE ADDRESS/LOCATIONS: 161 WALNUT LN

CASE CAPTION: Hold a public hearing to discuss and consider a request by Kari J'Layne Mayfield for the approval of a Specific Use Permit (SUP) for a Short-Term Rental on a 0.1980-acre parcel of land identified as Lot 28, Block A, Windmill Ridge Estates, Phase 4B, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 13 (PD-13) for Single-Family 7 (SF-7) District land uses, addressed as 161 Walnut Lane, and take any action necessary.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
	Bethany Ross	07/24/2024	Approved w/ Comments

07/24/2024: Z2024-034; Specific Use Permit (SUP) for a Short-Term Rental (STR) at 161 Walnut Lane
Please address the following comments (M= Mandatory Comments; I = Informational Comments)

I.1 This is a request for the approval of a Specific Use Permit (SUP) a Short-Term Rental on a 0.1980-acre parcel of land identified as Lot 28, Block A, Windmill Ridge Estates, Phase 4B, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 13 (PD-13) for Single-Family 7 (SF-7) District land uses, addressed as 161 Walnut Lane.

I.2 For questions or comments concerning this case please contact Bethany Ross in the Planning Department at (972) 772-6488 or email bross@rockwall.com.

M.3 For reference, include the case number (Z2024-034) in the lower right-hand corner of all pages on future submittals.

I.4 According to Article 13, Definitions, of the Unified Development Code (UDC), Short Term Rental (Non-Owner-Occupied Single-Family Home, Townhome, or Duplex) is defined as, "A single-family home, townhome, or duplex -- or portion thereof -- in which the property owner or operator, as reflected in a valid lease agreement, is a resident (i.e. occupies the primary structure) and is present during the rental. This includes when a Guest Quarters/Secondary Living Unit/Accessory Dwelling Unit is detached from the primary structure and either the primary or secondary structure is rented, but the owner or operator resides on the property."

I.5 According to Article 04, Permissible Uses, of the Unified Development Code (UDC), the following conditional land use standards apply to the proposed use, [i.e. Short-Term Rental (Non-Owner-Occupied Single-Family Home, Townhome, or Duplex)]:

(A) Short-Term Rentals that are Non-Owner-Occupied shall not be located within 1,000-feet of another Short-Term Rental that is Non-Owner Occupied; however, Short Term Rentals that were in existence prior to April 1, 2024 that [1] meet the criteria established in Subsection 06.05, Non-Conforming Short-Term Rentals, of Article 04, Permissible Uses, of the Unified Development Code (UDC), and [2] received a valid permit and registration -- in accordance with Article 2, Short-Term Rentals, of Chapter 13, Rental Housing, of the Municipal Code of Ordinances -- prior to July 1, 2024 shall be exempted from the proximity requirements.

(B) Short-Term Rentals that are Non-Owner-Occupied that do not meet proximity requirements may be considered on a case-by-case basis by the Planning and Zoning Commission and City Council through a Specific Use Permit (SUP). In considering a Specific Use Permit (SUP) for a Short-Term Rental that is Non-Owner-Occupied the Planning and Zoning Commission and City Council shall consider the size, location, and impact of the proposed and existing Short-Term Rentals on the adjacent residential properties and

their occupants.

(C) The Short-Term Rental shall not incorporate accessory land uses that are not permitted within the underlying zoning district (e.g. Banquet Facility/Event Hall which includes meeting halls and wedding venues) as stipulated by the Permissible Use Charts contained within Article 04, Permissible Uses, of the Unified Development Code (UDC).

(D) In order to establish and operate a Short-Term Rental (Non-Owner-Occupied Single-Family Home, Townhome, or Duplex) in the City of Rockwall, a permit and registration shall be required in accordance with the requirements of Article 2, Short-Term Rentals, of Chapter 13, Rental Housing, of the Municipal Code of Ordinances.

I.6 In accordance with item I.5(B) above, the Specific Use Permit (SUP) is required due to the proposed Short-Term Rental (Non-Owner-Occupied Single-Family Home, Townhome, or Duplex) being unable to meet item I.5(A) above. In this case, the proposed Short-Term Rental (Non-Owner-Occupied Single-Family Home, Townhome, or Duplex) is 564.00-feet from an existing and permitted Short-Term Rental (Non-Owner-Occupied Single-Family Home, Townhome, or Duplex).

M.7 Please update the provided application to be complete (i.e. with owner signature and subsequent notary signatures as well as indication that the short-term rental was in operation before April 1, 2024) [Section 13-25(b), Permit and Registration Requirement, of Article 2, Short-Term Rentals, of Chapter 13, Municipal Code of Ordinances].

M.8 Please note that the current Short-Term Rental appears to be in operation and is actively being rented without the proper Short-Term Rental Permit and Registration. This will be conveyed to the Planning and Zoning Commission and City Council as part of this case.

M.9 Review the attached draft ordinance prior to the July 30, 2024 Planning & Zoning Commission meeting, and provide staff with your markups by August 6, 2024.

I.10 Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that is requested. Revisions for this case will be due on August 6, 2024; however, it is encouraged for applicants to submit revisions as soon as possible to give staff ample time to review the case prior to the August 13, 2024 Planning and Zoning Commission Public Hearing Meeting. The Planning and Zoning Commission Work Session Meeting for this case will be held on July 30, 2024.

I.11 The projected City Council meeting dates for this case will be August 19, 2024 (1st Reading) and September 3, 2024 (2nd Reading).

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
ENGINEERING	Madelyn Price	07/24/2024	Approved
No Comments			
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
BUILDING	Craig Foshee	07/22/2024	Approved
No Comments			
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
FIRE	Ariana Kistner	07/24/2024	Approved
No Comments			
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
GIS	Lance Singleton	07/22/2024	Approved
No Comments			
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
POLICE	Chris Cleveland	07/23/2024	Approved
No Comments			
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PARKS	Bethany Ross	07/25/2024	N/A

No Comments



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. _____

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- REPLAT (\$300.00 + \$20.00 ACRE) ¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ^{1&2}
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) ²

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.

²: A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 1161 Walnut Lane

SUBDIVISION Windmill Ridge Estates 4-B LOT 28 BLOCK A

GENERAL LOCATION Horizon & Tubbs

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING _____

CURRENT USE Residence

PROPOSED ZONING _____

PROPOSED USE Short Term Rental

ACREAGE .198

LOTS [CURRENT] _____

LOTS [PROPOSED] _____

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER Kari J. Layne Mayfield

APPLICANT _____

CONTACT PERSON J. Layne Mayfield

CONTACT PERSON _____

ADDRESS 1161 Walnut Lane

ADDRESS _____

CITY, STATE & ZIP Rockwall, TX 75082

CITY, STATE & ZIP _____

PHONE 972 814 4807

PHONE _____

E-MAIL jaynemayfield@gmail.com

E-MAIL _____

NOTARY VERIFICATION [REQUIRED]

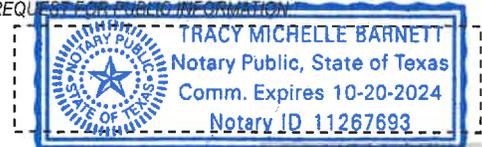
BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Kari J. Mayfield [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 198 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 19th DAY OF July, 2024 BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

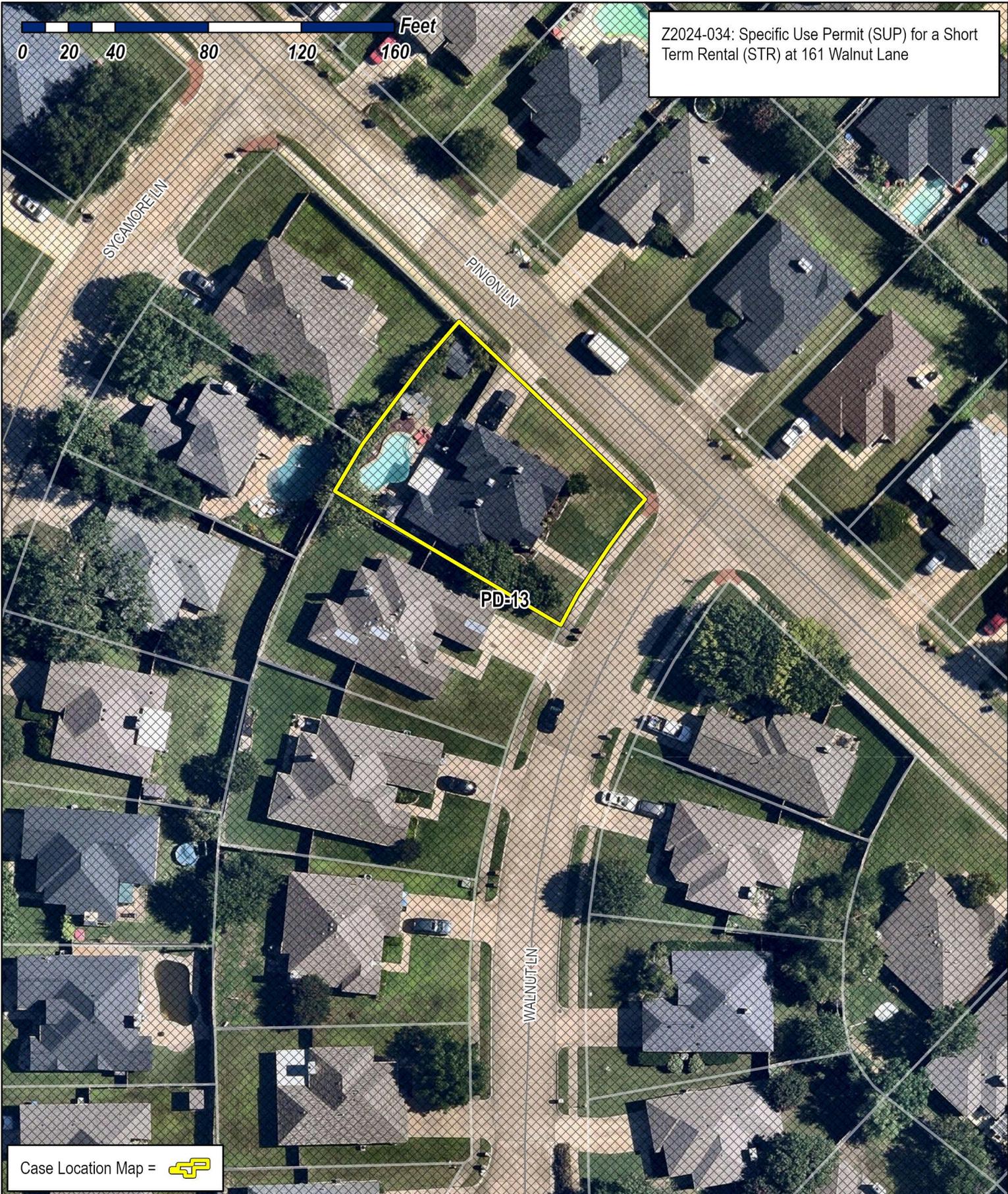
GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 19th DAY OF July, 2024

OWNER'S SIGNATURE Kari J. Layne Mayfield

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS Tracy Barnett



MY COMMISSION EXPIRES _____



Z2024-034: Specific Use Permit (SUP) for a Short Term Rental (STR) at 161 Walnut Lane

Case Location Map = 



City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75087
 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

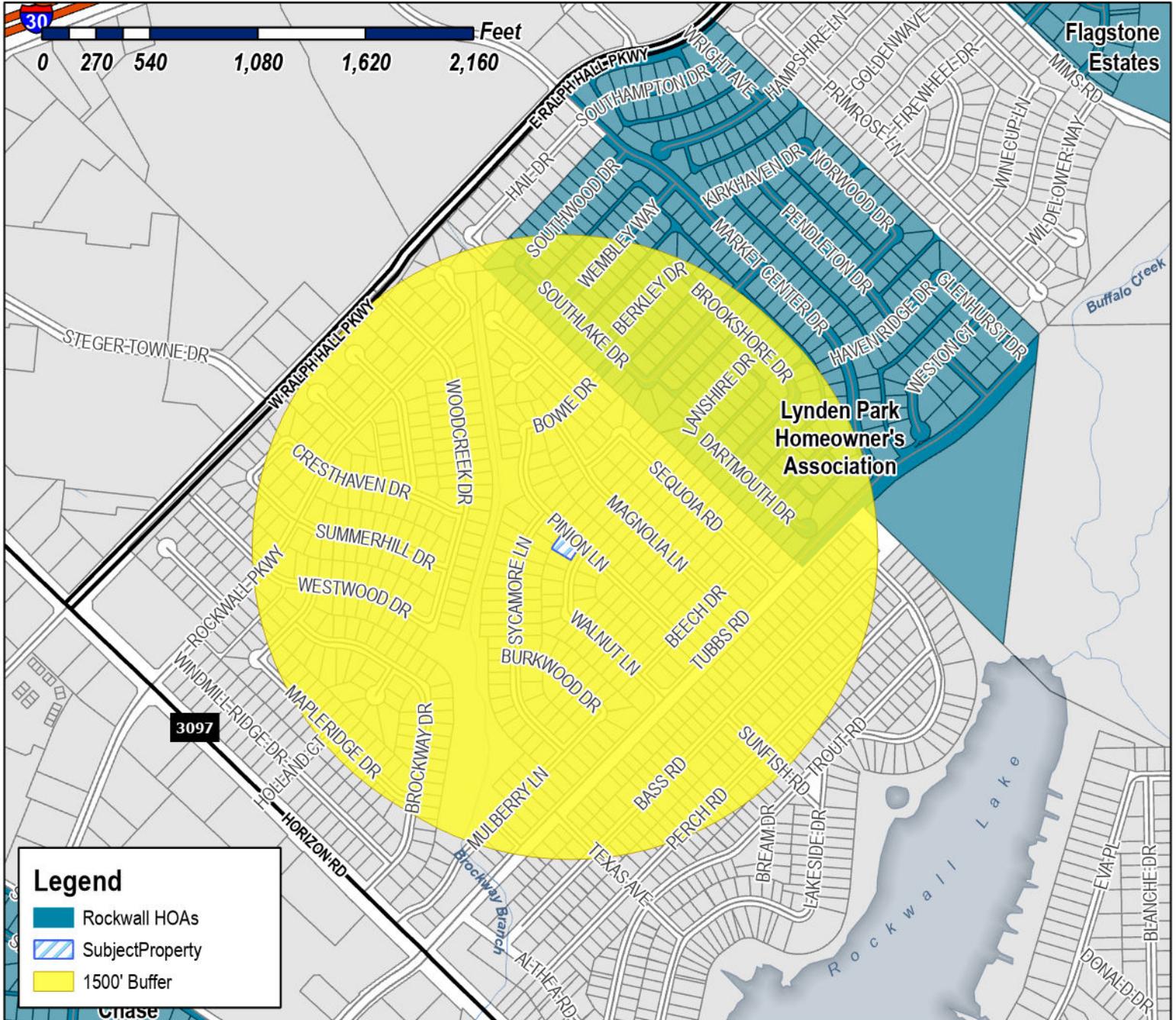




City of Rockwall

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385 S. Goliad Street
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Case Number: Z2024-034
Case Name: SUP for a Short Term Rental
Case Type: Zoning
Zoning: Planned Development District 13 (PD-13)
Case Address: 161 Walnut Lane

Date Saved: 7/22/2024
 For Questions on this Case Call (972) 771-7745



Ross, Bethany

From: Guevara, Angelica
Sent: Wednesday, July 24, 2024 3:06 PM
Cc: Miller, Ryan; Lee, Henry; Zavala, Melanie; Ross, Bethany
Subject: Neighborhood Notification Email [Z2024-034]
Attachments: Public Notice (P&Z).pdf; HOA Map (07.22.2024).pdf

HOA/Neighborhood Association Representative:

Per your participation in the *Neighborhood Notification Program*, you are receiving this notice to inform your organization that a zoning case has been filed with the City of Rockwall that is located within 1,500-feet of the boundaries of your neighborhood. As the contact listed for your organization, you are encouraged to share this information with the residents of your subdivision. Please find the attached map detailing the property requesting to be rezoned in relation to your subdivision boundaries. Additionally, below is the summary of the zoning case that will be published in the Rockwall Herald Banner on *Friday, July 26, 2024*. The Planning and Zoning Commission will hold a public hearing on *Tuesday, August 13, 2024 at 6:00 PM*, and the City Council will hold a public hearing on *Monday, August 19, 2024 at 6:00 PM*. Both hearings will take place at 6:00 PM at City Hall, 385 S. Goliad, Rockwall, TX 75087.

All interested parties are encouraged to submit public comments via email to Planning@rockwall.com at least 30 minutes in advance of the meeting. Please include your name, address, and the case number your comments are referring to. These comments will be read into the record during each of the public hearings. Additional information on all current development cases can be found on the City's website: <https://sites.google.com/site/rockwallplanning/development/development-cases>.

Z2024-034: SUP for a Short-Term Rental at 161 Walnut Lane

Hold a public hearing to discuss and consider a request by Kari J'Layne Mayfield for the approval of a *Specific Use Permit (SUP)* for a *Short-Term Rental* on a 0.1980-acre parcel of land identified as Lot 28, Block A, Windmill Ridge Estates, Phase 4B, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 13 (PD-13) for Single-Family 7 (SF-7) District land uses, addressed as 161 Walnut Lane, and take any action necessary.

Thank you,

Angelica Guevara

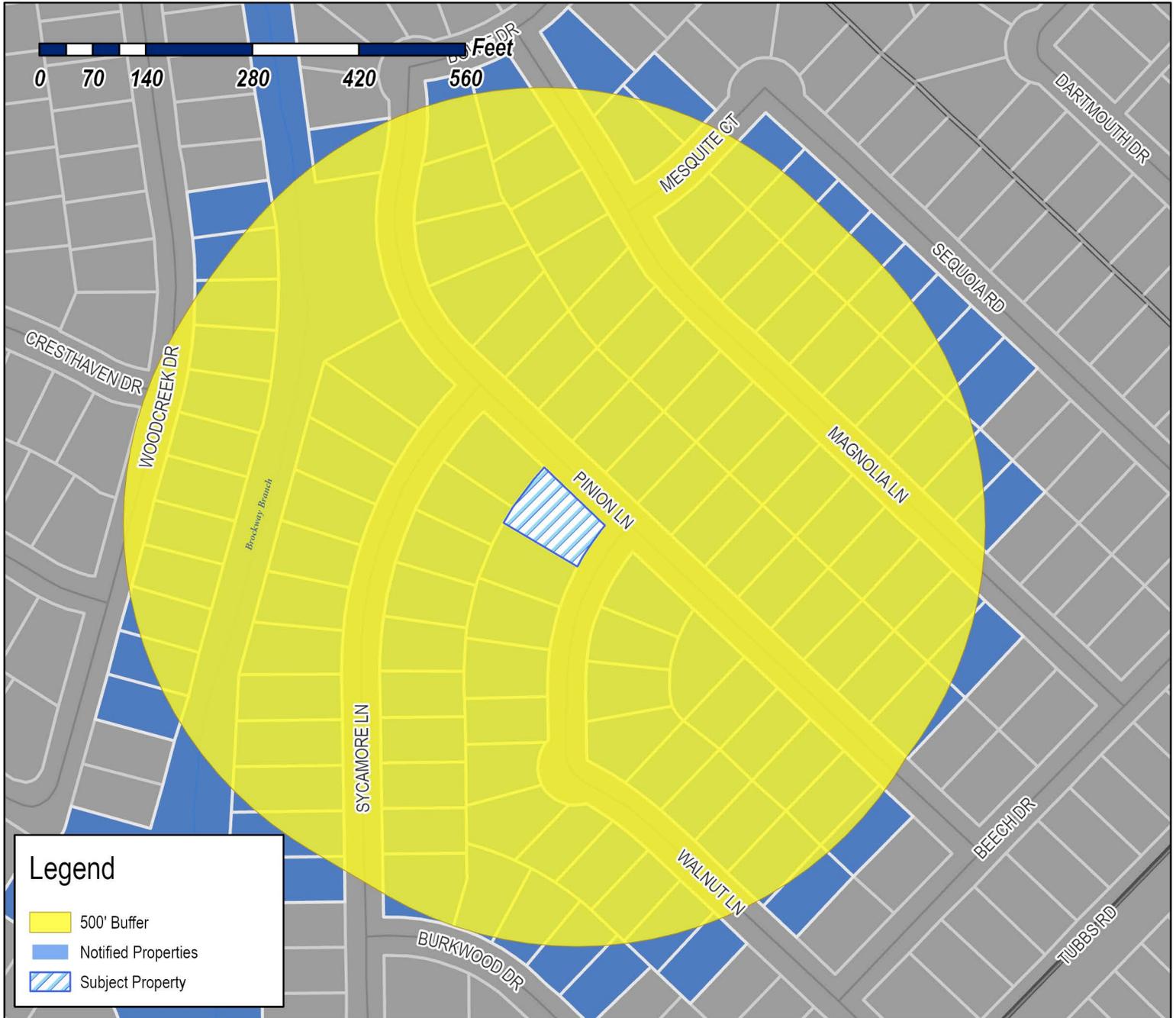
Planning Technician
City of Rockwall Planning & Zoning
385 S. Goliad Street
Rockwall, TX 75087
Office: 972-771-7745
Direct: 972-772-6438



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

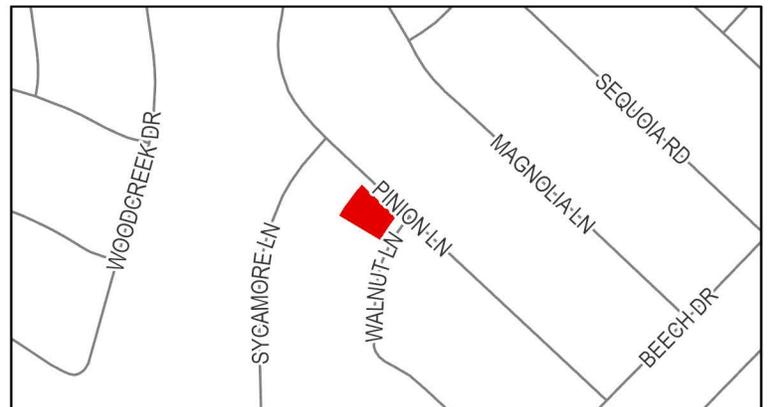
The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



Case Number: Z2024-034
Case Name: SUP for a Short Term Rental
Case Type: Zoning
Zoning: Planned Development District 13 (PD-13)
Case Address: 161 Walnut Lane

Date Saved: 7/19/2024

For Questions on this Case Call: (972) 771-7745



ASKREN MARJORIE BERNICE
106 WOODCREEK DR
ROCKWALL, TX 75032

RESIDENT
108 WOODCREEK DR
ROCKWALL, TX

VILLA ROBERTO AND RITA
110 WOODCREEK DR
ROCKWALL, TX 75032

RESIDENT
112 WALNUT LN
ROCKWALL, TX

RESIDENT
112 WOODCREEK DR
ROCKWALL, TX

DOHERTY BAILEE
113 PINION LANE
ROCKWALL, TX 75032

DOMINGUEZ OSCAR TORREZ
114 WOODCREEK DRIVE
ROCKWALL, TX 75032

BEKTESHI BUJAR AND FATLUME
116 PINION LN
ROCKWALL, TX 75032

CROSS DARRELL LEE & PRISSY
116 WALNUT LN
ROCKWALL, TX 75032

SANDLIN MELANIE B
116 WOODCREEK DR
ROCKWALL, TX 75032

GAMINO RYAN
117 MAGNOLIA LANE
ROCKWALL, TX 75032

THOMAS JIMMY B & FLOR L
117 PINION LN
ROCKWALL, TX 75032

ZEPEDA FELIBERTO J & GUADALUPE
117 WALNUT LN
ROCKWALL, TX 75032

RESIDENT
118 WOODCREEK DR
ROCKWALL, TX

YAMAZAKI RYO
11TH FLOOR, 10-1, GINZA 6-CHOME, CHUO-KU
TOKYO, 104-0061, JAPAN,

RESIDENT
120 PINION LN
ROCKWALL, TX

FILIC VINKO & VERONIKA
120 WALNUT LN
ROCKWALL, TX 75032

NANNIS JOEL DAVID & ERIKA D
120 WOODCREEK DR
ROCKWALL, TX 75032

US REO LLC SERIES M
1200 JUPITER ROAD SUITE #940414
PLANO, TX 75094

RESIDENT
121 PINION LN
ROCKWALL, TX

RESIDENT
121 WALNUT LN
ROCKWALL, TX

RUIZ LETICIA AND
121 MAGNOLIA LANE
ROCKWALL, TX 75032

BAKER SARAH L
122 WOODCREEK DR
ROCKWALL, TX 75032

RESIDENT
124 WOODCREEK DR
ROCKWALL, TX

HEAKE PRISCILLA A
124 BOWIE DR
ROCKWALL, TX 75032

ALAM ISHTIAQ & PARISA HOOSAIN
124 MAGNOLIA LANE
ROCKWALL, TX 75032

O'FARRIELL FREDDY E & JUDY L
124 PINION LN
ROCKWALL, TX 75032

PAULOS BINIAM
124 WALNUT LANE
ROCKWALL, TX 75032

BROWN GREGORY A
125 MAGNOLIA LN
ROCKWALL, TX 75032

LADNIER DALE L & JULIA M
125 PINION LN
ROCKWALL, TX 75032

ROSALES SILVIA BLANCO AND
125 WALNUT LANE
ROCKWALL, TX 75032

CERVERA DANIEL A
12513 NE 130TH WAY APT C104
KIRKLAND, WA 98034

SANFORD LARRY J & HOLLY
126 WOODCREEK DR
ROCKWALL, TX 75032

RESIDENT
128 MAGNOLIA LN
ROCKWALL, TX

RESIDENT
128 PINION LN
ROCKWALL, TX

RESIDENT
128 WALNUT LN
ROCKWALL, TX

GROVES JASON R & KRISTI L
128 BOWIE DR
ROCKWALL, TX 75032

DEMARS ROBERT DEAN AND LAURA M
128 WOODCREEK DR
ROCKWALL, TX 75032

RESIDENT
129 MAGNOLIA LN
ROCKWALL, TX 75032

RESIDENT
129 PINION LN
ROCKWALL, TX

RESIDENT
129 WALNUT LN
ROCKWALL, TX

KUPERMAN IGOR
129F BENJAMIN COURT
PHILADELPHIA, PA 19114

RESIDENT
132 MAGNOLIA LN
ROCKWALL, TX

ESCOBAR CARLOS AGUILAR
132 PINION LANE
ROCKWALL, TX 75032

WATERS KEESTON AND KAYLA
132 WALNUT LANE
ROCKWALL, TX 75032

RESIDENT
133 PINION LN
ROCKWALL, TX

RESIDENT
133 SEQUOIA RD
ROCKWALL, TX

HOLT LEANNA M
133 MAGNOLIA LN
ROCKWALL, TX 75032

GAVRILESCU GHEORGHE & JEANINA
133 WALNUT LN
ROCKWALL, TX 75032

RESIDENT
134 BOWIE DR
ROCKWALL, TX

RESIDENT
135 MESQUITE CT
ROCKWALL, TX

RESIDENT
136 PINION LN
ROCKWALL, TX

PORTER KRISTEN
136 MAGNOLIA LN
ROCKWALL, TX 75032

PETERSON CHARLES E & WANDA J
136 WALNUT LANE
ROCKWALL, TX 75032

RESIDENT
137 SEQUOIA RD
ROCKWALL, TX

DELA CRUZ VICTOR J AND RADHA JUNE AND
137 M AGNOLIA LN
ROCKWALL, TX 75032

WILSON KAREN
137 WALNUT LN
ROCKWALL, TX 75032

RESIDENT
139 MESQUITE CT
ROCKWALL, TX

RESIDENT
140 MAGNOLIA LN
ROCKWALL, TX

SIMPSON CHERYL HUNT
140 PINION LANE
ROCKWALL, TX 75032

MESSENGER MICHELLE
140 WALNUT LN
ROCKWALL, TX 75032

RESIDENT
141 SEQUOIA RD
ROCKWALL, TX

RESIDENT
141 WALNUT LN
ROCKWALL, TX

GUERRERA SALLY & RICHARD T
141 MAGNOLIA LN
ROCKWALL, TX 75032

RESIDENT
144 PINION LN
ROCKWALL, TX

MURPHREE APRIL L
144 MAGNOLIA LN
ROCKWALL, TX 75032

MALDONADO BENITO
144 WALNUT LN
ROCKWALL, TX 75032

RESIDENT
145 SEQUOIA RD
ROCKWALL, TX

ALLEN JEFFREY C & JENNIFER S
145 MAGNOLIA LN
ROCKWALL, TX 75032

WITT JANIS L
145 WALNUT LN
ROCKWALL, TX 75032

ROVILLOS JOHN ISRAEL AMANDE AND GRACE
HALIMA
148 MAGNOLIA LANE
ROCKWALL, TX 75032

GREEN ELISA A
148 PINION LN
ROCKWALL, TX 75032

LACY TAMARA J AND EBOW K
149 MAGNOLIA LN
ROCKWALL, TX 75032

MENO ROLAND A & WAYNETTE M
149 SEQUOIA RD
ROCKWALL, TX 75032

BOJARSKI JULIA B AND
149 WALNUT LANE
ROCKWALL, TX 75032

PARNES DROR & ALEXANDRA
15 KESTREL COURT
ROCKWALL, TX 75032

RESIDENT
152 PINION LN
ROCKWALL, TX

GARDNER EDWIN & DIANNE
152 MAGNOLIA
ROCKWALL, TX 75032

RESIDENT
153 MAGNOLIA LN
ROCKWALL, TX

RESIDENT
153 SEQUOIA RD
ROCKWALL, TX

HARRELSON WILLIAM AND SARA
153 WALNUT LN
ROCKWALL, TX 75032

CARLSON KEVIN R & NATALIE L
1553 VZ COUNTY ROAD 1213
CANTON, TX 75103

GRYZIECKI CHASE
1553 VZCR 1213
CANTON, TX 75103

CARSON MICHELE L
156 MAGNOLIA LN
ROCKWALL, TX 75032

BURK JOHN AARON
156 PINION LN
ROCKWALL, TX 75032

RESIDENT
157 MAGNOLIA LN
ROCKWALL, TX

RESIDENT
157 SEQUOIA RD
ROCKWALL, TX

PARKER REBECCA D
157 WALNUT LN
ROCKWALL, TX 75032

ABUNDIS ROBERTO AND YADIRA
160 MAGNOLIA LANE
ROCKWALL, TX 75087

MCGINNIS LEVIN L
160 PINION LN
ROCKWALL, TX 75032

PEARSON MARILYN
1606 WILLOW CREST DR
RICHARDSON, TX 75081

WATSON JAMES S & MICHELENE M
161 MAGNOLIA LN
ROCKWALL, TX 75032

SIPES RICKY W
161 SEQUOIA ROAD
ROCKWALL, TX 75032

MAYFIELD KARI JLAYNE
161 WALNUT LANE
ROCKWALL, TX 75032

GERRY KRISTOPHER ALEXANDER
164 PINION LANE
ROCKWALL, TX 75032

WHITE JUSTIN D
165 MAGNOLIA LN
ROCKWALL, TX 75032

MARONEY RHONDA
168 PINION LANE
ROCKWALL, TX 75032

PRODAHL DALE A & KAREN S
1685 PLUMMER DR
ROCKWALL, TX 75087

CONFIDENTIAL
169 MAGNOLIA LN
ROCKWALL, TX 75032

CSH PROPERTY ONE LLC
1717 MAIN STREET SUITE 2000
DALLAS, TX 75201

RESIDENT
172 PINION LN
ROCKWALL, TX

MORROW APRIL
173 MAGNOLIA LN
ROCKWALL, TX 75032

RESIDENT
176 PINION LN
ROCKWALL, TX

GARCIA VINCENT & ANA T GARCIA
177 PINION LN
ROCKWALL, TX 75032

FKH SFR PROPCO B-HLD, LP
1850 PARKWAY PLACE SUITE 900
MARIETTA, GA 30067

GAITAN ALICIA S
202 BURKWOOD DRIVE
ROCKWALL, TX 75032

KANADY ELLEN
206 BURKWOOD DRIVE
ROCKWALL, TX 75032

RESIDENT
210 BURKWOOD DR
ROCKWALL, TX

HAMBRICK TIA T
214 BURKWOOD DR
ROCKWALL, TX 75032

BRISCO OIL INC
2323 STEVENS RD
ROCKWALL, TX 75032

AMH 2014-1 BORROWER LLC
23975 PARK SORRENTO SUITE 300
CALABASAS, CA 91302

AMH 2014-2 BORROWER LLC
23975 PARK SORRENTO SUITE 300
CALABASAS, CA 91302

HARGRAVE DAVID G TRUSTEE
2400 LEGEND DR
HEATH, TX 75032

JIA LI AND BIN SHUAI
2414 W TIMBERCREEK COURT
WICHITA, KS 67204

TYLER MATTHEW
2683 POTTER ST
EUGENE, OR 97405

BUDLONG GARY C & PEGGY B P
2920 WINAM AVE
HONOLULU, HI 96816

POPLAR HILLS LLC SERIES C- 140 MAGNOLIA DR
30 WINDSOR DRIVE
ROCKWALL, TX 75032

FALLS TERRI & DAVID
309 ROOKERY CT
MARCO ISLAND, FL 34145

MAHONEY PATRICK & DAWN
3685 SYCAMORE LN
ROCKWALL, TX 75032

RESIDENT
3690 SYCAMORE LN
ROCKWALL, TX

RESIDENT
3693 SYCAMORE LN
ROCKWALL, TX

MALY ALENA TRUSTEE
3699 SYCAMORE LN
ROCKWALL, TX 75032

WOOD MARY ELIZABETH
3700 SYCAMORE LANE
ROCKWALL, TX 75032

RESIDENT
3703 SYCAMORE LN
ROCKWALL, TX

MAYFIELD DANIEL
3704 SYCAMORE LN
ROCKWALL, TX 75032

RESIDENT
3707 SYCAMORE LN
ROCKWALL, TX

MILEY VICKI
3708 SYCAMORE LN
ROCKWALL, TN 75032

RESIDENT
3711 SYCAMORE LN
ROCKWALL, TX

NEVILLE BARBARA AND JEFFREY RAMOS
3712 SYCAMORE LN
ROCKWALL, TX 75032

FORTYGIN DAVID & ANNA NAKUL
3715 SYCAMORE LN
ROCKWALL, TX 75032

WILLIAMS SHEREE
3716 SYCAMORE LANE
ROCKWALL, TX 75032

ABICHE EPHREM AND
3719 SYCAMORE LANE
ROCKWALL, TX 75032

RESIDENT
3720 SYCAMORE LN
ROCKWALL, TX

DODSON AMANDA & BRANDON
3721 SYCAMORE LANE
ROCKWALL, TX 75032

RESIDENT
3724 SYCAMORE LN
ROCKWALL, TX

LIBERIS CRYSTAL A
3725 SYCAMORE LN
ROCKWALL, TX 75032

RESIDENT
3728 SYCAMORE LN
ROCKWALL, TX

RESIDENT
3729 SYCAMORE LN
ROCKWALL, TX

ATKINS CATHERINE COOKE
3732 SYCAMORE LANE
ROCKWALL, TX 75032

SCHOBY DARLENE D
3733 SYCAMORE LN
ROCKWALL, TX 75032

CITY OF ROCKWALL
ATTN;MARY SMITH
385 S GOLIAD ST
ROCKWALL, TX 75087

CRAWFORD FRANK STEVENSON
45 TOWNHOUSE LN
CORPUS CHRISTI, TX 78412

BICKLEY AMANDA
4702 STEEPLE CHASE LN
ROCKWALL, TX 75032

KOLESNIK LLC
502 COVEY TRL
ROCKWALL, TX 75087

PETERS DAVID
518 SESAME DR
MESQUITE, TX 75149

PATRICIA HAMMOND FAMILY TRUST
551 HERITAGE CT
CANTON, TX 75103

PHAM HIEN T AND NGOC DUNG T NGUYEN
572 ENGLAND STREET
FATE, TX 75189

IIF SFR LP
58 S RIVER DR STE 150
TEMPE, AZ 85288

KENDRICK MICHAEL AND MICHELLE
7157 HAVENWOOD DR
CASTLE PINES, CO 80108

MORGENSTERN KEN & ROWENA
8006 WILMINGTON DR
ROWLETT, TX 75089

REZAEIZADEH MASOUD & ZAHRA MEHDIZADEH
8409 NAVIGATION DR
ROWLETT, TX 75088

BEST JAMES
870 W INTERSTATE 30 SUITE 100
GARLAND, TX 75043

CCAA INVESTMENT I, LP
909 W BELT LINE RD
CEDAR HILL, TX 75104

XIONG HUI
M/R
, TX

SEVEN POINTS BORROWER, LLC
P.O. BOX 4090
SCOTTSDALE, AZ 85261

PROGRESS RESIDENTIAL BORROWER 6 LLC
PO BOX 4090
SCOTTSDALE, AZ 85261

PROGRESS RESIDENTIAL BORROWER 7 LLC
PO BOX 4090
SCOTTSDALE, AZ 85261

PUBLIC NOTICE



CITY OF ROCKWALL
PLANNING AND ZONING DEPARTMENT
PHONE: (972) 771-7745
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

Z2024-034: SUP for a Short-Term Rental at 161 Walnut Lane

Hold a public hearing to discuss and consider a request by Kari J'Layne Mayfield for the approval of a Specific Use Permit (SUP) for a Short-Term Rental on a 0.1980-acre parcel of land identified as Lot 28, Block A, Windmill Ridge Estates, Phase 4B, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 13 (PD-13) for Single-Family 7 (SF-7) District land uses, addressed as 161 Walnut Lane, and take any action necessary

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on Tuesday, August 13, 2024 at 6:00 PM, and the City Council will hold a public hearing on Monday, August 19, 2024 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

Bethany Ross
Rockwall Planning and Zoning Dept.
385 S. Goliad Street
Rockwall, TX 75087

You may also email your comments to the Planning Department at planning@rockwall.com. If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Monday, August 19, 2024 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

Ryan Miller, AICP
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

--- PLEASE RETURN THE BELOW FORM ---

Case No. Z2024-034: SUP for Short-Term Rental at 161 Walnut Lane

Please place a check mark on the appropriate line below:

- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

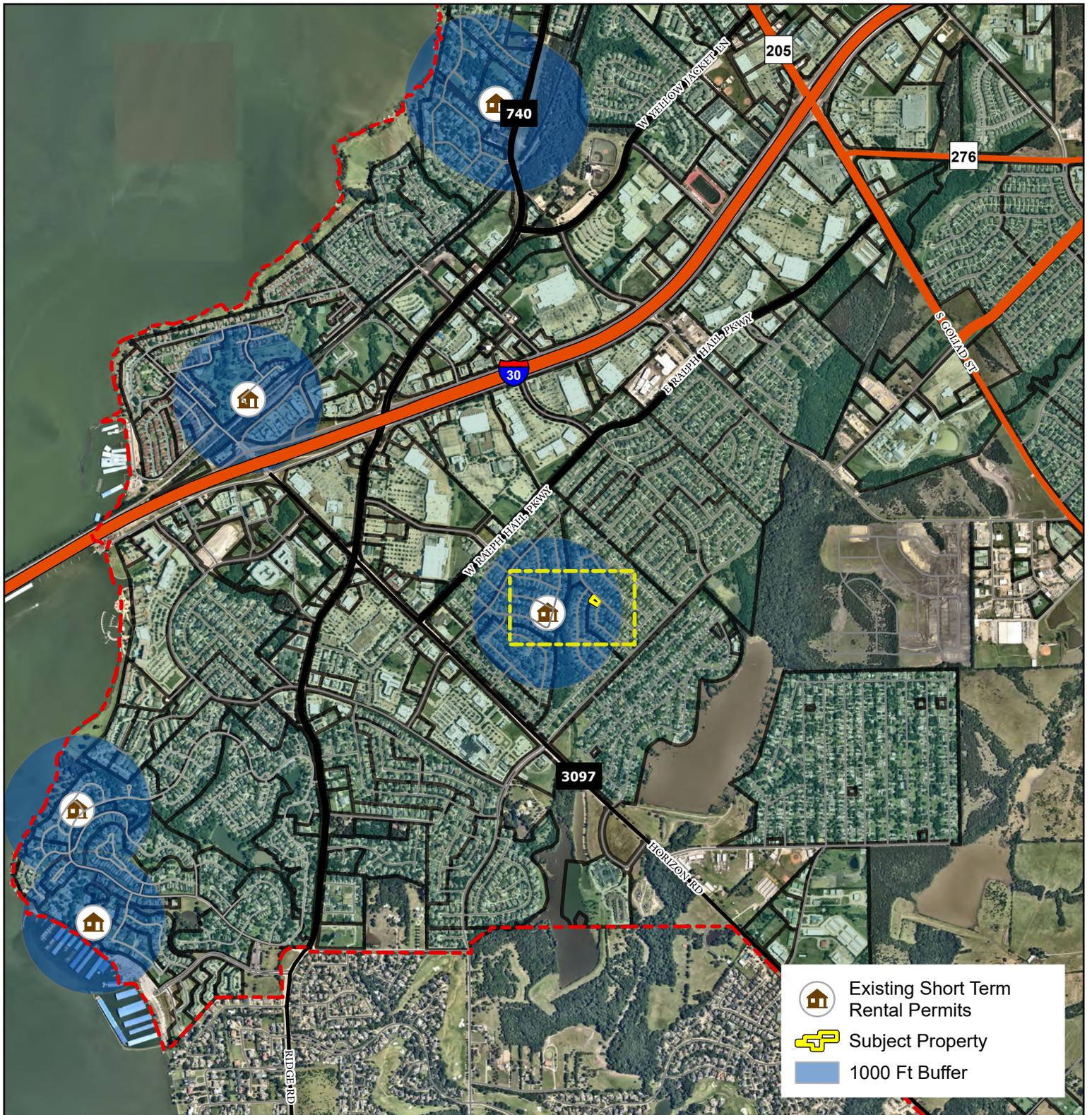
Four horizontal grey bars for providing reasons for support or opposition.

Name: [Grey input box]

Address: [Grey input box]

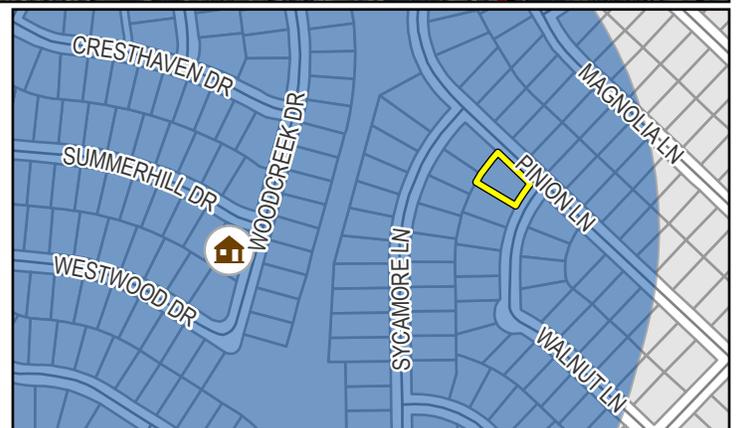
Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE



Case Number: Z2024-034
Case Name: SUP for a Short Term Rental
Case Type: Zoning
Zoning: Planned Development District 13 (PD-13)
Case Address: 161 Walnut Lane

Date Saved: 7/22/2024
 For Questions on this Case Call (972) 771-7745



Private Oasis w/ a Pool & Gameroom

[Share](#) [Save](#)



Show all photos

Entire home in Rockwall, Texas

12 guests · 4 bedrooms · 4 beds · 2.5 baths

★ 4.68 · [65 reviews](#)



Hosted by J. Layne

5 years hosting



Dedicated workspace

A common area with wifi that's well-suited for working.



Self check-in

Check yourself in with the lockbox.



Free cancellation for 48 hours

Get a full refund if you change your mind.

Open floor plan with space for everyone. Enjoy a nice cocktail from the bar while relaxing by the pool. Outdoor kitchen with Bose speakers makes for an exceptional outdoor experience. New Gameroom area with pool table and dart board. Master bedroom offers dual sided adjustable bed with fireplace that can be enjoyed from the large jetted tub or walk in shower space. All secondary rooms are located upstairs including a junior master with on suite. ...

[Show more](#) >

\$420 night

CHECK-IN
8/9/2024

CHECKOUT
8/14/2024

GUESTS
1 guest



Reserve

You won't be charged yet

\$420 x 5 nights \$2,100

Cleaning fee \$150

Airbnb service fee \$318

Total before taxes **\$2,568**

[Report this listing](#)

Where you'll sleep

1/2 ◀ ▶



Bedroom 1
1 king bed



Bedroom 2
1 queen bed

What this place offers

-  Kitchen
-  Wifi
-  Dedicated workspace
-  Free parking on premises
-  Pool
-  Pets allowed
-  TV
-  Washer
-  Dryer
-  Exterior security cameras on property

Show all 48 amenities

5 nights in Rockwall

Aug 9, 2024 - Aug 14, 2024

August 2024							September 2024						
Su	Mo	Tu	We	Th	Fr	Sa	Su	Mo	Tu	We	Th	Fr	Sa
				1	2	3	1	2	3	4	5	6	7
4	5	6	7	8	9	10	8	9	10	11	12	13	14
11	12	13	14	15	16	17	15	16	17	18	19	20	21
18	19	20	21	22	23	24	22	23	24	25	26	27	28
25	26	27	28	29	30	31	29	30					



[Clear dates](#)

★ 4.68 · 65 reviews

Overall rating

5
4
3
2
1

Cleanliness

4.7



Accuracy

4.8



Check-in

4.9



Communication

4.9



Location

4.8



Value

4.7



Jaime

Rifle, Colorado

★★★★★ · 2 weeks ago · Stayed with kids

A great place to stay for over the weekend! A beautiful and a fun pool for everyone to enjoy!

[Show more](#)



Danella

Capitan, New Mexico

★★★★★ · June 2024 · Stayed with a pet

Beautiful home and we enjoyed our stay! Thank you!!



Mari

1 month on Airbnb

★★★★★ · June 2024 · Stayed a few nights

This place was a great Oasis for family. Every need was met and for What was needed. Instructions were Provided to make everything easier to find and to follow. I would definitely Stay there again for a weekend get away!!👍

[Show more](#)



Dwana

Katy, Texas

★★★★★ · May 2024 · Stayed with kids

Great all the way around



Cynthia Ann

1 year on Airbnb

★★★★★ · March 2024 · Stayed about a week

JLayne's lovely home was a welcome retreat for my daughter and I during our home construction. It was cozy and comfortable and felt like home. JLayne was a perfect host and I highly recommend it.

[Show more](#)



LaVonda

8 years on Airbnb

★★★★ · November 2023 · Stayed a few nights

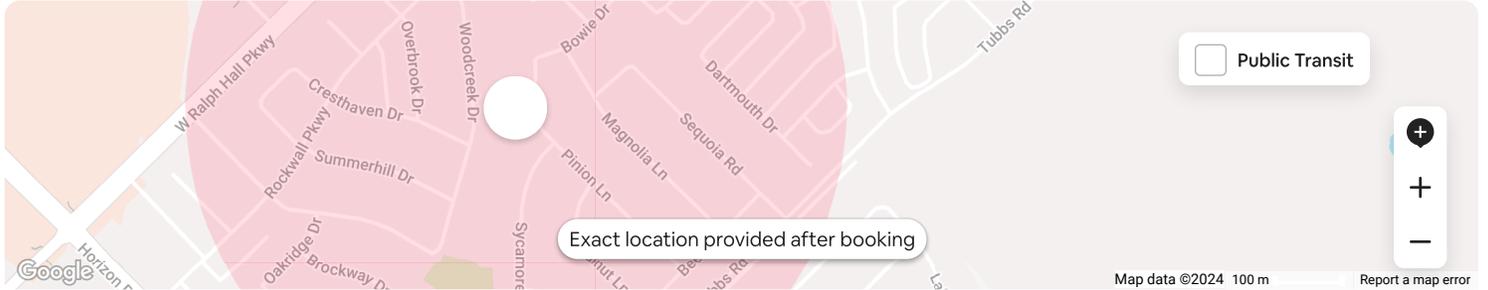
The place was well-decorated, but dusty in areas. The master bedding smelled nice. It was noticeable. Light was out in the master shower . NO HOT TUB! No instructions on the fireplace. We called for instructions, told the host we did not need a visit. Host came over anyway. Did not appreciate the disregard of our wishes. Faucet handles on the jetted tub and shower both fell off. Cold water on the jetted tub does not work. A pool table and dart...

[Show more](#)

Show all 65 reviews

Where you'll be

Rockwall, Texas, United States



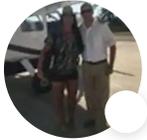
We verified that this listing's location is accurate. [Learn more](#)

Neighborhood highlights

- The Harbor:
- Lake Ray Hubbard
- Fishing...

[Show more >](#)

Meet your Host



97
Reviews

4.73★
Rating

5
Years hosting

JLayne
Host

My work: Realtor

Speaks English

I am a Realtor in Rockwall area and have a grown daughter who lives in Austin currently. I have two homes that I Air BnB.

[Show more >](#)

Host details

Response rate: 100%
Responds within an hour

Message Host



To protect your payment, never transfer money or communicate outside of the Airbnb website or app.

Things to know

House rules

Check-in after 3:00 PM

Checkout before 11:00 AM

12 guests maximum

[Show more >](#)

Safety & property

Exterior security cameras on property

Pool/hot tub without a gate or lock

Carbon monoxide alarm

[Show more >](#)

Cancellation policy

Free cancellation for 48 hours. Cancel before Aug 2 for a partial refund.

Review this Host's full policy for details.

[Show more >](#)

[Airbnb](#) > [United States](#) > [Texas](#) > [Rockwall County](#) > [Rockwall](#)

Explore other options in and around Rockwall

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Vacation rentals

Plano

Vacation rentals

Irving

Vacation rentals

Denton

Vacation rentals

San Antonio

Vacation rentals

Arlington

Vacation rentals

Frisco

Vacation rentals

Log Cabin

Vacation rentals

McKinney

Vacation rentals

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[House vacation rentals in Texas](#)

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[Pet-friendly vacation rentals in Texas](#)

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SHORT-TERM RENTAL PERMIT APPLICATION AND REGISTRATION

City of Rockwall
Neighborhood Improvement Services (NIS) Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

RECEIVED BY:

DATE RECEIVED:

STR PERMIT NO.

[REDACTED]

ACKNOWLEDGEMENTS BY PROPERTY OWNER [PLEASE INITIAL BY EACH STATEMENT]

- I acknowledge that a *Short-Term Rental Permit* granted by the City of Rockwall does not supersede any property specific restrictions against *Short-Term Rentals* that may exist under law, agreement, lease, covenant, or deed restriction.
- I acknowledge that if three (3) violations/citations occur in any consecutive 12-month period, that my *Short-Term Rental Permit* will be revoked and that I will not be eligible to apply for a new *Short-Term Rental Permit* for 12-months from the date of revocation. In addition, I acknowledge that the City of Rockwall will have the right to inspect my property when a violation is reported or suspected.
- I acknowledge that a *Short-Term Rental Permit* and any non-conforming rights associated with a *Short-Term Rental Permit* are non-transferable to another property owner or operator, or address or location.
- I acknowledge that I am responsible for remitting all applicable state, county, and local hotel occupancy taxes in a timely manner pursuant to all applicable laws and the requirements of Chapter 13, *Rental Housing*, of the Municipal Code of Ordinance. I also acknowledge that failure to pay hotel occupancy tax will result in the revocation of my *Short-Term Rental Permit*.
- I acknowledge that a *Short-Term Rental Permit* is valid for a period of three (3) years, and -- as the owner of the subject property -- it is my responsibility to apply for a renewal 30-days prior to the expiration of my *Short-Term Rental Permit*. Should I fail to submit a renewal application in this time period, I will forfeit all non-conforming rights and be required to submit a new application that will be subject to all the current requirements stipulated by the Unified Development Code (UDC) and Chapter 13, *Rental Housing*, of the Municipal Code of Ordinances.

REGISTRATION TYPE

- New Registration | Renewal of an Existing Registration
- Was this property being used as a short-term rental prior to April 1, 2024? Yes | No

PROPERTY INFORMATION [PLEASE PRINT]

Address: 1161 Walnut Lane, Rockwall 75087
 Subdivision: Windmill Ridge
 General Location: Houston # TUBBS

TYPE OF SHORT-TERM RENTAL

Please indicate the type of short-term rental being permitted and registered:

- SHORT-TERM RENTAL (OWNER-OCCUPIED SINGLE-FAMILY HOME, TOWNHOME, OR DUPLEX)**. A single-family home, townhome, or duplex -- or portion thereof -- in which the property owner or operator, as reflected in a valid lease agreement, is a resident (i.e. occupies the primary structure) and is present during the rental. This includes when a *Guest Quarters/Secondary Living Unit/Accessory Dwelling Unit* is detached from the primary structure and either the primary or secondary structure is rented, but the owner or operator resides on the property.
- SHORT-TERM RENTAL (NON-OWNER-OCCUPIED SINGLE-FAMILY HOME, TOWNHOME, OR DUPLEX)**. A single-family home, townhome, or duplex -- or a portion thereof -- in which the property owner or operator does not occupy the dwelling unit during the rental, or that the owner or property owner does not occupy another dwelling unit -- or portion thereof -- on the same property (i.e. the property owner or operator is not on-site as an occupant during the rental of the property).
- SHORT-TERM RENTAL (APARTMENT OR CONDOMINIUM)**. An apartment or condominium (or similar multi-family structure, excluding duplexes, but including triplexes or quadplexes, as defined in this Unified Development Code [UDC]) -- or a portion thereof -- in which the property owner or operator may or may not be an occupant of the dwelling unit during the rental.

PROPERTY OWNER INFORMATION [PLEASE PRINT]

Name: Kari J. Layne Mayfield Phone: 972-814-4807
 Mailing Address: 1161 Walnut Lane City: Rockwall State: TX Zip Code: 75082
 Email: jlaynemayfield@gmail.com

RESPONSIBLE PARTY [PLEASE PRINT]

Please note that a *Responsible Party* is required for all *Short-Term Rental Permit* applications. A *Responsible Party* is a local representative that resides in Rockwall County and who is available at all time the rental is in use. The *Responsible Party* must be available within one (1) hour of contact and must be authorized to make decisions regarding the property and its occupants.

Same as Property Owner

Name: _____ Phone: _____
 Mailing Address: _____ City: _____ State: _____ Zip Code: _____
 Email: _____



SHORT-TERM RENTAL PERMIT APPLICATION AND REGISTRATION

City of Rockwall
Neighborhood Improvement Services (NIS) Department
385 S. Goliad Street
Rockwall, Texas 75087

REQUIREMENTS CHECKLIST

Please indicate that the following required items have been provided with this application by checking the box next to each required item:

- REGISTRATION FEE.** A \$500.00 application fee payable to the City of Rockwall.
- SITE PLAN.** A site plan showing the location of the *Short-Term Rental* and the parking areas provided for the *Short-Term Rental*.
- PICTURES.** Pictures of the subject property showing the rear, front, and side yards of the subject property. In addition, pictures of all structures -- *one (1) per each façade of a structure* -- and any on-site amenities.
- COMMERCIAL INSURANCE.** Each *Short-Term Rental* shall be required to have and provide proof of general commercial insurance (*or an equivalent*) coverage of a minimum of \$500,000.00 per occurrence coverage and an aggregate of \$1,000,000.000.
- DRIVER LICENSE.** A copy of the driver license for the property owner and responsible party.

GENERAL STANDARDS CHECKLIST

Please indicate that subject property currently conforms with the following requirements by checking the box next to each general standard:

- ADVERTISING.** All advertising for the *Short-Term Rental* -- including online or on a proprietary website, application, or other technology -- will include the *Short-Term Rental Permit Number* within the description or body of the advertisement for public reference.
- PARKING.** The parking on the subject property currently conforms to the requirements of *Table 5: Parking Requirement Schedule* of Article 06, *Parking and Loading*, of the Unified Development Code (UDC). In addition, I understand that all parking shall be on an improved surface (*i.e. gravel, pavers, asphalt, or concrete*) and no guest or occupant will park on an unimproved surface (*e.g. grass, vegetation, soil, etc.*).
- EVACUATION PLAN.** [ONLY APPLICABLE TO APARTMENTS AND CONDOMINIUMS THAT DO NOT HAVE DIRECT INGRESS/EGRESS TO THE EXTERIOR OF THE BUILDING FROM THE FRONT DOOR] An evacuation plan showing how to exit the building has been posted on the front door.
- TEMPORARY STRUCTURES.** There are no temporary structures (*i.e. recreational vehicles/campers, vehicles intended for occupancy, tents, canopies or shade structures that are not permitted by the City of Rockwall, or similar structures or vehicles*) being utilized as a *Short-Term Rental*.
- TRASH/RUBBISH/SOLID WASTE.** There are enough City approved containers (*i.e. a polycarts or approved garage cans*) to hold all trash/rubbish/solid waste produced on-site. I also understand that it will be a violation to have any trash/rubbish/solid waste -- *bagged or otherwise* -- placed on the ground.
- SIGNAGE.** No external signage shall be installed or constructed on the property indicating or advertising the property as a *Short-Term Rental*.
- FIRE EXTINGUISHER.** A standard five (5) pound fire extinguisher (*i.e. 2A:10B:C*) has been properly mounted within 75-feet of all portions of the *Short-Term Rental* on each floor.
- SMOKE AND CARBON MONOXIDE DETECTORS.** Operable smoke and carbon monoxide detectors have been installed in the *Short-Term Rental* in accordance with all applicable City of Rockwall codes.
- INGRESS/EGRESS.** All bedrooms in the *Short-Term Rental* have at least one (1) operable emergency point of ingress/egress for rescue and escape (*i.e. windows and/or doors*).
- SLEEPING ACCOMODATION.** There is no overnight sleeping outdoors or outdoor sleeping spaces provided as part of the *Short-Term Rental*.
- TENANT NOTIFICATION.** The following information has been posted in a visible and obvious location inside the *Short-Term Rental*: [1] the property owner's and/or the *Responsible Party's* contact information and phone number; [2] pertinent information relating to the aforementioned standards (*i.e. the location of the required off-street parking; the schedule, location, and requirements regarding trash/rubbish/solid waste; information regarding the conduct of guests; and etc.*); [3] information to assist guests in the case of an emergency (*i.e. emergency and non-emergency telephone numbers for police, fire, and medical services*); and, [4] a notice that failure to conform to the requirements and codes of the City of Rockwall is a violation, and that an owner, occupant, or visitor can be cited for violations to these requirements.

RESPONSIBLE PARTY'S CERTIFICATION

I hereby certify that I am the *Responsible Party* of the property identified in this application, and that my primary residence is located in Rockwall County. I further understand my responsibilities as the *Responsible Party* as stipulated by Chapter 13, *Rental Housing*, of the Municipal Code of Ordinances, and consent to have my information posted online. I further acknowledge that failure to comply with these requirements and attests will lead to the revocation of this *Short-Term Rental Permit*.

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE _____ DAY OF _____, 20_____.

PROPERTY OWNER'S SIGNATURE _____

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS _____

MY COMMISSION EXPIRES _____

PROPERTY OWNER'S CERTIFICATION

I hereby certify that I am the property owner of the property identified in this application, and that all information provided on this application is true and correct. I also hereby certify that the property identified in this application is in compliance with all of the requirements of Chapter 13, *Rental Housing*, of the Municipal Code of Ordinances, and that it is my sole responsibility to ensure that the property continues to be in compliance with the rules, requirements, and regulations of the City of Rockwall. I further acknowledge that failure to comply with these requirements and attests will lead to the revocation of this *Short-Term Rental Permit*.

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE _____ DAY OF _____, 20_____.

PROPERTY OWNER'S SIGNATURE _____

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS _____

MY COMMISSION EXPIRES _____

Good morning, thank you for taking the time to review my request for a special permit, allowing me to have and maintain my short term rental.

I understand there was a deadline for submitting before July 1. However, the first week of May we found out that my sweet young niece had a very aggressive form of breast cancer. She has two young children, one boy that just turned one years old and a four year-old daughter. As you can imagine, the family was devastated and we all tried to Pitchin and help with food and caring for the kids, as well as helping her get to doctor visits and such. Not to mention the debilitating depression that comes with receiving such horrific news.

By the time I got back home and got back to clearing off things that needed to be accomplished I realized I had missed the deadline. I immediately called the city finding out what steps needed to be done and was told that it would be best if I spoke with Ryan, who was at that point on vacation due to the Fourth of July holiday. I waited until Monday and immediately went to speak to Ryan face-to-face. I was told that at that point there wasn't much more I could do other than to request a special use permit.

I was one of the very first Airbnbs in Rockwall and have an excellent rating as a super host. I do not allow parties and I am very diligent about checking in with my neighbors to make sure that everything has gone well and to let them know that if there's ever an issue to please contact me. My neighbor across the street has never been friendly with me and has definitely called the police several times on every other resident in the neighborhood. However, she has even seemed to be OK with the fact that I am doing the Airbnb and we have developed a great relationship , she appreciates the fact that I keep my house looking immaculate inside and out.

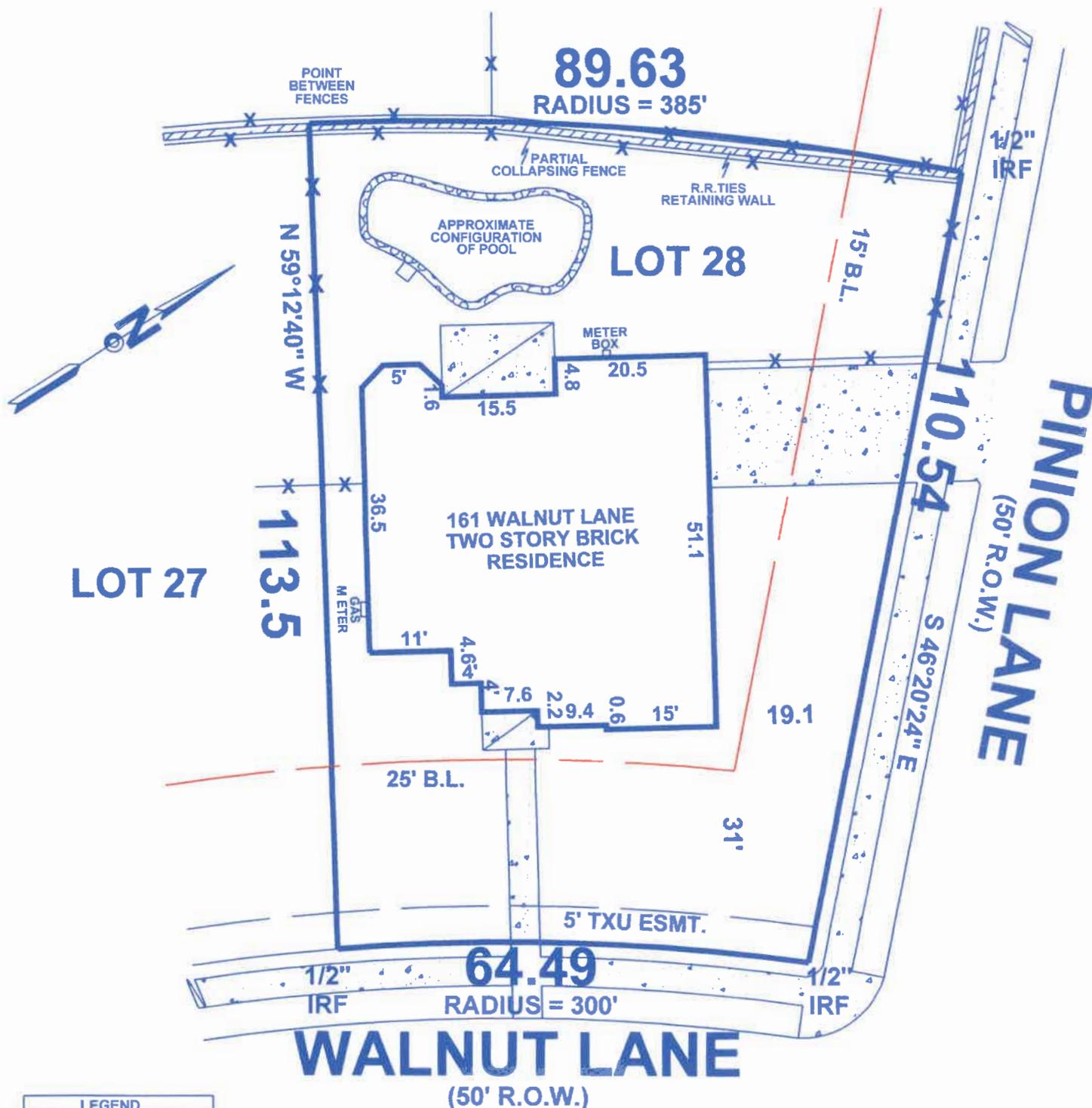
I am hoping that you will show a little grace and understand that I put family first above all else and that I will hopefully not be penalized for my lack of attention in this matter .

Please see the attached photos of my exterior and the quote for commercial insurance. Please let me know if there are any additional item needed before the July 30th meeting.

STADIA LAND SURVEYING INC.

10 / 24 / 11

No. 161 WALNUT LANE in the city of ROCKWALL, ROCKWALL COUNTY, Texas.
 Lot No. 28, Block No. A of _____
WINDMILL RIDGE ESTATES NO. IV-B, an addition to the
 City of ROCKWALL, ROCKWALL COUNTY, Texas, according to the REPLAT
 thereof recorded in CABINET E, SLIDE 139-140, PLAT records ROCKWALL County, Texas.



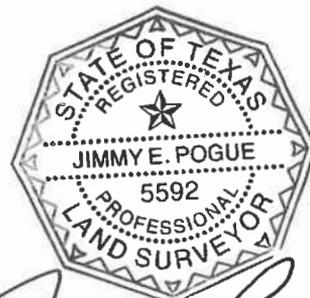
LEGEND

CONCRETE


FENCING


B.L. - BUILDING LINE
 U.E. - UTILITY EASEMENT
 IRF - IRON ROD FOUND
 IRS - IRON ROD SET
 R.O.W. - RIGHT OF WAY

NOTE: THE FOLLOWING EASEMENTS RECORDED IN VOL. 54, PG. 512, VOL. 147, PG. 914, VOL. 166, PG. 225, VOL. 198, PG. 909, VOL. 208, PG. 326, VOL. 64, PG. 313, VOL. 133, PG. 3, VOL. 195, PG. 698, VOL. 136, PG. 78, VOL. 2499, PG. 138 & VOL. 1005, PG. 235, R.P.R.R.C.T.; DOES NOT TO MY KNOWLEDGE AND BELIEF AFFECT THIS LOT.



Jimmy E. Pogue
JIMMY E. POGUE
 REGISTERED PROFESSIONAL
 LAND SURVEYOR NO. 5592

SURVEY ONLY VALID WITH ORIGINAL SEAL AND SIGNATURE

THE PLAT HEREON IS A REPRESENTATION OF THE PROPERTY, AS DETERMINED BY ON THE GROUND SURVEY, THE LINES AND DIMENSIONS OF SAID PROPERTY BEING AS INDICATED BY THE PLAT; THE SIZE, LOCATION AND TYPE OF ABOVE GROUND BUILDINGS AND ABOVE GROUND IMPROVEMENTS ARE AS SHOWN, ALL ABOVE GROUND IMPROVEMENTS BEING WITHIN THE BOUNDARIES OF THE PROPERTY AS SHOWN.

EXCEPT AS SHOWN ON SURVEY, THERE ARE NO ABOVE GROUND ENCROACHMENTS OR ABOVE GROUND PROTRUSIONS.

Scale 1" = 20'
 Date 10 / 24 / 11
 JOB No: 0632-11

This survey was performed EXCLUSIVELY for and in connection with the transaction described in G.F. No. 2681803-1 of LENDING EDGE MORTGAGE Title Company. Use of this survey for any other purpose or by any other parties shall be strictly prohibited as this survey is a copyright owned by STADIA LAND SURVEYING, Inc., and all other uses are forbidden, without prior written consent of STADIA LAND SURVEYING, Inc. ©

STADIA LAND SURVEYING, INC.
 P.O. BOX 1886
 RED OAK, TEXAS 75154
 PHONE (972) 617 - 9988
 FAX: (972) 617 - 6809
 stadiasurveying@sbcglobal.net



Summary

Coverage

Agency



161 Walnut Ln, Rockwall, TX
75032

Term

12 months

Estimated Premium

\$4,469.64

Coverage

Premium

Burglary

Selected

Included

Vandalism

Selected

Included

Dwelling Protection

\$449,236

\$4,433.64

Liability Protection

\$500,000 per occurrence

\$36.00



Premises Medical Protection

Included

myproposal.allstate.com





CITY OF ROCKWALL

ORDINANCE NO. 24-XX

SPECIFIC USE PERMIT NO. S-3XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING PLANNED DEVELOPMENT DISTRICT 13 (PD-13) [ORDINANCE NO. 94-41] AND THE UNIFIED DEVELOPMENT CODE (UDC) [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) TO ALLOW A *NON-OWNER-OCCUPIED SHORT-TERM RENTAL* ON A 0.1980-ACRE PARCEL OF LAND IDENTIFIED AS LOT 28, BLOCK A, WINDMILL RIDGE ESTATES, PHASE 4B, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS; AND MORE SPECIFICALLY DEPICTED AND DESCRIBED IN *EXHIBIT 'A'* OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has received a request from Kari J'Layne Mayfield for the approval of a *Specific Use Permit (SUP)* for a *Non-Owner-Occupied Short-Term Rental* on a 0.1980-acre parcel of land identified as Lot 28, Block A, Windmill Ridge Estates, Phase 4B, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 13 (PD-13) for Single-Family 7 (SF-7) District land uses, addressed as 161 Walnut Lane, and being more specifically depicted and described in *Exhibit 'A'* of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that the Unified Development Code (UDC) [Ordinance No. 20-02] and Planned Development District 13 (PD-13) [Ordinance No. 94-41] of the City of Rockwall should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Rockwall, Texas;

SECTION 1. That the Unified Development Code (UDC) [Ordinance No. 20-02] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) allowing a *Non-Owner-Occupied Short-Term Rental* as stipulated by Subsection 01.02, *Land Use Schedule*, of Article 04, *Permissible Uses*, of the Unified Development Code (UDC) [Ordinance No. 20-02] on the *Subject Property*; and,

SECTION 2. That the Specific Use Permit (SUP) shall be subject to the requirements set forth in Subsection 02.03, *Conditional Land Use Standards*, of Article 04, *Permissible Uses*, and Z2024-034: SUP for a STR

Subsection 03.01, *General Residential Standards*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) [Ordinance No. 20-02]; Planned Development District 13 (PD-13) [Ordinance No.94-41]; and, Article 02, *Short-Term Rentals*, of Chapter 13, *Rental Housing*, of the *Municipal Code of Ordinances -- as heretofore amended and as may be amended in the future --*, and with the following conditions:

2.1. OPERATIONAL CONDITIONS

The following conditions pertain to the operation of a *Non-Owner-Occupied Short-Term Rental* on the *Subject Property* and conformance to these conditions are required for continued operations:

- (1) The *Subject Property* shall conform to the information provided within the *Short-Term Rental Permit Application* depicted in *Exhibits 'B'* of this ordinance.
- (2) After the issuance of a *Short-Term Rental Permit and Registration* by the City of Rockwall, should the applicant allow this permit/registration to expire, lapse or be revoked by the City of Rockwall, this Specific Use Permit (SUP) shall automatically expire and be considered abandoned in accordance with Subsection 02.02, *Specific Use Permit (SUP)*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC).

2.2. COMPLIANCE

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits (SUP)*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) will require compliance to the following:

- (1) Upon obtaining a *Short-Term Rental Permit and Registration*, should the property owner/responsible party operating under the guidelines of this ordinance fail to meet the minimum operational requirements set forth herein and outlined in the Unified Development Code (UDC), the City may (*after proper notice*) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Subsection 02.02(F), *Revocation*, of Article 11, *Development Applications and Revision Procedures*, of the Unified Development Code (UDC) [Ordinance No. 20-02].

SECTION 3. That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

SECTION 4. That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

SECTION 5. Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

SECTION 6. If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and

applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

SECTION 7. That this ordinance shall take effect immediately from and after its passage.

**PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,
THIS THE 3rd DAY OF SEPTEMBER, 2024.**

Trace Johannesen, *Mayor*

ATTEST:

Kristy Teague, *City Secretary*

APPROVED AS TO FORM:

Frank J. Garza, *City Attorney*

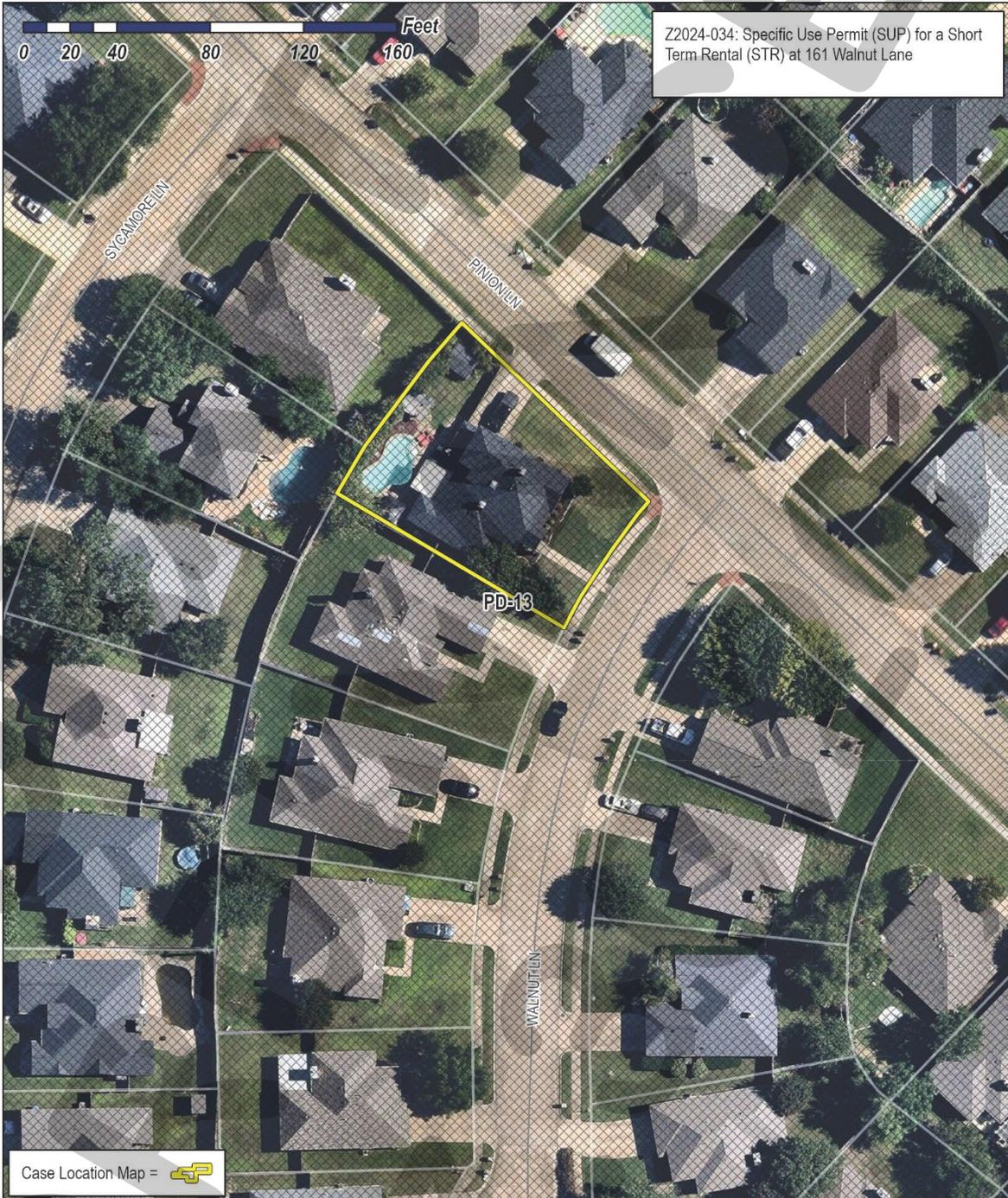
1st Reading: August 19, 2024

2nd Reading: September 3, 2024

Exhibit 'A'
Zoning Exhibit

Address: 161 Walnut Lane

Legal Description: Lot 28, Block A, Windmill Ridge Estates



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



Exhibit 'B':
Short-Term Rental Permit Application



SHORT-TERM RENTAL PERMIT APPLICATION AND REGISTRATION

City of Rockwall
Neighborhood Improvement Services (NIS) Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY	
RECEIVED BY:	
DATE RECEIVED:	
STR PERMIT NO.	

ACKNOWLEDGEMENTS BY PROPERTY OWNER [PLEASE INITIAL BY EACH STATEMENT]

- Kjm I acknowledge that a *Short-Term Rental Permit* granted by the City of Rockwall does not supersede any property specific restrictions against *Short-Term Rentals* that may exist under law, agreement, lease, covenant, or deed restriction.
- Kjm I acknowledge that if three (3) violations/citations occur in any consecutive 12-month period, that my *Short-Term Rental Permit* will be revoked and that I will not be eligible to apply for a new *Short-Term Rental Permit* for 12-months from the date of revocation. In addition, I acknowledge that the City of Rockwall will have the right to inspect my property when a violation is reported or suspected.
- Kjm I acknowledge that a *Short-Term Rental Permit* and any non-conforming rights associated with a *Short-Term Rental Permit* are non-transferable to another property owner or operator, or address or location.
- Kjm I acknowledge that I am responsible for remitting all applicable state, county, and local hotel occupancy taxes in a timely manner pursuant to all applicable laws and the requirements of Chapter 13, *Rental Housing*, of the Municipal Code of Ordinance. I also acknowledge that failure to pay hotel occupancy tax will result in the revocation of my *Short-Term Rental Permit*.
- Kjm I acknowledge that a *Short-Term Rental Permit* is valid for a period of three (3) years, and -- as the owner of the subject property -- it is my responsibility to apply for a renewal 30-days prior to the expiration of my *Short-Term Rental Permit*. Should I fail to submit a renewal application in this time period, I will forfeit all non-conforming rights and be required to submit a new application that will be subject to all the current requirements stipulated by the Unified Development Code (UDC) and Chapter 13, *Rental Housing*, of the Municipal Code of Ordinances.

REGISTRATION TYPE

- New Registration | Renewal of an Existing Registration
Was this property being used as a short-term rental prior to April 1, 2024? Yes | No

PROPERTY INFORMATION [PLEASE PRINT]

Address 161 Walnut Lane, Rockwall 75087 Zoning _____
Subdivision Windmill Ridge Lot _____ Block _____
General Location HORIZON # TUBS

TYPE OF SHORT-TERM RENTAL

- Please indicate the type of short-term rental being permitted and registered:
- SHORT-TERM RENTAL (OWNER-OCCUPIED SINGLE-FAMILY HOME, TOWNHOME, OR DUPLEX).** A single-family home, townhome, or duplex -- or portion thereof -- in which the property owner or operator, as reflected in a valid lease agreement, is a resident (i.e. occupies the primary structure) and is present during the rental. This includes when a *Guest Quarters/Secondary Living Unit/Accessory Dwelling Unit* is detached from the primary structure and either the primary or secondary structure is rented, but the owner or operator resides on the property.
 - SHORT-TERM RENTAL (NON-OWNER-OCCUPIED SINGLE-FAMILY HOME, TOWNHOME, OR DUPLEX).** A single-family home, townhome, or duplex -- or a portion thereof -- in which the property owner or operator does not occupy the dwelling unit during the rental, or that the owner or property owner does not occupy another dwelling unit -- or portion thereof -- on the same property (i.e. the property owner or operator is not on-site as an occupant during the rental of the property).
 - SHORT-TERM RENTAL (APARTMENT OR CONDOMINIUM).** An apartment or condominium (or similar multi-family structure, excluding duplexes, but including triplexes or quadplexes, as defined in this Unified Development Code (UDC)) -- or a portion thereof -- in which the property owner or operator may or may not be an occupant of the dwelling unit during the rental.

PROPERTY OWNER INFORMATION [PLEASE PRINT]

Name Kari J'ayne Mayfield Phone 972-814-4807
Mailing Address 161 Walnut Lane City Rockwall State TX Zip Code 75032
Email jaynemayfield@gmail.com

RESPONSIBLE PARTY [PLEASE PRINT]

Please note that a *Responsible Party* is required for all *Short-Term Rental Permit* applications. A *Responsible Party* is a local representative that resides in Rockwall County and who is available at all time the rental is in use. The *Responsible Party* must be available within one (1) hour of contact and must be authorized to make decisions regarding the property and its occupants.

Same as Property Owner

Name _____ Phone _____
Mailing Address _____ City _____ State _____ Zip Code _____
Email _____

SHORT-TERM RENTAL APPLICATION AND REGISTRATION • CITY OF ROCKWALL • 385 SOUTH GOLIAD STREET • ROCKWALL, TX 75087 • [P] (972) 771-7709

Exhibit 'B'
Short-Term Rental Permit Application



SHORT-TERM RENTAL PERMIT APPLICATION AND REGISTRATION

City of Rockwall
Neighborhood Improvement Services (NIS) Department
385 S. Goliad Street
Rockwall, Texas 75087

REQUIREMENTS CHECKLIST

Please indicate that the following required items have been provided with this application by checking the box next to each required item:

- REGISTRATION FEE.** A \$500.00 application fee payable to the City of Rockwall.
- SITE PLAN.** A site plan showing the location of the *Short-Term Rental* and the parking areas provided for the *Short-Term Rental*.
- PICTURES.** Pictures of the subject property showing the rear, front, and side yards of the subject property. In addition, pictures of all structures -- *one (1) per each façade of a structure* -- and any on-site amenities.
- COMMERCIAL INSURANCE.** Each *Short-Term Rental* shall be required to have and provide proof of general commercial insurance (or an equivalent) coverage of a minimum of \$500,000.00 per occurrence coverage and an aggregate of \$1,000,000.000.
- DRIVER LICENSE.** A copy of the driver license for the property owner and responsible party.

GENERAL STANDARDS CHECKLIST

Please indicate that subject property currently conforms with the following requirements by checking the box next to each general standard:

- ADVERTISING.** All advertising for the *Short-Term Rental* -- including online or on a proprietary website, application, or other technology -- will include the *Short-Term Rental Permit Number* within the description or body of the advertisement for public reference.
- PARKING.** The parking on the subject property currently conforms to the requirements of *Table 5: Parking Requirement Schedule* of Article 06, *Parking and Loading*, of the Unified Development Code (UDC). In addition, I understand that all parking shall be on an improved surface (i.e. gravel, pavers, asphalt, or concrete) and no guest or occupant will park on an unimproved surface (e.g. grass, vegetation, soil, etc.).
- EVACUATION PLAN.** [ONLY APPLICABLE TO APARTMENTS AND CONDOMINIUMS THAT DO NOT HAVE DIRECT INGRESS/EGRESS TO THE EXTERIOR OF THE BUILDING FROM THE FRONT DOOR] An evacuation plan showing how to exit the building has been posted on the front door.
- TEMPORARY STRUCTURES.** There are no temporary structures (i.e. recreational vehicles/campers, vehicles intended for occupancy, tents, canopies or shade structures that are not permitted by the City of Rockwall, or similar structures or vehicles) being utilized as a *Short-Term Rental*.
- TRASH/RUBBISH/SOLID WASTE.** There are enough City approved containers (i.e. a polycarts or approved garage cans) to hold all trash/rubbish/solid waste produced on-site. I also understand that it will be a violation to have any trash/rubbish/solid waste -- bagged or otherwise -- placed on the ground.
- SIGNAGE.** No external signage shall be installed or constructed on the property indicating or advertising the property as a *Short-Term Rental*.
- FIRE EXTINGUISHER.** A standard five (5) pound fire extinguisher (i.e. 2A:10B:C) has been properly mounted within 75-feet of all portions of the *Short-Term Rental* on each floor.
- SMOKE AND CARBON MONOXIDE DETECTORS.** Operable smoke and carbon monoxide detectors have been installed in the *Short-Term Rental* in accordance with all applicable City of Rockwall codes.
- INGRESS/EGRESS.** All bedrooms in the *Short-Term Rental* have at least one (1) operable emergency point of ingress/egress for rescue and escape (i.e. windows and/or doors).
- SLEEPING ACCOMODATION.** There is no overnight sleeping outdoors or outdoor sleeping spaces provided as part of the *Short-Term Rental*.
- TENANT NOTIFICATION.** The following information has been posted in a visible and obvious location inside the *Short-Term Rental*: [1] the property owner's and/or the *Responsible Party's* contact information and phone number; [2] pertinent information relating to the aforementioned standards (i.e. the location of the required off-street parking; the schedule, location, and requirements regarding trash/rubbish/solid waste; information regarding the conduct of guests; and etc.); [3] information to assist guests in the case of an emergency (i.e. emergency and non-emergency telephone numbers for police, fire, and medical services); and, [4] a notice that failure to conform to the requirements and codes of the City of Rockwall is a violation, and that an owner, occupant, or visitor can be cited for violations to these requirements.

RESPONSIBLE PARTY'S CERTIFICATION

I hereby certify that I am the *Responsible Party* of the property identified in this application, and that my primary residence is located in Rockwall County. I further understand my responsibilities as the *Responsible Party* as stipulated by Chapter 13, *Rental Housing*, of the Municipal Code of Ordinances, and consent to have my information posted online. I further acknowledge that failure to comply with these requirements and attests will lead to the revocation of this *Short-Term Rental Permit*.

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE _____ DAY OF _____, 20____.

PROPERTY OWNER'S SIGNATURE _____

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS _____

MY COMMISSION EXPIRES _____

PROPERTY OWNER'S CERTIFICATION

I hereby certify that I am the property owner of the property identified in this application, and that all information provided on this application is true and correct. I also hereby certify that the property identified in this application is in compliance with all of the requirements of Chapter 13, *Rental Housing*, of the Municipal Code of Ordinances, and that it is my sole responsibility to ensure that the property continues to be in compliance with the rules, requirements, and regulations of the City of Rockwall. I further acknowledge that failure to comply with these requirements and attests will lead to the revocation of this *Short-Term Rental Permit*.

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE _____ DAY OF _____, 20____.

PROPERTY OWNER'S SIGNATURE _____

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS _____

MY COMMISSION EXPIRES _____

SHORT-TERM RENTAL APPLICATION AND REGISTRATION • CITY OF ROCKWALL • 385 SOUTH GOLIAD STREET • ROCKWALL, TX 75087 • [P] (972) 771-7709

Exhibit 'C':
Short-Term Rental Photographs



PROJECT COMMENTS



CITY OF ROCKWALL
385 S. GOLIAD STREET
ROCKWALL, TEXAS 75087
PHONE: (972) 771-7700

DATE: 7/25/2024

PROJECT NUMBER: SP2024-035
PROJECT NAME: Amended Site Plan for 2935 Ridge Road
SITE ADDRESS/LOCATIONS: 2935 RIDGE RD

CASE CAPTION: Discuss and consider a request by Miglena Minkova of Texx Team USA, LLC on behalf of Rick Landrum of the Kroger Co. for the approval of an Amended Site Plan for Incidental Display for a Donation Box in conjunction with an existing General Retail Store (i.e. Kroger) being an 8.724-acre parcel of land identified as Lot 24, Block A, Horizon Ridge Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 9 (PD-9) for General Retail (GR) District land uses, situated within the Scenic Overlay (SOV) District, addressed as 2935 Ridge Road [FM-740], and take any action necessary.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PLANNING	Henry Lee	07/25/2024	Needs Review

07/25/2024: Please address the following comments (M= Mandatory Comments; I = Informational Comments)

I.1 This is a request for the approval of an Amended Site Plan for Incidental Display for a Donation Box in conjunction with an existing General Retail Store (i.e. Kroger) being an 8.724-acre parcel of land identified as Lot 24, Block A, Horizon Ridge Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 9 (PD-9) for General Retail (GR) District land uses, situated within the Scenic Overlay (SOV) District, addressed as 2935 Ridge Road [FM-740].

I.2 For questions or comments concerning this case please contact Henry Lee in the Planning Department at (972) 772-6434 or email hlee@rockwall.com.

M.3 For reference, include the case number (SP2024-035) in the lower right-hand corner of all pages of all revised plan submittals. (Subsection 01.02(D), Article 11, UDC).

M.4 This project is subject to all of the Incidental Display requirements stipulated by the Unified Development Code (UDC).

(1) Outdoor sales and displays are permitted only in areas designated on the Site Plan filed with the City. NON-CONFORMING

(2) Outdoor sales and display may not exceed five (5) percent of the adjacent building floor area (building area is defined as the entirely enclosed portion of the primary building).

TO BE DETERMINED

(3) Outdoor sales and display may occupy up to 30.00% of a covered sidewalk that is located within 20-feet of the building. Such display shall not impede pedestrian use of the sidewalk and at least a five (5) foot passable distance shall be maintained. TO BE DETERMINED

(4) Any outside sales and display not located on a covered sidewalk must be screened from view of adjacent roadways, public areas and adjacent properties. TO BE DETERMINED

(5) Any outside sales and display not located on a covered sidewalk must be located immediately adjacent to or connected to the primary structure. TO BE DETERMINED

(6) No outdoor sales and display may be located in any portion of a parking lot. TO BE DETERMINED

M.5 Provide staff with an updated site plan that [1] shows all of the proposed and existing incidental display and the square footage, [2] indicates the incidental display that is located under a covered sidewalk, [3] provides the percentage of covered sidewalk that has incidental display, [4] indicates the passable distance in front of the existing and proposed incidental display, and [5] shows conformance to items 4-6 above.

I.6 Please note that failure to address all comments provided by staff by 3:00 PM on August 6, 2024 will result in the automatic denial of the case on the grounds of an incomplete

submittal. No refund will be given for cases that are denied due to an incomplete submittal, and a new application and fee will be required to resubmit the case.

I.7 Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that is requested. Revisions for this case will be due on August 6, 2024; however, it is encouraged for applicants to submit revisions as soon as possible to give staff ample time to review the case prior to the August 13, 2024 Planning & Zoning Meeting.

I.8 Please note the scheduled meetings for this case:

- 1) Planning & Zoning Work Session meeting will be held on July 30, 2024.
- 2) Planning & Zoning meeting/public hearing meeting will be held on August 13, 2024.

I.9 All meetings will be held in person and in the City's Council Chambers. All meetings listed above are scheduled to begin at 6:00 p.m. (P&Z). The City prefers that a representative(s) be present for these meetings. During the upcoming work session meeting with the Planning and Zoning Commission, representative(s) are expected to present their case and answer any questions the Planning Commission may have regarding this request.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
ENGINEERING	Madelyn Price	07/24/2024	Approved
No Comments			

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
BUILDING	Craig Foshee	07/22/2024	Approved
No Comments			

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
FIRE	Ariana Kistner	07/24/2024	Approved
No Comments			

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
GIS	Lance Singleton	07/22/2024	Approved
No Comments			

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
POLICE	Chris Cleveland	07/23/2024	Approved
No Comments			

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PARKS	Henry Lee	07/25/2024	N/A
No Comments			



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. _____

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- REPLAT (\$300.00 + \$20.00 ACRE) ¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ^{1&2}
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) ²

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
²: A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 2935 Ridge Rd, Rockwall, TX 75032

SUBDIVISION _____

LOT _____

BLOCK _____

GENERAL LOCATION Kroger Marketplace

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING retail

CURRENT USE retail

PROPOSED ZONING _____

PROPOSED USE placement of 2 textile recycling bins

ACREAGE _____

LOTS [CURRENT] _____

LOTS [PROPOSED] _____

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER The Kroger Co.

APPLICANT Texx Team USA LLC

CONTACT PERSON Rick Landrum

CONTACT PERSON Miglena Minkova

ADDRESS 1014 Vine Street

ADDRESS 2614 Andjon Dr

CITY, STATE & ZIP Cincinnati, OH 45202

CITY, STATE & ZIP Dallas, TX 75220

PHONE 513.762.4231

PHONE 973-420-4634

E-MAIL rick.landrum@kroger.com

E-MAIL miglena.minkova@greenteamworldwide.com

NOTARY VERIFICATION [REQUIRED]

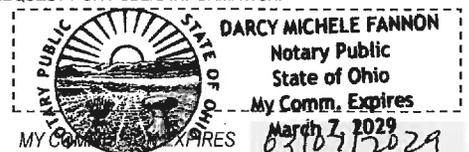
BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Rick Landrum [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 100 _____, TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 15th _____ DAY OF July 2024. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

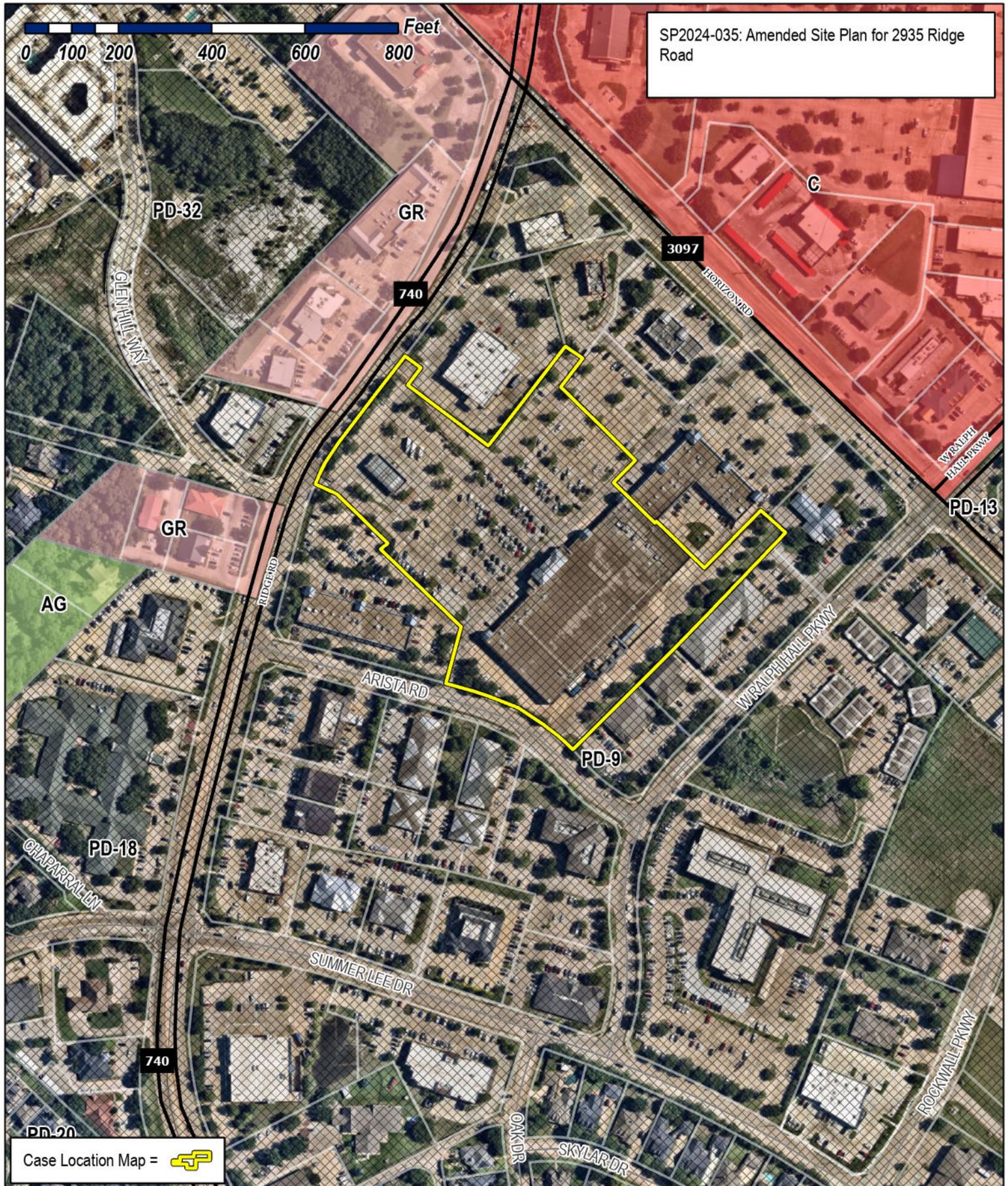
GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 18th DAY OF June 2024

OWNER'S SIGNATURE

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS
OHIO



Type text here



City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75087
 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



Dear City of Rockwall ,

I hope this letter finds you well. I am writing to request permission to place one clothing bin on the property of Kroger Marketplace located at **2935 Ridge Rd, Rockwall, TX 75032, USA**.

At Texx Team USA LLC, we specialize in providing textile recycling solutions to various communities, municipalities, and organizations. Our bins are monitored 24/7 via live feed cameras, ensuring constant surveillance and maintenance. Additionally, we operate seven days a week and visit each location **every single day (per agreement with Kroger Co.)**.

We believe that placing clothing bins at Kroger Marketplace will bring **several benefits to the Rockwall community**. Not only will it provide residents with a convenient and accessible means of recycling unwanted textiles, but it will also contribute to environmental sustainability efforts. Our bins allow for the recovery of non-mandated materials, such as clothing, shoes, and household textiles, which would otherwise end up in landfills. Through our recycling process, over 95% of the materials we collect are reused or recycled, minimizing waste, and conserving valuable resources.

Furthermore, we are committed to providing the City of Rockwall with a **tonnage report** for the location, allowing you to track the impact of our recycling efforts on your community. We have successfully partnered with numerous municipalities, schools, fire departments, and police departments, and we are eager to extend our services to Rockwall residents.

We believe that placing clothing bins at Kroger Marketplace aligns with the city's goals of promoting sustainability and environmental responsibility. We are confident that this initiative will be well-received by residents and contribute positively to the community.

Thank you for considering our request. We look forward to the opportunity to work together to make a difference in the Rockwall community. Should you have any questions or require further information, please do not hesitate to contact me at **973-420-4634** or **miglana.minkova@greenteamworldwide.com**

Sincerely,

Miglana Minkova

Government Relationship Manager

Greenteam Worldwide Recycling Group – part of which is Texx Team USA LLC

COMPUMERIC

To Whom It May Concern:

SECURR, a manufacturer of clothing collection bins and other public waste and recycling receptacles, offers a range of clothing collection bin models in varying sizes and with varying degrees of theft resistance. In response to certain customer applications where it is critical to deny physical entry into the bin to a potential thief through the chute area, SECURR developed a proprietary geared-chute mechanism.

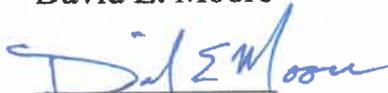
On these geared models, when the loading tray is lifted to deposit a bag or bundle of clothing into the bin, a gearbox to which the tray is attached simultaneously rotates a secondary baffle that blocks access to the inside of the bin until the tray has been lifted high enough for the clothing to drop into the bin. This second moving baffle severely restricts the ability to fish clothing out of the bin, and makes it impossible for a person to climb into the bin through the chute area. We have hundreds of bins in service with this geared-chute design, and it has proven to be 100% effective at keeping people from climbing into our bins.

We provide our customer Green Team Worldwide Environmental Group (aka Texima, aka TexGreen, aka Green Inspiration) with our model CB26G16 bin which uses this gear-driven chute design. We also provide them with retrofit chute assemblies utilizing the geared-chute design to upgrade their fleet of bins made by other manufacturers to restrict access through the chute area.

We can be reached at sales@securr.com if any further information is required on this matter.

Sincerely,

David E. Moore



VP and General Manager

Clothes & Shoes



Don't let your clothes
become what's behind it!

714.344-8522

Clothes & Shoes

No Textiles
No Shoes

Don't let your clothes
become what's behind it!

714.344-8522

We can accept the following textile items:

				
Clothes	Shoes	Bags	Accessories	Blankets

LEAD
LAW ENFORCEMENT AGAINST DRUGS & VIOLENCE
"On the Street and in the Classroom"



Clothes & Shoes

No Textiles
No Shoes

Don't let your clothes
become what's behind it!

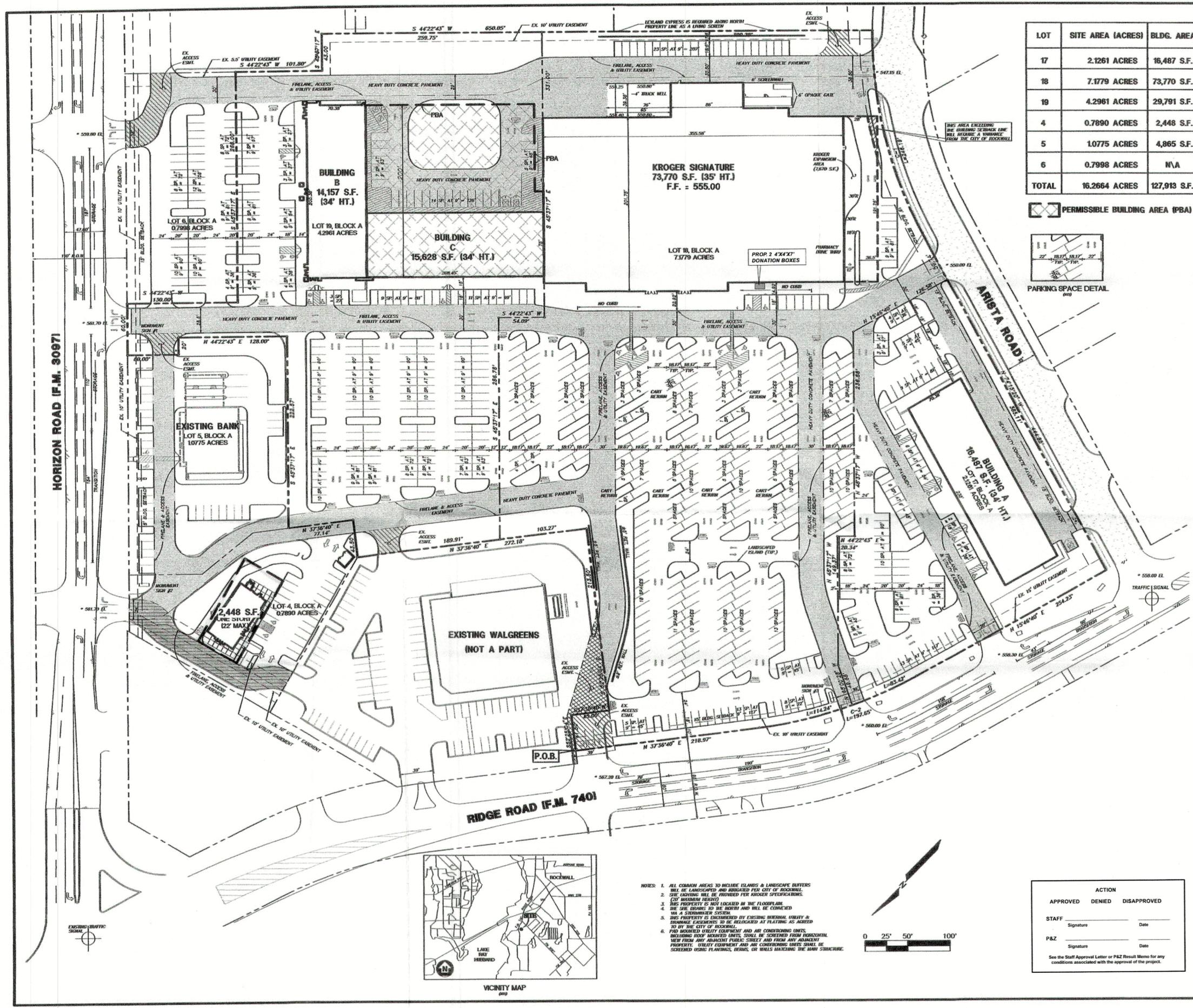
714.344-8522

Accept the following textile items:

				
Clothes	Shoes	Bags	Accessories	Blankets

LEAD
LAW ENFORCEMENT AGAINST DRUGS & VIOLENCE
"On the Street and in the Classroom"





LOT	SITE AREA (ACRES)	BLDG. AREA	PKG. REQ'D.	PKG. PROV.	PKG. RATIO
17	2.1261 ACRES	16,487 S.F.	28% x 16,487 S.F. = 4,616 S.F./100 = 47 72% x 16,487 S.F. = 11,871 S.F./250 = 48	95 SPACES	5.76/1000
18	7.1779 ACRES	73,770 S.F.	73,770 S.F./250 = 296	343 SPACES	4.85/1000
19	4.2961 ACRES	29,791 S.F.	50% x 29,791 S.F. = 14,895 S.F./100 = 149 50% x 29,791 S.F. = 14,895 S.F./250 = 75	218 SPACES	7.32/1000
4	0.7890 ACRES	2,448 S.F.	2,448 S.F./100 = 24	24 SPACES	10/1000
5	1.0775 ACRES	4,865 S.F.	4,865 S.F./300 = 16	30 SPACES	6.17/1000
6	0.7998 ACRES	N/A	N/A	61 SPACES	N/A
TOTAL	16.2664 ACRES	127,913 S.F.	651 SPACES	767 SPACES	6.00/1000

PERMISSIBLE BUILDING AREA (PBA) - BUILDING 'C'



PROPERTY DESCRIPTION
KROGER SITE
1.7179 ACRES TRACT
LOT 18, BLOCK A
HORIZON RIDGE ADDITION
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

DEBIC that certain lot, tract or parcel of land situated in the E. T. Searcy, Abstract No. 207, Rockwall County, Texas, same being a portion of Lot 1, Lot 2, and Lot 3 of Block A of Horizon Ridge Addition, an addition to the City of Rockwall, Rockwall County, Texas, according to the map thereof as recorded in Cabinet "C", Slide 117, of the Plat Records of Rockwall County, Texas and being more particularly described by metes and bounds as follows:

COMMENCING at a 1/2" iron rod found for corner in the Southeast line of F.M. Road 740 (Ridge Road) (80 feet right-of-way of this point), said point being the most Westerly corner of Lot 1 in Block A of the Waldgreen's Retail Addition, an addition to the City of Rockwall, Texas, according to the plat thereof recorded in Cabinet "T", Slide 369-370 of the Plat Records of Rockwall County, Texas;

THENCE South 52° 25' 04" East along the Southeast line of said Lot 1 in Block A of the Waldgreen's Retail Addition for a distance of 15.00 feet to a 5/8" iron rod set for corner for the POINT OF BEGINNING of this description, same being the most Northerly corner of said Lot 2 of Block A of Horizon Ridge Addition;

South 52° 25' 04" East along the common line of Lot 1 in Block A of Waldgreen's Addition and Lot 2 in Block A of Horizon Ridge Addition for a distance of 41.50 feet to a 5/8" iron rod set for corner;

South 37° 36' 40" West and continuing along the common line of Lot 1 in Block A of Waldgreen's Addition and Lot 2 in Block A of Horizon Ridge Addition for a distance of 45.00 feet to a 5/8" iron rod set for corner;

South 52° 25' 04" East and continuing along the common line of Lot 1 in Block A of Waldgreen's Addition and Lot 2 in Block A of Horizon Ridge Addition for a distance of 213.00 feet to a 5/8" iron rod set for the most Southerly corner of Lot 1 in Block A of Waldgreen's Retail Addition;

THENCE North 37° 36' 40" East along the common line of said Lot 1 in Block A of Waldgreen's Addition and Lot 3 in Block A of Horizon Ridge Addition for a distance of 103.27 feet to a 5/8" iron rod set for corner;

THENCE South 45° 37' 17" East and departing said common line for a distance of 258.78 feet to a 5/8" iron rod set for corner;

THENCE South 44° 22' 43" West for a distance of 54.09 feet to a 5/8" iron rod set for corner;

THENCE South 45° 37' 17" East for a distance of 330.00 feet to a 5/8" iron rod set for corner in the common line of said Lot 3 in Block A of Horizon Ridge Addition and Lot 8B in Block A of Horizon Ridge Addition, an addition to the City of Rockwall, according to the map thereof recorded in Cabinet "T", Slide 277, of the Plat Records of Rockwall County, Texas;

THENCE South 44° 22' 43" West along the common line of said Lot 3 and Lot 8B and passing at a distance of 175 feet the Easterly corner of aforementioned Lot 2 in Block A of Horizon Ridge Addition, and continuing along the common line of Lot 2 and Lot 8B and passing at a distance of 84.74 feet the common Northerly corner of Lot 12 in Block A of Horizon Ridge Addition and the common Westerly corner of Lot 8B of Horizon Ridge Addition, and continuing along the Westerly line of said Lot 12 for a total distance of 390.29 feet to a 5/8" iron rod set corner in the Northerly right-of-way line of Arista Road (40 feet right-of-way), said point being in a curve to the left having a central angle of 29° 23' 14", a radius of 480.00 feet and a chord bearing North 50° 31' 43" West with a chord distance of 243.50 feet;

THENCE Northwesterly along the said curve to the left and following along said Northerly right-of-way line of Arista Road, for an arc distance of 246.19 feet to a 5/8" iron rod set for corner;

THENCE North 74° 15' 20" West and continuing along the Northerly right-of-way line of Arista Road, passing at a distance of 44.74 feet the common corner of aforementioned Lot 1 and Lot 2 in Block A of Horizon Ridge Addition, and continuing in all for a total distance of 59.74 feet to a 5/8" iron rod set for corner;

THENCE North 15° 46' 40" East and departing the Northerly right-of-way line of Arista Road and across said Lot 1 in Block A of aforementioned Horizon Ridge Addition, for a distance of 126.58 feet to a 5/8" iron rod set for corner;

THENCE North 45° 37' 17" West for a distance of 236.88 feet to a 5/8" iron rod set for corner;

THENCE North 44° 22' 43" East for a distance of 20.34 feet to a 5/8" iron rod set for corner;

THENCE North 45° 37' 17" West for a distance of 149.37 feet to a 5/8" iron rod set for corner;

THENCE North 65° 03' 28" West for a distance of 48.68 feet to a 5/8" iron rod set for corner in the Easterly right-of-way line of said F.M. Road No. 740 and also being the most Westerly corner of Lot 2 in Block A of Horizon Ridge Addition, same being in a curve to the right, having a central angle of 12° 37' 05", a radius of 518.69 feet, and a chord bearing North 31° 19' 05" East with a chord distance of 114.01 feet;

THENCE along the arc of said curve in a Northerly direction and following the said Easterly right-of-way line of F.M. 740 and being common to the Westerly line of said Lot 2 in Block A of Horizon Ridge Addition for an arc distance of 114.24 feet to a 5/8" iron rod set for corner;

THENCE North 37° 36' 40" East and continuing along said Easterly right-of-way line of F.M. Road 740 and being common to the Westerly line of said Lot 2 in Block A of Horizon Ridge Addition for a distance of 218.97 feet to the POINT OF BEGINNING and CONTAINING 7.1779 ACRES OF LAND, more or less.

- NOTES:
1. ALL COMMON AREAS TO INCLUDE ISLANDS & LANDSCAPE BUFFERS WILL BE LANDSCAPED AND IRRIGATED PER CITY OF ROCKWALL.
 2. SITE LIGHTING WILL BE PROVIDED PER ROSSER SPECIFICATIONS (CIP MAXIMUM HEIGHT).
 3. THIS PROPERTY IS NOT LOCATED IN THE FLOODPLAIN.
 4. THE SITE DRAINS TO THE NORTH AND WILL BE CONVEYED VIA A SEWERAGE SYSTEM.
 5. THIS PROPERTY IS ENCUMBERED BY EXISTING HERBAL UTILITY & FURNACE EXHAUSTS TO BE RELOCATED AT PLATING AS AGREED TO BY THE CITY OF ROCKWALL.
 6. PAID MOUNTED UTILITY EQUIPMENT AND AIR CONDITIONING UNITS, INCLUDING FROST MOUNTED UNITS, SHALL BE SCREENED FROM HORIZONTAL VIEW FROM ANY ADJACENT PUBLIC STREET AND FROM ANY ADJACENT PROPERTY. UTILITY EQUIPMENT AND AIR CONDITIONING UNITS SHALL BE SCREENED USING PLANTINGS, BERRIS, OR WALLS MATCHING THE MAIN STRUCTURE.

ACTION	
APPROVED	DENIED / DISAPPROVED
STAFF	Signature _____ Date _____
P&Z	Signature _____ Date _____

See the Staff Approval Letter or P&Z Result Memo for any conditions associated with the approval of the project.

REV	DATE	REMARKS

KROGER PLOT PLAN

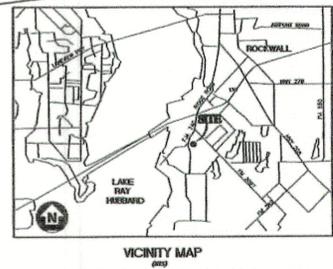
07/06/2024

PROPOSED 2 DONATION BOXES

THE CITY OF ROCKWALL, TEXAS

LAWRENCE A. CATES & ASSOC., LLP CONSULTING ENGINEERS
14800 QUORUM, DRIVE 200 (972) 385-7272
DALLAS, TEXAS

DESIGN	DRAWN	DATE	SCALE	NOTES	FILE	NO.
LAC	LAC	2/07/05	1"=50'	D.P.	SW575	SP-4



September 9, 2019
Project No. GI201909
Rev. 0

Green Inspiration BC
10-1091 Millcarch St
Richmond, BC
V6V 2H4

Attention: Pavel Lalev, Administrative and Development Manager

Regarding: Clothing Donation Bins - Type CB26G16

Dear Pavel:

West End Engineering Ltd. has completed an engineering assessment of the above-mentioned clothing donation bins proposed for installation in Vancouver. In our opinion, we feel that the construction, design and operation of the donation bins are safe. The key findings of our assessment are provided herein.

The construction and design of the bins is such that it minimizes the possibility of ingress and damage due to regular use. They are painted and therefore suitable for outdoor exposure.

We note that while the bins weigh 274 kg and are therefore difficult to move, permanent anchorage could be provided at the discretion of the owner. Our assessment did not address the issue of permanent anchorage or the possibility of using heavy machinery (forklifts, etc.) in order to handle the bins.

We note that the City of Delta has approved the use of these bins without engineering certification and that hundreds of this model of bin are in service in the United States.

This assessment was performed based solely on the information provided to us by Green Inspiration and is therefore limited to the data provided. The bin manufacturer does not disclose certain proprietary information. No guarantees as to the performance or safety of the bins are therefore given or implied aside from what could be readily determined from the data provided.

We trust that the above is satisfactory for your purposes but if you have any questions, please do not hesitate to contact us.

Kind regards,
West End Engineering Ltd



Per: Igor Sikhimbaev, P.Eng
Principal Structural Engineer
604-721-0980
igor_ca@hotmail.com

MASTER LICENSE AGREEMENT

THIS MASTER LICENSE AGREEMENT (the "Agreement") is executed this ____ day of December, 2023 ("Effective Date"), by and between KROGER TEXAS L.P., an Ohio limited partnership, hereinafter referred to as "Licensor," and TEXX TEAM USA LLC, a Texas corporation, hereinafter referred to as "Licensee."

RECITALS

Licensor and Licensee desire to enter into an agreement allowing Licensee to utilize certain space within Licensor's shopping centers listed on Exhibit "A" (each a "Shopping Center" and collectively or in the plural, "Shopping Centers") for the operation of Green Team donation bins as hereinafter set forth.

AGREEMENT

NOW, THEREFORE, for and in consideration of Ten Dollars (\$10.00), the mutual promises set forth herein and for other good and valuable consideration, the receipt and sufficiency of which are hereby acknowledged, Licensor and Licensee hereby agree as follows.

1. **GRANT OF LICENSE/LICENSED AREA(S).** Licensor hereby grants a temporary, revocable license to Licensee to use space in the Shopping Centers for the purpose set forth in Section 4 of this Agreement, subject to any restrictions of record. The "Licensed Area" at each Shopping Center shall consist of that certain portion of the parking lot in each Shopping Center depicted on Exhibit "B" (each a "Licensed Area" and collectively or in the plural, "Licensed Areas"). Licensee shall confine its operations to be wholly within the applicable Licensed Area. Licensor shall have the right to relocate the Licensee to a different location in a particular Shopping Center if Licensor determines in its sole, but good faith opinion, that Licensee's operations would be better utilized or Licensor's space requirements would be better facilitated pursuant to such relocation. Nothing contained in this Agreement shall be deemed to create any interest in Licensee other than a revocable, temporary license. In no event shall this Agreement be deemed to have created a lease, possessory right, easement or greater estate notwithstanding any expenditure, action or reliance on the part of Licensee.

2. **TERM.** The term of this Agreement ("Term") shall be one (1) year, commencing on January 1, 2024, and expiring December 31, 2024, and shall continue thereafter on a month-to-month basis only, provided, however, that Licensor shall be entitled to terminate this Agreement at any time during the Term for any reason or no reason at all, with or without cause, upon forty-eight (48) hours prior written notice to the Licensee.

3. LICENSE FEE

3.01 Licensee agrees to pay to Licensor, without offset, demand or notice, a monthly license fee of FOUR HUNDRED AND FIFTY DOLLARS (\$450.00) per Shopping Center location ("License Fee") for the right to use each Licensed Area, which Licensed Area may contain no more than (3) donation bins. The applicable Licensee Fee shall be paid by checks or drafts to Licensor and mailed to such address as may from time to time be designated in writing by Licensor, but shall initially be sent to the address set forth in Section 3.04 of this Agreement below; and shall be payable in monthly installments, each due in advance on or before the first day of each month.

3.02 License Fees for any period which is for less than one (1) month shall be a prorated portion of the monthly installment herein based upon a thirty (30) day month.

3.03 In the event Licensor is required to increase Shopping Center clean-up and maintenance as a result of Licensee's services performed in a Licensed Area, Licensor shall provide Licensee with written notice of such amount of increase to Licensor, whereupon Licensee shall have three (3) days from the date of receipt of such written notice to remedy or otherwise perform, at Licensee's own expense, such increased clean-up and maintenance. In the event Licensee fails within said three-day period to take such action, Licensor shall assess Licensee for the reasonable estimated cost of the increased clean-up and maintenance, which assessments Licensee shall pay monthly as an increase in its monthly License Fees.

3.04 Initially, and until further notice from Licensor, Licensee shall make payment of the License Fees as follows:

Kroger Teas L.P.
c/o 1045, LLC
1045 South Woods Mill Road
St. Louis, Missouri 63017

4. USE

Licensee shall use the Licensed Areas for the sole purpose of a placement/operation of a Green Team clothing donation bin consistent with the majority of Licensee's donation bins in the region as proposed and approved by Licensor and for no other purpose. Licensor makes no warranties or representation as to Licensee's ability to conduct the Licensee's proposed license use. In the event that Licensee is unable to operate due to governmental restrictions, laws, ordinances, codes or similar mandates, or in the event any restrictions of record would prevent Licensee from operating from a particular Licensed Area, either Licensee or Licensor may terminate this Agreement with thirty (30) days' advance written notice from the terminating party to the other.

4.02 Licensee agrees to conform to all public authority, by whomsoever asserted, regarding the use, occupancy and/or condition of the Licensed Area and to indemnify and save Licensor harmless from all loss, cost and expense, including reasonable attorney's fees, which may result from a failure to do so.

4.03 [Intentionally Deleted]

4.04 Licensee agrees to operate a first-class business and to do nothing which would detract from or lessen the image of Licensor's business. Without limiting the foregoing, it is specifically agreed that (i) Licensee's employees shall be appropriately dressed and groomed at all times, consistent with Licensor's standards for its own employees; (ii) the appearance of the Licensed Area shall, at all times, be orderly, neat and clean; and (iii) Licensee shall not conduct its business in an unethical manner which may result in complaints by Licensor's customers regarding Licensee's business practices, products, or customer service practices.

4.05 Licensee shall keep a twenty-four hours/seven (24-7) days a week hotline number visibly posted on each bin. Upon receipt of any complaints and notice from Licensor or other parties, Licensee shall respond in no more than twelve (12) hours. Otherwise, Licensor shall exercise default remedies including but not limited to the termination of this Agreement as provided in sections two (2) and twelve (12) herein.

4.06 Licensee shall not, without Licensor's prior written consent, keep anything within the Licensed Area or use the Licensed Area for any purpose which increases the insurance premium cost for, or invalidates, any insurance policy carried by Licensor on the Premise(s) or other parts of Licensor's food and drug store(s). All property kept, stored or maintained within the Licensed Area by Licensee shall be at Licensee's sole risk.

4.07 Without limiting the restriction on use of the Licensed Area(s) set forth in Section 4.01 of this Agreement or otherwise of record, Licensee shall not conduct within the Licensed Area any fire, auction, bankruptcy, "going-out-of-business," "lost-our-lease," or similar promotional sales event, or sell from the Licensed Area "seconds" or "generics" or operate as a "surplus" store (provided the Licensed Area is permitted to receive donations that would otherwise be sold in a surplus store). Licensee shall not permit any objectionable or unpleasant odors to emanate from the Licensed Area; nor place or permit to be placed any radio, television, loudspeaker or amplifier within or about the Licensed Area which can be seen or heard from outside the Licensed Area; nor place any antenna, or satellite dish on the exterior of the Licensed Area; nor take any action which would constitute a nuisance or would disturb or endanger customers or employees within Licensor's store (s) or unreasonably interfere with their use of such stores; nor do anything which would tend to injure the reputation of the Licensor's store(s).

5. **TAXES.** Licensor shall pay all taxes and assessments upon the property on which the Licensed Area is located, which are assessed during the term of this Agreement. However, Licensee shall pay all taxes attributable to any equipment, trade fixtures or personalty of Licensee located in or on the Licensed Area at each location.

6. IMPROVEMENTS, MAINTENANCE, REPAIR AND RESTORATION OF DAMAGE, SIGNS

6.01 [Intentionally Deleted]

6.02 By placing its bin in a Licensed Area, Licensee shall be deemed to have accepted the Licensed Area as being in satisfactory condition and repair and in its "as-is," "where-is" and "with all faults" condition. Licensee shall, at Licensee's sole cost and expense, keep the Licensed Area and every part thereof in a neat and orderly good condition and clear of debris, refuse and free from dumping of same. Licensee shall, upon the expiration or sooner termination of this Agreement, return the Licensed Area to Licensor in the same condition as received, reasonable wear and tear excepted. Any damage to the common area of the applicable Shopping Center and/or adjacent property or improvements caused by Licensee's use of the Licensed Area and/or removal of Licensee's property from same shall be promptly (and in any event, prior to the termination of this Agreement) repaired at the sole cost and expense of Licensee.

6.03 Licensee shall maintain all parts of the Licensed Area and all improvements constructed or placed thereon, without exception, which Licensee shall maintain in good order and state of repair and in a safe and sanitary condition and repair as at the commencement of the term except for aging by the elements which cannot be corrected by good maintenance practice continuously conducted. Licensee further agrees to keep such Licensed Area orderly, attractive and clean at all times - free of debris and trash and from dumping of same.

6.04 Licensee agrees that it will at all times in the repair and maintenance and in the occupancy and use of the Licensed Area conform in all matters with every law, order, regulation and requirement of all governmental authorities and/or any and all Shopping Center rules and regulations, and restrictions of record, and will hold and save Licensor harmless and free of all expense and liability arising from Licensee's failure to comply with this paragraph, including attorney's fees.

6.05 If Licensee shall at any time fail to maintain or make any repair reasonably required of Licensee under this Agreement within five (5) days after receipt of Notice from Licensor so to do (except in the event of an emergency, in which case no prior notice from Licensor shall be required), Licensor may at its option enter upon the Licensed Area, make such maintenance or repair and charge the reasonable cost thereof to Licensee, which Licensee agrees to pay to Licensor, upon demand, together with interest

thereon at the rate often percent (10%) per annum (or the maximum interest rate permitted under applicable law) from the date incurred to the date paid.

6.06 [Intentionally Deleted]

7. **RIGHT TO ENTER.** The right is reserved to Licensor, Licensor's grantors, its agents and workmen, at all reasonable times, to enter upon any part of the Licensed Area for the purposes of inspecting same and making any repairs which Licensor may deem necessary for the health, safety or protection of the public, the protection or preservation of the building or its equipment or appurtenances and/or to exhibit the same to prospective purchasers. Under such circumstances, where Licensee is not in default pursuant to Paragraphs 6.02 or 6.03 above, Licensor shall be responsible for any damage it causes to Licensee's equipment or improvements or for any injury to persons.

8. **TITLE TO FIXTURES.** Licensor shall not acquire any title or interest in any fixtures or equipment placed by Licensee on the Licensed Area. Licensee may at any time, or from time to time, remove or exchange any or all such, equipment, property and materials, and Licensee prior to the termination of this Agreement, may remove from said Licensed Area all of such, equipment, property and materials constructed or installed by it. Licensee agrees to repair, at its sole expense, all damages that may result from the removal of such improvements and other property and restore the Licensed Area to its condition prior to the commencement of this Agreement, reasonable wear and tear excepted.

9. [Intentionally Deleted]

10. **LIABILITY INSURANCE.** Licensee covenants that at all times during the term of this Agreement it shall keep in effect insurance coverage with qualified insurance companies (as defined below) covering Workers' Compensation, Employers' Liability, Automobile Liability and Commercial General Liability, including product liability, all with such limits as are set forth below to protect Licensor and Licensee pursuant hereto and from the liabilities insured against by such coverages. Such coverage shall name Licensor as an additional insured. Licensee shall furnish Licensor with a certificate evidencing the insurance required by this paragraph and evidencing the obligation of its insurance carriers not to cancel or materially amend such policies without twenty (20) days prior written notice to Licensor. The insurance coverages required by this paragraph shall conform to the following:

Type of Insurance	Limits per Occurrence
Workers' Compensation	Statutory Limits
Employers' Liability or Stop gap coverage	\$ 500,000
Automobile Liability	\$ 500,000
Commercial General Liability	\$3,000,000 per occurrence
With contractual liability	\$3,000,000 aggregate,
Endorsement	\$ 500,000 property damage
Product Liability	\$2,000,000

To be a qualified insurance company hereunder, said insurance company must:

- (i) be licensed and admitted to do business in the state where the applicable Licensed Area is located;
- (ii) have a policy holders' rating of B+ or above and have a financial category rating of Class VII or above in the most recent edition of "Best's Key Rating Guide."

11. [Intentionally Deleted]

12. **DEFAULT AND ENFORCEMENT OF AGREEMENT.** If Licensee shall default in the fulfillment of any of the covenants or conditions hereof except payment of License Fees, Licensor may, at its option, after fifteen (15) days prior written notice to Licensee, terminate this Agreement unless within said interval Licensee shall have corrected the breach specified in said notice and thereupon such termination shall be as complete and effective as if this Agreement shall have expired by its terms, and Licensee shall thereupon quit and surrender the Licensed Area.

If Licensee shall default in the payment of License Fees, or any part thereof, or in making any other payment herein required, and such default shall continue for a period of ten (10) days after receipt of written notice to Licensee, or if the Licensed Area or any part thereof shall be abandoned, or if Licensee shall cease to operate from the Licensed Area, or if Licensee shall be dispossessed therefrom by or under any authority other than Licensor, or if Licensee shall institute any proceeding under any insolvency or bankruptcy act seeking to effect a reorganization or an arrangement with its creditors, or if in any proceeding based upon the insolvency of Licensee or relating to bankruptcy proceedings a receiver or trustee shall be appointed for Licensee, or the Licensed Area, or if any proceeding shall be commenced for the reorganization of Licensee, or if the Licensed Area shall be taken on execution or by any process of law (provided such involuntary proceedings are not dismissed within sixty (60) days), or if Licensee shall admit in writing its inability to pay its obligations as they become due, then Licensor may, at its option, terminate this Agreement, by written notice, and Licensor or its agents may immediately or at any time thereafter re-enter the Licensed Area and Licensee shall thereafter have no rights hereunder. After default, Licensee shall pay Licensor such reasonable damages as result from Licensee's breach. In addition to any other remedy provided by law or permitted herein upon Licensee's default, Licensor may, at its option, but without being obliged so to do, take possession of the Licensed Area, re-license the same on behalf of Licensee, applying any monies collected, first to the payment of expenses of obtaining possession; second, to the payment of costs of placing the Licensed Area in usable condition; and third, to the payment of License Fees due hereunder, and any other charges due Licensor; and Licensee shall remain liable for any deficiency in fees or royalty which shall be paid to Licensor upon demand. Any amount not paid within ten (10) days of the due date shall bear interest from the date due at the rate of one and one half percent (1 1/2%) per month or the highest legal rate of interest, whichever is lower, until paid. Licensee agrees to pay all costs and a reasonable attorney's fee incurred by Licensor in enforcing any provision hereof, or in obtaining possession of the Licensed Area or in following any other remedy provided Licensor by law, whether by suit or otherwise. Waiver of any of the covenants hereof by Licensor shall not be deemed or taken to be a waiver of any succeeding or other breach. Licensor may pursue any remedy herein provided or which it may have at law alternatively or concurrently and the pursuit of any remedy herein provided or which may be available at law shall not constitute a waiver of, or estoppel to, pursue any other such remedy.

13. **ATTORNEYS' FEES.** In the event of litigation or dispute arising from default in performance of any of the provisions of this Agreement by either Licensor or Licensee, the prevailing party shall be entitled to receive from the other party reasonable attorneys' fees and costs of action incurred. In the event that Licensor shall, by reason of acts or omissions by Licensee, or by any other reason arising out of the Licensor-Licensee relationship, be made a party to litigation commenced by a person other than the parties hereto, then Licensee shall pay all costs, expenses and reasonable attorneys' fees incurred by the other party which arise from or are in connection with such litigation.

14. **ASSIGNMENT AND SUBORDINATION OF AGREEMENT.** Licensee shall not sub-license, or assign all or any portion of the Licensed Area, either in whole or in part, or assign Licensee's rights in and to this Agreement, without the prior written consent of Licensor, which consent may be withheld in

Licensor's sole and arbitrary discretion. No permitted sub-license or assignment shall release Licensee from any of its obligations under the terms of this Agreement, and Licensor shall at all times have the right to look to Licensee for the performance of all of the covenants to be performed on the part of Licensee.

15. NOTICES

Any notice or other communication under this Agreement shall be in writing and shall be either personally delivered or mailed by first class registered or certified mail, postage prepaid, return receipt requested, addressed as follows:

Licensor: Kroger Texas L.P.
c/o The Kroger Co.
1014 Vine Street
Cincinnati, Ohio 45202
Attn: Real Estate Shared Services

With a copy to: The Kroger Co.
1014 Vine Street
Cincinnati, Ohio 45202
Attn: Law Dept. -- Division 035

With a copy to: 1045, LLC,
1045 South Woods Mill Road
St. Louis, Missouri 63017

Licensee: Texx Team USA LLC
Attn: Miglena Minkova
2614 Andjon Drive, Dallas, Texas 75220

Subject to the right of either party to designate by notice in writing any new address to which notices, demand and installments of License Fees may be sent.

16. SECURITY DEPOSIT. Concurrently with Licensee's execution of this Agreement, Licensee has deposited with Licensor the amount of FIVE THOUSAND Dollars (\$5,000.00). Said sum shall be held by Licensor as security for the faithful performance by Licensee of all the terms, covenants and conditions of this Agreement to be kept and performed by Licensee. If Licensee defaults with respect to any provisions of this Agreement, including but not limited to the provisions relating to the payment of License Fees, Licensor may (but shall not be required to) use, apply or retain all or any part of the Security Deposit for the Payment of any License Fees or any other sum in default, or the payment of any amount which Licensor may spend or become obligated to spend by reason of Licensee's default, or to compensate Licensor for any other loss or damage which Licensor may suffer by reason of Licensee's default. If any portion of the Security Deposit is used or applied Licensee shall, within (5) days after written demand therefor, deposit cash with Licensor in an amount sufficient to restore the Security Deposit to its original amount and Licensee's failure to do so shall be a default under this Agreement. Licensor shall not be required to keep the Security Deposit separate from its general funds, and Licensee shall not be entitled to interest on such deposit. If Licensee shall fully and faithfully perform every provision of this Agreement to be performed by it, the Security Deposit or any balance thereof shall be

returned to Licensee (or, at Licensor's option, to the last assignee of Licensee's interest hereunder) within thirty (30) days following expiration of the Term.

17. **LIENS.** Licensee agrees and covenants that it will not cause or suffer the creation of any mechanic liens, or other liens for any labor performed or materials furnished for or on behalf of Licensee, which may cloud or impair Licensor's title or interest in the Store or the Licensed Area, and that if any such liens shall arise due to an act or omission of Licensee, Licensee shall promptly remove the same at its own expense or otherwise undertake the defense of an action to enforce or foreclose said lien; provided, however, for so long as Licensee in good faith resists the enforcement and foreclosure of said lien, Licensee shall not be in default under this Agreement. If Licensee does not promptly remove any lien as above provided, Licensor shall have the right at its option to do so and charge Licensee the amount thereof and Licensee shall immediately repay Licensor the amount thereof.

18. **INDEMNITY.** Licensee acknowledges and agrees that it enters onto the Licensed Area at its sole risk and expense and accepts the Licensed Area in its "as is," "where-is," and "with all faults" condition hereby releasing Licensor from any and all liability for injury or property damage occurring to Licensee while on the Licensed Area regardless of cause, including the negligence or fault of Licensor. Licensee shall indemnify and hold harmless Licensor against and from any and all claims arising from Licensee's use of the Licensed Area or from the conduct of its business or from any activity, work or other things done, permitted or suffered by Licensee in or about the Licensed Area, and shall further indemnify and hold harmless Licensor from and against any and all claims arising from any breach or default in the performance of any obligation on Licensee's part to be performed under the terms of this Agreement, or arising from any act or negligence of Licensee, or any officer, agent, employee, guest, or invitee of Licensee, and from all costs, attorneys' fees, and liabilities incurred in or about the defense of any such claim or any action or proceedings brought thereon. If any action or proceeding be brought against Licensor by reason of such claim, Licensee upon notice from Licensor shall defend the same at Licensee's expense by counsel reasonably satisfactory to Licensor. Licensee, as a material part of the consideration to Licensor, hereby assumes all risk of damage to property or injury to persons in, upon or about the Licensed Area; and Licensee hereby waives all claims in respect thereof against Licensor or any of its contractors, agents, employees, customers or others for whom Licensor might otherwise be responsible. Licensee shall give prompt notice to Licensor in case of casualty or accidents in the Licensed Area.

Licensor or its agents shall not be liable for any loss or damage to persons or property resulting from fire, explosion, steam, gas, electricity, water or rain which may leak, drain, or spread from any part of the Shopping Center or from the pipes, appliances or plumbing works therein, street or subsurface or from any other place resulting from dampness or any other cause whatsoever. Licensor or its agents shall not be liable for interference with the light, air or for any latent defect in the Licensed Area.

19. **EXUSABLE DELAYS (FORCE MAJEURE).** If either party is delayed, prevented, or hindered from the performance of any covenant or condition of this Agreement other than the payment of money (for which there will be no period of delay) because of acts of the other party, acts of God, action of the elements, war invasion, insurrection, acts of public enemy, riot, mob violence, civil commotion, sabotage, labor disputes, inability to procure or general shortage of labor, materials, facilities, equipment, or supplies on the open market, failure of or delay in transportation, laws, rules, regulations, or orders of governmental or military authorities, or any other cause beyond the reasonable control of the party so obligated, whether similar or dissimilar to the foregoing, such performance shall be excused for the period of the delay, and the period for such performance shall be extended for a period equivalent to the period of such delay.

20. **ADVERTISING; DEMOGRAPHIC INFORMATION.** Licensee shall not use the Licensor's brand names for Licensee's advertising and promotions except only to the extent reasonably necessary to identify Licensee's business location(s) and for no other use, and in any event, only with the prior written consent of Licensor. Any unauthorized use of otherwise shall automatically terminate the rights of Licensee in this Agreement and subject Licensee to all remedies available in this Agreement, at law and in equity.

21. **COMMON AREA.** Licensee, its customers, agents, contractors and employees, shall be permitted to use Licensor's parking area on a non-exclusive basis. However, Licensee agrees to require its employees to park in the area designated by Licensor for pick-ups. In no way shall Licensee block drive aisles or additional parking spaces other than the temporary use of a parking space next to bin for donation retrievals.

22. **SUBROGATION.** As long as their respective insurers so permit, Licensor and Licensee hereby mutually waive their respective rights of recovery against each other for any loss insured by fire, extended coverage and other property insurance policies existing for the benefit of the respective parties. Each party shall apply to their insurers to obtain said waivers. Each party shall obtain any special endorsements, if required by their insurer to evidence compliance with the aforementioned waiver.

23. **MISCELLANEOUS**

23.01 **Waiver.** The waiver by either party of any of the covenants contained herein shall not be deemed a waiver of such party's rights to enforce the same or any other covenant contained herein. The rights and remedies given to the parties hereunder shall be in addition to, and not in lieu of any right or remedy as provided by law.

23.02 **Use of Terms.** The terms, "Licensor" and "Licensee," shall include the plural, if necessary. All terms used in the singular or in the masculine gender shall apply to the plural or to the feminine or neutral gender as the context may require. If there is more than one Licensee named herein, their obligations hereunder shall be joint and several.

23.03 **Time is of the Essence.** Time is of the essence of the Agreement.

23.04 **Relationship.** This Agreement shall not nor shall any part thereof be construed as a joint enterprise, a partnership, or any other relationship except that of Licensor and Licensee.

23.05 **Successors and Assigns.** This Agreement shall apply to and bind the heirs, executors, administrators, successors and assigns of all of the parties hereto (and with respect to Licensor, the rights and benefits of Licensor shall inure to the benefit of its parent, affiliates, and subsidiaries and may be directly enforced by such parent, affiliates, and subsidiaries).

23.06 **Governing Law.** This Agreement shall be governed by and construed in accordance with the laws of the state in which the applicable Licensed Area is located.

23.07 **Counterparts.** This Agreement may be signed in multiple counterparts which, including via electronic means and signatures (such as fax, pdf, DocuSign and the like, which signatures will be considered original) when signed by all parties, shall constitute a binding agreement.

23.08 **Entire Agreement.** This Agreement reflects, supersedes and merges all the prior agreements and negotiations of the parties hereto with respect to its subject matter, and contains their entire agreement.

23.09 **Further Assurances.** The parties agree to promptly sign all documents reasonably required to give effect to the provisions of this Agreement.

23.10 **Severability.** If any one or more of the provisions contained herein shall, for any reason, be held to be invalid, illegal or unenforceable in any respect, such invalidity, illegality or unenforceability shall not affect any other provision of this Agreement, but this Agreement shall be construed as if such invalid, illegal or unenforceable provision had not been contained herein.

23.11 **Legal Advice.** Each party has received independent legal advice from its attorneys with respect to the advisability of executing this Agreement and the meaning of the provisions hereof. The provisions of this Agreement shall be construed as to the fair meaning and not for or against any party based upon any attribution of such party as the sole source of the language in question.

23.12 **Consents.** Licensor and Licensee each represent and warrant to the other that each respective party has the full right, legal power and actual authority to enter into this Agreement, and has obtained the consent of any and all persons, firms or entities, including lenders, as is required to enter into this Agreement.

23.13 **Incorporation of Recitals.** Licensor and Licensee hereby acknowledge and agree that the facts stated in the Recitals above are true and correct and are hereby incorporated into this Agreement.

23.14 **Brokers and Consultants.** Licensor and Licensee each represent and warrant to the other that they have not dealt with or been represented by any brokers, consultants, agents, finders, or other persons or entities in connection with this transaction other than 1045, LLC, as real estate consultant for Licensor. Licensor agrees to indemnify, defend and hold Licensee harmless from the claim of any other broker, consultants, agents, finders, or other persons or entities claiming through Licensor and Licensee agrees to indemnify, defend and hold Licensor harmless from the claim of any other broker, consultants, agents, finders, or other persons or entities claiming through Licensee.

24. **CONFIDENTIALITY.** Each party agrees to hold all disclosed confidential or proprietary information or trade secrets of the other party in trust and confidence and such shall not be disclosed to any other person or entity without the express written consent of such other party.

25. **HAZARDOUS MATERIALS.** Licensee is responsible for, shall remove and shall indemnify Licensor in connection with all hazardous materials and substances created by Licensee.

26. **TRANSFER OF LICENSOR'S INTEREST.** Licensor reserves the right to terminate this Agreement, without cause, if Licensor elects to sell, assign or transfer that portion of the Shopping Center where the Licensee is located. Licensor shall provide notice to Licensee in all instances of an assignment or transfer of Licensor's interest in the Agreement.

[Remainder of page is blank; signatures follow]

IN WITNESS WHEREOF, this Agreement is executed the day and year first hereinabove written.

Licensor:

KROGER TEXAS L.P.

an Ohio limited partnership

By: KRGP LLC, an Ohio limited liability company,
its general partner

By:

Name: Rick J. Landrum

Its: Vice President

Licensee:

TEXX TEAM USA LLC, a Texas corporation

By:

Name: Miglena Minkova

Its: Development Manager

Exhibit A

Division	Store	Fee (\$)
035-Dallas Operating Division	00445	\$450
035-Dallas Operating Division	00451	\$450
035-Dallas Operating Division	00460	\$450
035-Dallas Operating Division	00495	\$450
035-Dallas Operating Division	00527	\$450
035-Dallas Operating Division	00530	\$450
035-Dallas Operating Division	00543	\$450
035-Dallas Operating Division	00548	\$450
035-Dallas Operating Division	00561	\$450
035-Dallas Operating Division	00562	\$450
035-Dallas Operating Division	00563	\$450
035-Dallas Operating Division	00565	\$450
035-Dallas Operating Division	00572	\$450
035-Dallas Operating Division	00574	\$450
035-Dallas Operating Division	00575	\$450
035-Dallas Operating Division	00576	\$450
035-Dallas Operating Division	00578	\$450
035-Dallas Operating Division	00579	\$450
035-Dallas Operating Division	00580	\$450
035-Dallas Operating Division	00584	\$450
035-Dallas Operating Division	00585	\$450
035-Dallas Operating Division	00592	\$450
035-Dallas Operating Division	00594	\$450
035-Dallas Operating Division	00596	\$450
035-Dallas Operating Division	00598	\$450
035-Dallas Operating Division	00695	\$450

- 1980 N GOLIAO ST, ROCKWALL
 - 2935 RIDGE RD, ROCKWALL
 ~

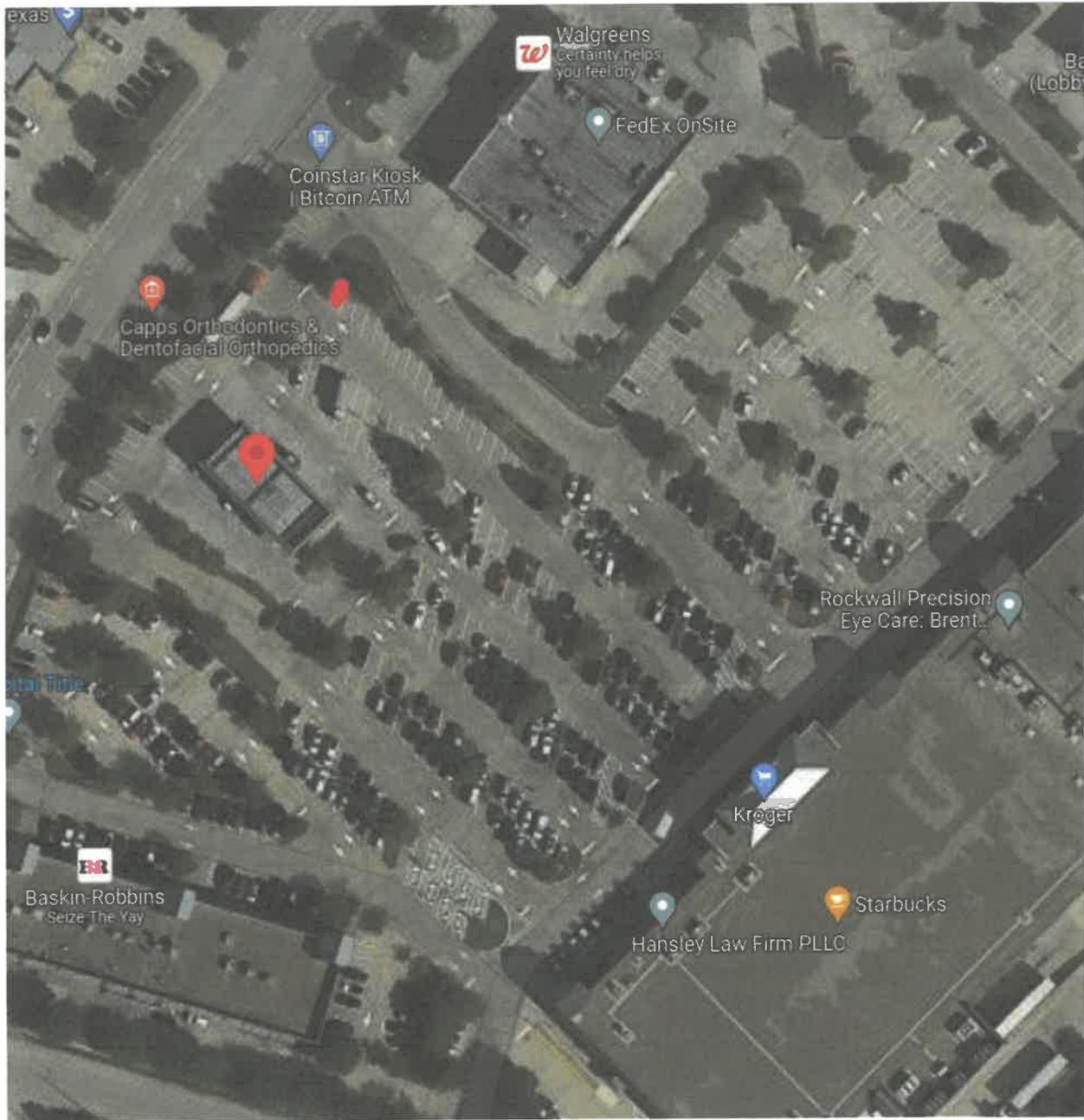
19180 N GOLIAD ST, ROCKWALL

035-00574



2935 RIDGE RD , ROCKWALL

035-00575



PROJECT COMMENTS



CITY OF ROCKWALL
385 S. GOLIAD STREET
ROCKWALL, TEXAS 75087
PHONE: (972) 771-7700

DATE: 7/25/2024

PROJECT NUMBER: SP2024-036
PROJECT NAME: Amended Site Plan for 1980 N. Goliad Street
SITE ADDRESS/LOCATIONS: 1980 N GOLIAD ST

CASE CAPTION: Discuss and consider a request by Miglena Minkova of Texx Team USA, LLC on behalf of Rick Landrum of the Kroger Co. for the approval of an Amended Site Plan for Incidental Display for a Donation Box in conjunction with an existing General Retail Store (i.e. Kroger) being an 11.236-acre parcel of land identified as Lot 1, Block A, Kroger 205 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 5 (PD-5) for General Retail (GR) District land uses, situated within the North SH-205 Overlay (N. SH-205 OV) District, addressed as 1980 N. Goliad Street [SH-205], and take any action necessary.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PLANNING	Henry Lee	07/25/2024	Needs Review

07/25/2024: Please address the following comments (M= Mandatory Comments; I = Informational Comments)

I.1 This is a request for the approval of an Amended Site Plan for Incidental Display for a Donation Box in conjunction with an existing General Retail Store (i.e. Kroger) being an 11.236-acre parcel of land identified as Lot 1, Block A, Kroger 205 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 5 (PD-5) for General Retail (GR) District land uses, situated within the North SH-205 Overlay (N. SH-205 OV) District, addressed as 1980 N. Goliad Street [SH-205].

I.2 For questions or comments concerning this case please contact Henry Lee in the Planning Department at (972) 772-6434 or email hlee@rockwall.com.

M.3 For reference, include the case number (SP2024-036) in the lower right-hand corner of all pages of all revised plan submittals. (Subsection 01.02(D), Article 11, UDC).

M.4 This project is subject to all of the Incidental Display requirements stipulated by the Unified Development Code (UDC).

- (1) Outdoor sales and displays are permitted only in areas designated on the Site Plan filed with the City. **NON-CONFORMING**
- (2) Outdoor sales and display may not exceed five (5) percent of the adjacent building floor area (building area is defined as the entirely enclosed portion of the primary building). **TO BE DETERMINED**
- (3) Outdoor sales and display may occupy up to 30.00% of a covered sidewalk that is located within 20-feet of the building. Such display shall not impede pedestrian use of the sidewalk and at least a five (5) foot passable distance shall be maintained. **TO BE DETERMINED**
- (4) Any outside sales and display not located on a covered sidewalk must be screened from view of adjacent roadways, public areas and adjacent properties. **TO BE DETERMINED**
- (5) Any outside sales and display not located on a covered sidewalk must be located immediately adjacent to or connected to the primary structure. **TO BE DETERMINED**
- (6) No outdoor sales and display may be located in any portion of a parking lot. **TO BE DETERMINED**

M.5 Provide staff with an updated site plan that [1] shows all of the proposed and existing incidental display and the square footage, [2] indicates the incidental display that is located under a covered sidewalk, [3] provides the percentage of covered sidewalk that has incidental display, [4] indicates the passable distance in front of the existing and proposed incidental display, and [5] shows conformance to items 4-6 above.

I.6 Please note that failure to address all comments provided by staff by 3:00 PM on August 6, 2024 will result in the automatic denial of the case on the grounds of an incomplete

submittal. No refund will be given for cases that are denied due to an incomplete submittal, and a new application and fee will be required to resubmit the case.

I.7 Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that is requested. Revisions for this case will be due on August 6, 2024; however, it is encouraged for applicants to submit revisions as soon as possible to give staff ample time to review the case prior to the August 13, 2024 Planning & Zoning Meeting.

I.8 Please note the scheduled meetings for this case:

- 1) Planning & Zoning Work Session meeting will be held on July 30, 2024.
- 2) Planning & Zoning meeting/public hearing meeting will be held on August 13, 2024.

I.9 All meetings will be held in person and in the City's Council Chambers. All meetings listed above are scheduled to begin at 6:00 p.m. (P&Z). The City prefers that a representative(s) be present for these meetings. During the upcoming work session meeting with the Planning and Zoning Commission, representative(s) are expected to present their case and answer any questions the Planning Commission may have regarding this request.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
ENGINEERING	Madelyn Price	07/24/2024	Approved
No Comments			

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
BUILDING	Craig Foshee	07/22/2024	Approved
No Comments			

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
FIRE	Ariana Kistner	07/24/2024	Approved
No Comments			

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
GIS	Lance Singleton	07/22/2024	Approved
No Comments			

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
POLICE	Chris Cleveland	07/23/2024	Approved
No Comments			

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PARKS	Travis Sales	07/22/2024	Approved
No Comments			



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. _____

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE)¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE)¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE)¹
- REPLAT (\$300.00 + \$20.00 ACRE)¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE)¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE)¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE)^{1 & 2}
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE)¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00)²

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
²: A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 1980 N Goliad St, Rockwall, TX 75087

SUBDIVISION _____

LOT _____

BLOCK _____

GENERAL LOCATION Kroger Marketplace

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING retail

CURRENT USE retail

PROPOSED ZONING _____

PROPOSED USE placement of 2 textile recycling bins

ACREAGE _____

LOTS [CURRENT] _____

LOTS [PROPOSED] _____

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER The Kroger Co.

APPLICANT Texx Team USA LLC

CONTACT PERSON Rick Landrum

CONTACT PERSON Miglena Minkova

ADDRESS 1014 Vine Street

ADDRESS 2614 Andjon Dr

CITY, STATE & ZIP Cincinnati, OH 45202

CITY, STATE & ZIP Dallas, TX 75220

PHONE 513.762.4231

PHONE 973-420-4634

E-MAIL rick.landrum@kroger.com

E-MAIL miglena.minkova@greenteamworldwide.com

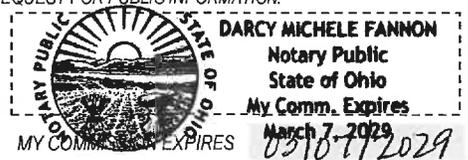
NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Rick Landrum [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

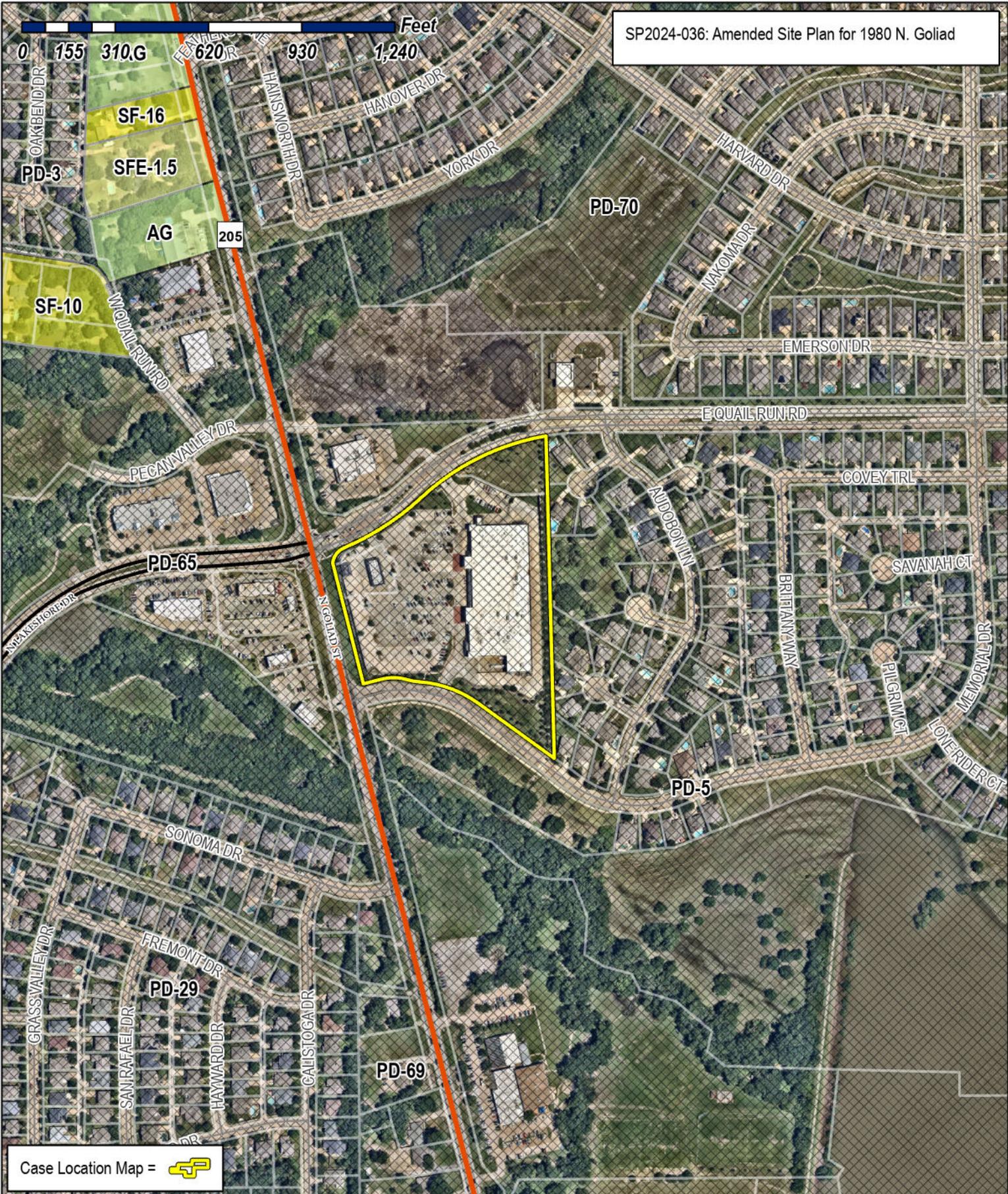
"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 100 _____, TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 15th _____ DAY OF July _____, 2024. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 18th DAY OF June, 2024
OWNER'S SIGNATURE [Signature]

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS Darcy Michele Jannon
DH16



Type text here



Case Location Map = 



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



Dear City of Rockwall ,

I hope this letter finds you well. I am writing to request permission to place one clothing bin on the property of Kroger Marketplace located at **1950 N Goliad St, Rockwall, TX 75087, USA**.

At Texx Team USA LLC, we specialize in providing textile recycling solutions to various communities, municipalities, and organizations. Our bins are monitored 24/7 via live feed cameras, ensuring constant surveillance and maintenance. Additionally, we operate seven days a week and visit each location **every single day (per agreement with Kroger Co.)**.

We believe that placing clothing bins at Kroger Marketplace will bring **several benefits to the Rockwall community**. Not only will it provide residents with a convenient and accessible means of recycling unwanted textiles, but it will also contribute to environmental sustainability efforts. Our bins allow for the recovery of non-mandated materials, such as clothing, shoes, and household textiles, which would otherwise end up in landfills. Through our recycling process, over 95% of the materials we collect are reused or recycled, minimizing waste, and conserving valuable resources.

Furthermore, we are committed to providing the City of Rockwall with a **tonnage report** for the location, allowing you to track the impact of our recycling efforts on your community. We have successfully partnered with numerous municipalities, schools, fire departments, and police departments, and we are eager to extend our services to Rockwall residents.

We believe that placing clothing bins at Kroger Marketplace aligns with the city's goals of promoting sustainability and environmental responsibility. We are confident that this initiative will be well-received by residents and contribute positively to the community.

Thank you for considering our request. We look forward to the opportunity to work together to make a difference in the Rockwall community. Should you have any questions or require further information, please do not hesitate to contact me at **973-420-4634** or **miglana.minkova@greenteamworldwide.com**

Sincerely,

Miglana Minkova

Government Relationship Manager

Greenteam Worldwide Recycling Group – part of which is Texx Team USA LLC

COMPUMERIC

To Whom It May Concern:

SECURR, a manufacturer of clothing collection bins and other public waste and recycling receptacles, offers a range of clothing collection bin models in varying sizes and with varying degrees of theft resistance. In response to certain customer applications where it is critical to deny physical entry into the bin to a potential thief through the chute area, SECURR developed a proprietary geared-chute mechanism.

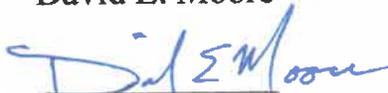
On these geared models, when the loading tray is lifted to deposit a bag or bundle of clothing into the bin, a gearbox to which the tray is attached simultaneously rotates a secondary baffle that blocks access to the inside of the bin until the tray has been lifted high enough for the clothing to drop into the bin. This second moving baffle severely restricts the ability to fish clothing out of the bin, and makes it impossible for a person to climb into the bin through the chute area. We have hundreds of bins in service with this geared-chute design, and it has proven to be 100% effective at keeping people from climbing into our bins.

We provide our customer Green Team Worldwide Environmental Group (aka Texima, aka TexGreen, aka Green Inspiration) with our model CB26G16 bin which uses this gear-driven chute design. We also provide them with retrofit chute assemblies utilizing the geared-chute design to upgrade their fleet of bins made by other manufacturers to restrict access through the chute area.

We can be reached at sales@securr.com if any further information is required on this matter.

Sincerely,

David E. Moore



VP and General Manager

Clothes & Shoes



Click QR code
to learn what's accepted!!
(714) 344-8222

Clothes & Shoes



Click QR code
to learn what's accepted!!
(714) 344-8222

We can accept the following textile items:

 Clothes	 Shoes	 Bags	 Accessories	 Bedding
--	--	---	--	--

LEAD
LAW ENFORCEMENT AGAINST DRUGS & MOLESTERS
"On the Street and in the Classroom"



Clothes & Shoes



Click QR code
to learn what's accepted!!
(714) 344-8222

Accept the following textile items:

				
---	---	---	---	---

LEAD
LAW ENFORCEMENT AGAINST DRUGS & MOLESTERS
"On the Street and in the Classroom"



NO.	DATE	REVISION	APPROVAL
6			
5			
4			
3			
2			
1			

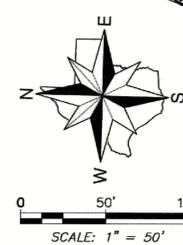
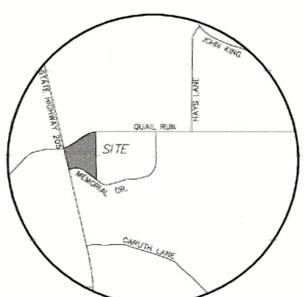
Winkelmann & Associates, Inc.
 CONSULTING CIVIL ENGINEERS
 1000 W. HUNTER ROAD, SUITE 100
 ROCKWALL, TEXAS 75087
 (972) 460-7000
 (972) 460-7009 FAX
 LICENSE NO. 170868-00
 PROFESSIONAL ENGINEER

06-18-2015

SITE PLAN
PROPOSED 2 DONATION BOXES
SEC N. GOLIAD ST. AND E. QUAIL RUN RD.
ROCKWALL, TEXAS

OWNERS:
 THE KROGER CO.
 014 VINE STREET
 CINCINNATI, OH 45202

C-01.00
 SW574



LEGEND

- W — EXIST. WATER
- SS — EXIST. SANITARY SEWER
- STM — EXIST. STORM

	KROGER LOT 1	FUEL LOT 2
BUILDING AREA	87,406 SF	869 SF
PARKING REQUIRED	350 SPACES	4 SPACES
REQUIRED PARKING RATIO	4:1	4:1
PARKING PROVIDED	355 SPACES	4 SPACES
PROVIDED PARKING RATIO	4:1	4:1
LAND AREA	9.808 ACRES	0.569 ACRES
HANDICAP REQUIRED	9 SPACES	1 SPACES
HANDICAP PROVIDED	14 SPACES	1 SPACES
USE	GROCERY	FUEL
COVERAGE	20.46 %	3.51 %

* PARKING PROVIDED TOTAL INCLUDES HC PARKING

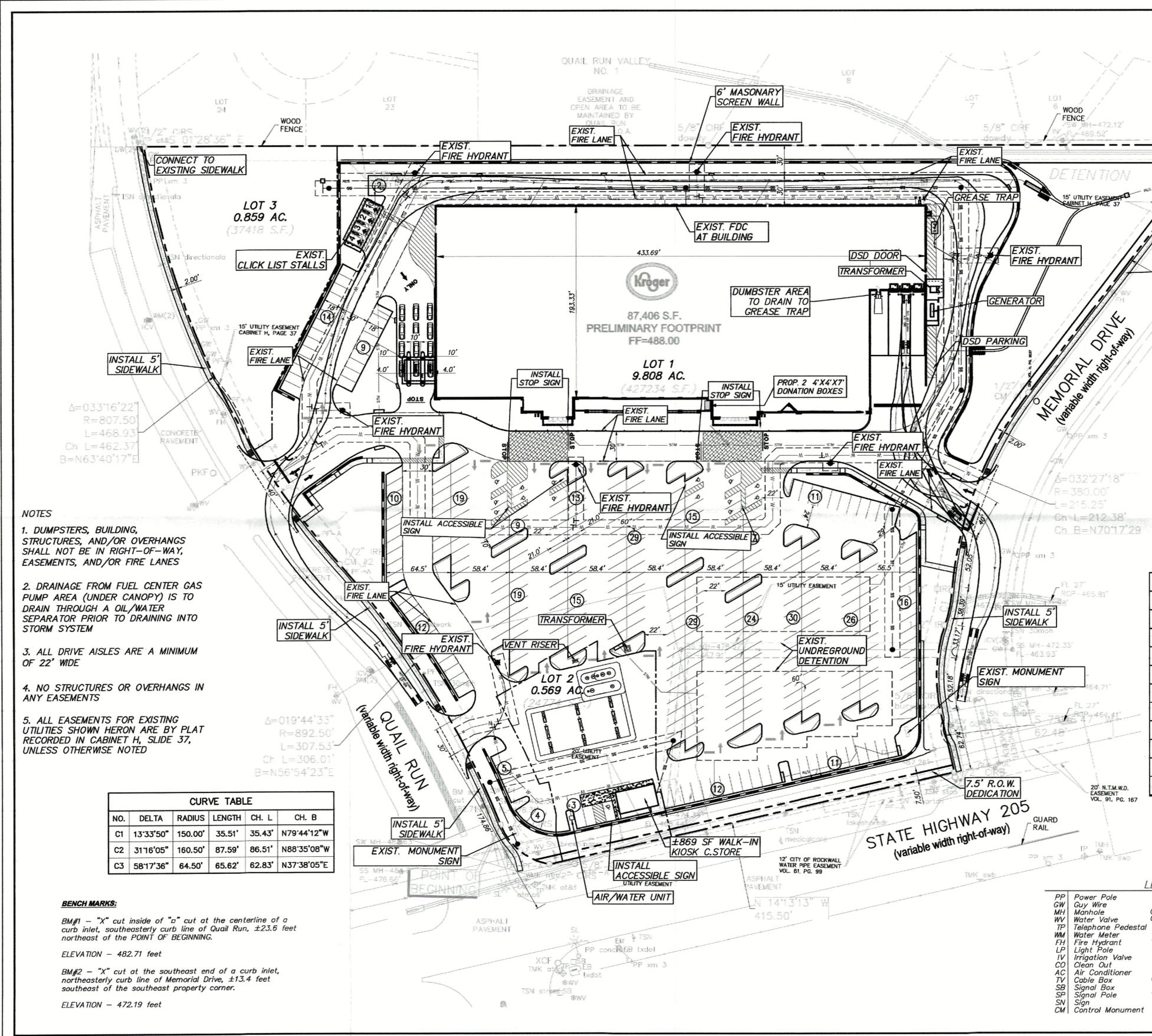
LEGEND

PP Power Pole	IRF Iron Rod Found
GW Guy Wire	IRS Iron Rod Set
MH Manhole	CIRS Iron Rod Set w/ cap "WAI"
WV Water Valve	CIRF Iron Rod Found w/ cap
TP Telephone Pedestal	XCS X-Cut in Concrete Set
WM Water Meter	XOF X-Out in Concrete Found
FH Fire Hydrant	PK Nail Found
LP Light Pole	SS Sanitary Sewer
IV Irrigation Valve	SW Storm Sewer
CO Clean Out	TF Transformer pad
AC Air Conditioner	GM Gas Meter
TV Cable Box	CMK Gas Marker
SB Signal Box	TSN Traffic Sign
SP Signal Pole	UGC Underground Cable Marker
SN Sign	EB Electric Box
CM Control Monument	EM Electric Meter

ACTION

APPROVED	DENIED	DISAPPROVED
Signature _____	Signature _____	Signature _____
Date _____	Date _____	Date _____

See the Staff Approval Letter or P&Z Result Memo for any conditions associated with the approval of the project.



- NOTES**
- DUMPSTERS, BUILDING, STRUCTURES, AND/OR OVERHANGS SHALL NOT BE IN RIGHT-OF-WAY, EASEMENTS, AND/OR FIRE LANES
 - DRAINAGE FROM FUEL CENTER GAS PUMP AREA (UNDER CANOPY) IS TO DRAIN THROUGH A OIL/WATER SEPARATOR PRIOR TO DRAINING INTO STORM SYSTEM
 - ALL DRIVE AISLES ARE A MINIMUM OF 22' WIDE
 - NO STRUCTURES OR OVERHANGS IN ANY EASEMENTS
 - ALL EASEMENTS FOR EXISTING UTILITIES SHOWN HEREON ARE BY PLAT RECORDED IN CABINET H, SLIDE 37, UNLESS OTHERWISE NOTED

CURVE TABLE

NO.	DELTA	RADIUS	LENGTH	CH. L	CH. B
C1	13°33'50"	150.00'	35.51'	35.43'	N79°44'12"W
C2	31°16'05"	160.50'	87.59'	86.51'	N88°35'08"W
C3	58°17'36"	64.50'	65.62'	62.83'	N37°38'05"E

BENCH MARKS:

BM#1 - "X" cut inside of "a" cut at the centerline of a curb inlet, southeasterly curb line of Quail Run, ±23.5 feet northeast of the POINT OF BEGINNING.
 ELEVATION - 482.71 feet

BM#2 - "X" cut at the southeast end of a curb inlet, northeasterly curb line of Memorial Drive, ±13.4 feet southeast of the southeast property corner.
 ELEVATION - 472.19 feet

September 9, 2019
Project No. GI201909
Rev. 0

Green Inspiration BC
10-1091 Millcarch St
Richmond, BC
V6V 2H4

Attention: Pavel Lalev, Administrative and Development Manager

Regarding: Clothing Donation Bins - Type CB26G16

Dear Pavel:

West End Engineering Ltd. has completed an engineering assessment of the above-mentioned clothing donation bins proposed for installation in Vancouver. In our opinion, we feel that the construction, design and operation of the donation bins are safe. The key findings of our assessment are provided herein.

The construction and design of the bins is such that it minimizes the possibility of ingress and damage due to regular use. They are painted and therefore suitable for outdoor exposure.

We note that while the bins weigh 274 kg and are therefore difficult to move, permanent anchorage could be provided at the discretion of the owner. Our assessment did not address the issue of permanent anchorage or the possibility of using heavy machinery (forklifts, etc.) in order to handle the bins.

We note that the City of Delta has approved the use of these bins without engineering certification and that hundreds of this model of bin are in service in the United States.

This assessment was performed based solely on the information provided to us by Green Inspiration and is therefore limited to the data provided. The bin manufacturer does not disclose certain proprietary information. No guarantees as to the performance or safety of the bins are therefore given or implied aside from what could be readily determined from the data provided.

We trust that the above is satisfactory for your purposes but if you have any questions, please do not hesitate to contact us.

Kind regards,
West End Engineering Ltd.



Per: Igor Sikhimbaev, P.Eng
Principal Structural Engineer
604-721-0980
igor_ca@hotmail.com

MASTER LICENSE AGREEMENT

THIS MASTER LICENSE AGREEMENT (the "Agreement") is executed this ____ day of December, 2023 ("Effective Date"), by and between KROGER TEXAS L.P., an Ohio limited partnership, hereinafter referred to as "Licensor," and TEXX TEAM USA LLC, a Texas corporation, hereinafter referred to as "Licensee."

RECITALS

Licensor and Licensee desire to enter into an agreement allowing Licensee to utilize certain space within Licensor's shopping centers listed on Exhibit "A" (each a "Shopping Center" and collectively or in the plural, "Shopping Centers") for the operation of Green Team donation bins as hereinafter set forth.

AGREEMENT

NOW, THEREFORE, for and in consideration of Ten Dollars (\$10.00), the mutual promises set forth herein and for other good and valuable consideration, the receipt and sufficiency of which are hereby acknowledged, Licensor and Licensee hereby agree as follows.

1. **GRANT OF LICENSE/LICENSED AREA(S).** Licensor hereby grants a temporary, revocable license to Licensee to use space in the Shopping Centers for the purpose set forth in Section 4 of this Agreement, subject to any restrictions of record. The "Licensed Area" at each Shopping Center shall consist of that certain portion of the parking lot in each Shopping Center depicted on Exhibit "B" (each a "Licensed Area" and collectively or in the plural, "Licensed Areas"). Licensee shall confine its operations to be wholly within the applicable Licensed Area. Licensor shall have the right to relocate the Licensee to a different location in a particular Shopping Center if Licensor determines in its sole, but good faith opinion, that Licensee's operations would be better utilized or Licensor's space requirements would be better facilitated pursuant to such relocation. Nothing contained in this Agreement shall be deemed to create any interest in Licensee other than a revocable, temporary license. In no event shall this Agreement be deemed to have created a lease, possessory right, easement or greater estate notwithstanding any expenditure, action or reliance on the part of Licensee.

2. **TERM.** The term of this Agreement ("Term") shall be one (1) year, commencing on January 1, 2024, and expiring December 31, 2024, and shall continue thereafter on a month-to-month basis only, provided, however, that Licensor shall be entitled to terminate this Agreement at any time during the Term for any reason or no reason at all, with or without cause, upon forty-eight (48) hours prior written notice to the Licensee.

3. LICENSE FEE

3.01 Licensee agrees to pay to Licensor, without offset, demand or notice, a monthly license fee of FOUR HUNDRED AND FIFTY DOLLARS (\$450.00) per Shopping Center location ("License Fee") for the right to use each Licensed Area, which Licensed Area may contain no more than (3) donation bins. The applicable Licensee Fee shall be paid by checks or drafts to Licensor and mailed to such address as may from time to time be designated in writing by Licensor, but shall initially be sent to the address set forth in Section 3.04 of this Agreement below; and shall be payable in monthly installments, each due in advance on or before the first day of each month.

3.02 License Fees for any period which is for less than one (1) month shall be a prorated portion of the monthly installment herein based upon a thirty (30) day month.

3.03 In the event Licensor is required to increase Shopping Center clean-up and maintenance as a result of Licensee's services performed in a Licensed Area, Licensor shall provide Licensee with written notice of such amount of increase to Licensor, whereupon Licensee shall have three (3) days from the date of receipt of such written notice to remedy or otherwise perform, at Licensee's own expense, such increased clean-up and maintenance. In the event Licensee fails within said three-day period to take such action, Licensor shall assess Licensee for the reasonable estimated cost of the increased clean-up and maintenance, which assessments Licensee shall pay monthly as an increase in its monthly License Fees.

3.04 Initially, and until further notice from Licensor, Licensee shall make payment of the License Fees as follows:

Kroger Teas L.P.
c/o 1045, LLC
1045 South Woods Mill Road
St. Louis, Missouri 63017

4. USE

Licensee shall use the Licensed Areas for the sole purpose of a placement/operation of a Green Team clothing donation bin consistent with the majority of Licensee's donation bins in the region as proposed and approved by Licensor and for no other purpose. Licensor makes no warranties or representation as to Licensee's ability to conduct the Licensee's proposed license use. In the event that Licensee is unable to operate due to governmental restrictions, laws, ordinances, codes or similar mandates, or in the event any restrictions of record would prevent Licensee from operating from a particular Licensed Area, either Licensee or Licensor may terminate this Agreement with thirty (30) days' advance written notice from the terminating party to the other.

4.02 Licensee agrees to conform to all public authority, by whomsoever asserted, regarding the use, occupancy and/or condition of the Licensed Area and to indemnify and save Licensor harmless from all loss, cost and expense, including reasonable attorney's fees, which may result from a failure to do so.

4.03 [Intentionally Deleted]

4.04 Licensee agrees to operate a first-class business and to do nothing which would detract from or lessen the image of Licensor's business. Without limiting the foregoing, it is specifically agreed that (i) Licensee's employees shall be appropriately dressed and groomed at all times, consistent with Licensor's standards for its own employees; (ii) the appearance of the Licensed Area shall, at all times, be orderly, neat and clean; and (iii) Licensee shall not conduct its business in an unethical manner which may result in complaints by Licensor's customers regarding Licensee's business practices, products, or customer service practices.

4.05 Licensee shall keep a twenty-four hours/seven (24-7) days a week hotline number visibly posted on each bin. Upon receipt of any complaints and notice from Licensor or other parties, Licensee shall respond in no more than twelve (12) hours. Otherwise, Licensor shall exercise default remedies including but not limited to the termination of this Agreement as provided in sections two (2) and twelve (12) herein.

4.06 Licensee shall not, without Licensor's prior written consent, keep anything within the Licensed Area or use the Licensed Area for any purpose which increases the insurance premium cost for, or invalidates, any insurance policy carried by Licensor on the Premise(s) or other parts of Licensor's food and drug store(s). All property kept, stored or maintained within the Licensed Area by Licensee shall be at Licensee's sole risk.

4.07 Without limiting the restriction on use of the Licensed Area(s) set forth in Section 4.01 of this Agreement or otherwise of record, Licensee shall not conduct within the Licensed Area any fire, auction, bankruptcy, "going-out-of-business," "lost-our-lease," or similar promotional sales event, or sell from the Licensed Area "seconds" or "generics" or operate as a "surplus" store (provided the Licensed Area is permitted to receive donations that would otherwise be sold in a surplus store). Licensee shall not permit any objectionable or unpleasant odors to emanate from the Licensed Area; nor place or permit to be placed any radio, television, loudspeaker or amplifier within or about the Licensed Area which can be seen or heard from outside the Licensed Area; nor place any antenna, or satellite dish on the exterior of the Licensed Area; nor take any action which would constitute a nuisance or would disturb or endanger customers or employees within Licensor's store (s) or unreasonably interfere with their use of such stores; nor do anything which would tend to injure the reputation of the Licensor's store(s).

5. **TAXES.** Licensor shall pay all taxes and assessments upon the property on which the Licensed Area is located, which are assessed during the term of this Agreement. However, Licensee shall pay all taxes attributable to any equipment, trade fixtures or personalty of Licensee located in or on the Licensed Area at each location.

6. **IMPROVEMENTS, MAINTENANCE, REPAIR AND RESTORATION OF DAMAGE, SIGNS**

6.01 [Intentionally Deleted]

6.02 By placing its bin in a Licensed Area, Licensee shall be deemed to have accepted the Licensed Area as being in satisfactory condition and repair and in its "as-is," "where-is" and "with all faults" condition. Licensee shall, at Licensee's sole cost and expense, keep the Licensed Area and every part thereof in a neat and orderly good condition and clear of debris, refuse and free from dumping of same. Licensee shall, upon the expiration or sooner termination of this Agreement, return the Licensed Area to Licensor in the same condition as received, reasonable wear and tear excepted. Any damage to the common area of the applicable Shopping Center and/or adjacent property or improvements caused by Licensee's use of the Licensed Area and/or removal of Licensee's property from same shall be promptly (and in any event, prior to the termination of this Agreement) repaired at the sole cost and expense of Licensee.

6.03 Licensee shall maintain all parts of the Licensed Area and all improvements constructed or placed thereon, without exception, which Licensee shall maintain in good order and state of repair and in a safe and sanitary condition and repair as at the commencement of the term except for aging by the elements which cannot be corrected by good maintenance practice continuously conducted. Licensee further agrees to keep such Licensed Area orderly, attractive and clean at all times - free of debris and trash and from dumping of same.

6.04 Licensee agrees that it will at all times in the repair and maintenance and in the occupancy and use of the Licensed Area conform in all matters with every law, order, regulation and requirement of all governmental authorities and/or any and all Shopping Center rules and regulations, and restrictions of record, and will hold and save Licensor harmless and free of all expense and liability arising from Licensee's failure to comply with this paragraph, including attorney's fees.

6.05 If Licensee shall at any time fail to maintain or make any repair reasonably required of Licensee under this Agreement within five (5) days after receipt of Notice from Licensor so to do (except in the event of an emergency, in which case no prior notice from Licensor shall be required), Licensor may at its option enter upon the Licensed Area, make such maintenance or repair and charge the reasonable cost thereof to Licensee, which Licensee agrees to pay to Licensor, upon demand, together with interest

thereon at the rate often percent (10%) per annum (or the maximum interest rate permitted under applicable law) from the date incurred to the date paid.

6.06 [Intentionally Deleted]

7. **RIGHT TO ENTER.** The right is reserved to Licensor, Licensor's grantors, its agents and workmen, at all reasonable times, to enter upon any part of the Licensed Area for the purposes of inspecting same and making any repairs which Licensor may deem necessary for the health, safety or protection of the public, the protection or preservation of the building or its equipment or appurtenances and/or to exhibit the same to prospective purchasers. Under such circumstances, where Licensee is not in default pursuant to Paragraphs 6.02 or 6.03 above, Licensor shall be responsible for any damage it causes to Licensee's equipment or improvements or for any injury to persons.

8. **TITLE TO FIXTURES.** Licensor shall not acquire any title or interest in any fixtures or equipment placed by Licensee on the Licensed Area. Licensee may at any time, or from time to time, remove or exchange any or all such, equipment, property and materials, and Licensee prior to the termination of this Agreement, may remove from said Licensed Area all of such, equipment, property and materials constructed or installed by it. Licensee agrees to repair, at its sole expense, all damages that may result from the removal of such improvements and other property and restore the Licensed Area to its condition prior to the commencement of this Agreement, reasonable wear and tear excepted.

9. [Intentionally Deleted]

10. **LIABILITY INSURANCE.** Licensee covenants that at all times during the term of this Agreement it shall keep in effect insurance coverage with qualified insurance companies (as defined below) covering Workers' Compensation, Employers' Liability, Automobile Liability and Commercial General Liability, including product liability, all with such limits as are set forth below to protect Licensor and Licensee pursuant hereto and from the liabilities insured against by such coverages. Such coverage shall name Licensor as an additional insured. Licensee shall furnish Licensor with a certificate evidencing the insurance required by this paragraph and evidencing the obligation of its insurance carriers not to cancel or materially amend such policies without twenty (20) days prior written notice to Licensor. The insurance coverages required by this paragraph shall conform to the following:

Type of Insurance	Limits per Occurrence
Workers' Compensation	Statutory Limits
Employers' Liability or Stop gap coverage	\$ 500,000
Automobile Liability	\$ 500,000
Commercial General Liability	\$3,000,000 per occurrence
With contractual liability	\$3,000,000 aggregate,
Endorsement	\$ 500,000 property damage
Product Liability	\$2,000,000

To be a qualified insurance company hereunder, said insurance company must:

- (i) be licensed and admitted to do business in the state where the applicable Licensed Area is located;
- (ii) have a policy holders' rating of B+ or above and have a financial category rating of Class VII or above in the most recent edition of "Best's Key Rating Guide."

11. [Intentionally Deleted]

12. **DEFAULT AND ENFORCEMENT OF AGREEMENT.** If Licensee shall default in the fulfillment of any of the covenants or conditions hereof except payment of License Fees, Licensor may, at its option, after fifteen (15) days prior written notice to Licensee, terminate this Agreement unless within said interval Licensee shall have corrected the breach specified in said notice and thereupon such termination shall be as complete and effective as if this Agreement shall have expired by its terms, and Licensee shall thereupon quit and surrender the Licensed Area.

If Licensee shall default in the payment of License Fees, or any part thereof, or in making any other payment herein required, and such default shall continue for a period of ten (10) days after receipt of written notice to Licensee, or if the Licensed Area or any part thereof shall be abandoned, or if Licensee shall cease to operate from the Licensed Area, or if Licensee shall be dispossessed therefrom by or under any authority other than Licensor, or if Licensee shall institute any proceeding under any insolvency or bankruptcy act seeking to effect a reorganization or an arrangement with its creditors, or if in any proceeding based upon the insolvency of Licensee or relating to bankruptcy proceedings a receiver or trustee shall be appointed for Licensee, or the Licensed Area, or if any proceeding shall be commenced for the reorganization of Licensee, or if the Licensed Area shall be taken on execution or by any process of law (provided such involuntary proceedings are not dismissed within sixty (60) days), or if Licensee shall admit in writing its inability to pay its obligations as they become due, then Licensor may, at its option, terminate this Agreement, by written notice, and Licensor or its agents may immediately or at any time thereafter re-enter the Licensed Area and Licensee shall thereafter have no rights hereunder. After default, Licensee shall pay Licensor such reasonable damages as result from Licensee's breach. In addition to any other remedy provided by law or permitted herein upon Licensee's default, Licensor may, at its option, but without being obliged so to do, take possession of the Licensed Area, re-license the same on behalf of Licensee, applying any monies collected, first to the payment of expenses of obtaining possession; second, to the payment of costs of placing the Licensed Area in usable condition; and third, to the payment of License Fees due hereunder, and any other charges due Licensor; and Licensee shall remain liable for any deficiency in fees or royalty which shall be paid to Licensor upon demand. Any amount not paid within ten (10) days of the due date shall bear interest from the date due at the rate of one and one half percent (1 1/2%) per month or the highest legal rate of interest, whichever is lower, until paid. Licensee agrees to pay all costs and a reasonable attorney's fee incurred by Licensor in enforcing any provision hereof, or in obtaining possession of the Licensed Area or in following any other remedy provided Licensor by law, whether by suit or otherwise. Waiver of any of the covenants hereof by Licensor shall not be deemed or taken to be a waiver of any succeeding or other breach. Licensor may pursue any remedy herein provided or which it may have at law alternatively or concurrently and the pursuit of any remedy herein provided or which may be available at law shall not constitute a waiver of, or estoppel to, pursue any other such remedy.

13. **ATTORNEYS' FEES.** In the event of litigation or dispute arising from default in performance of any of the provisions of this Agreement by either Licensor or Licensee, the prevailing party shall be entitled to receive from the other party reasonable attorneys' fees and costs of action incurred. In the event that Licensor shall, by reason of acts or omissions by Licensee, or by any other reason arising out of the Licensor-Licensee relationship, be made a party to litigation commenced by a person other than the parties hereto, then Licensee shall pay all costs, expenses and reasonable attorneys' fees incurred by the other party which arise from or are in connection with such litigation.

14. **ASSIGNMENT AND SUBORDINATION OF AGREEMENT.** Licensee shall not sub-license, or assign all or any portion of the Licensed Area, either in whole or in part, or assign Licensee's rights in and to this Agreement, without the prior written consent of Licensor, which consent may be withheld in

Licensor's sole and arbitrary discretion. No permitted sub-license or assignment shall release Licensee from any of its obligations under the terms of this Agreement, and Licensor shall at all times have the right to look to Licensee for the performance of all of the covenants to be performed on the part of Licensee.

15. NOTICES

Any notice or other communication under this Agreement shall be in writing and shall be either personally delivered or mailed by first class registered or certified mail, postage prepaid, return receipt requested, addressed as follows:

Licensor: Kroger Texas L.P.
c/o The Kroger Co.
1014 Vine Street
Cincinnati, Ohio 45202
Attn: Real Estate Shared Services

With a copy to: The Kroger Co.
1014 Vine Street
Cincinnati, Ohio 45202
Attn: Law Dept. -- Division 035

With a copy to: 1045, LLC,
1045 South Woods Mill Road
St. Louis, Missouri 63017

Licensee: Texx Team USA LLC
Attn: Miglena Minkova
2614 Andjon Drive, Dallas, Texas 75220

Subject to the right of either party to designate by notice in writing any new address to which notices, demand and installments of License Fees may be sent.

16. SECURITY DEPOSIT. Concurrently with Licensee's execution of this Agreement, Licensee has deposited with Licensor the amount of FIVE THOUSAND Dollars (\$5,000.00). Said sum shall be held by Licensor as security for the faithful performance by Licensee of all the terms, covenants and conditions of this Agreement to be kept and performed by Licensee. If Licensee defaults with respect to any provisions of this Agreement, including but not limited to the provisions relating to the payment of License Fees, Licensor may (but shall not be required to) use, apply or retain all or any part of the Security Deposit for the Payment of any License Fees or any other sum in default, or the payment of any amount which Licensor may spend or become obligated to spend by reason of Licensee's default, or to compensate Licensor for any other loss or damage which Licensor may suffer by reason of Licensee's default. If any portion of the Security Deposit is used or applied Licensee shall, within (5) days after written demand therefor, deposit cash with Licensor in an amount sufficient to restore the Security Deposit to its original amount and Licensee's failure to do so shall be a default under this Agreement. Licensor shall not be required to keep the Security Deposit separate from its general funds, and Licensee shall not be entitled to interest on such deposit. If Licensee shall fully and faithfully perform every provision of this Agreement to be performed by it, the Security Deposit or any balance thereof shall be

returned to Licensee (or, at Licensor's option, to the last assignee of Licensee's interest hereunder) within thirty (30) days following expiration of the Term.

17. **LIENS.** Licensee agrees and covenants that it will not cause or suffer the creation of any mechanic liens, or other liens for any labor performed or materials furnished for or on behalf of Licensee, which may cloud or impair Licensor's title or interest in the Store or the Licensed Area, and that if any such liens shall arise due to an act or omission of Licensee, Licensee shall promptly remove the same at its own expense or otherwise undertake the defense of an action to enforce or foreclose said lien; provided, however, for so long as Licensee in good faith resists the enforcement and foreclosure of said lien, Licensee shall not be in default under this Agreement. If Licensee does not promptly remove any lien as above provided, Licensor shall have the right at its option to do so and charge Licensee the amount thereof and Licensee shall immediately repay Licensor the amount thereof.

18. **INDEMNITY.** Licensee acknowledges and agrees that it enters onto the Licensed Area at its sole risk and expense and accepts the Licensed Area in its "as is," "where-is," and "with all faults" condition hereby releasing Licensor from any and all liability for injury or property damage occurring to Licensee while on the Licensed Area regardless of cause, including the negligence or fault of Licensor. Licensee shall indemnify and hold harmless Licensor against and from any and all claims arising from Licensee's use of the Licensed Area or from the conduct of its business or from any activity, work or other things done, permitted or suffered by Licensee in or about the Licensed Area, and shall further indemnify and hold harmless Licensor from and against any and all claims arising from any breach or default in the performance of any obligation on Licensee's part to be performed under the terms of this Agreement, or arising from any act or negligence of Licensee, or any officer, agent, employee, guest, or invitee of Licensee, and from all costs, attorneys' fees, and liabilities incurred in or about the defense of any such claim or any action or proceedings brought thereon. If any action or proceeding be brought against Licensor by reason of such claim, Licensee upon notice from Licensor shall defend the same at Licensee's expense by counsel reasonably satisfactory to Licensor. Licensee, as a material part of the consideration to Licensor, hereby assumes all risk of damage to property or injury to persons in, upon or about the Licensed Area; and Licensee hereby waives all claims in respect thereof against Licensor or any of its contractors, agents, employees, customers or others for whom Licensor might otherwise be responsible. Licensee shall give prompt notice to Licensor in case of casualty or accidents in the Licensed Area.

Licensor or its agents shall not be liable for any loss or damage to persons or property resulting from fire, explosion, steam, gas, electricity, water or rain which may leak, drain, or spread from any part of the Shopping Center or from the pipes, appliances or plumbing works therein, street or subsurface or from any other place resulting from dampness or any other cause whatsoever. Licensor or its agents shall not be liable for interference with the light, air or for any latent defect in the Licensed Area.

19. **EXUSABLE DELAYS (FORCE MAJEURE).** If either party is delayed, prevented, or hindered from the performance of any covenant or condition of this Agreement other than the payment of money (for which there will be no period of delay) because of acts of the other party, acts of God, action of the elements, war invasion, insurrection, acts of public enemy, riot, mob violence, civil commotion, sabotage, labor disputes, inability to procure or general shortage of labor, materials, facilities, equipment, or supplies on the open market, failure of or delay in transportation, laws, rules, regulations, or orders of governmental or military authorities, or any other cause beyond the reasonable control of the party so obligated, whether similar or dissimilar to the foregoing, such performance shall be excused for the period of the delay, and the period for such performance shall be extended for a period equivalent to the period of such delay.

20. **ADVERTISING; DEMOGRAPHIC INFORMATION.** Licensee shall not use the Licensor's brand names for Licensee's advertising and promotions except only to the extent reasonably necessary to identify Licensee's business location(s) and for no other use, and in any event, only with the prior written consent of Licensor. Any unauthorized use of otherwise shall automatically terminate the rights of Licensee in this Agreement and subject Licensee to all remedies available in this Agreement, at law and in equity.

21. **COMMON AREA.** Licensee, its customers, agents, contractors and employees, shall be permitted to use Licensor's parking area on a non-exclusive basis. However, Licensee agrees to require its employees to park in the area designated by Licensor for pick-ups. In no way shall Licensee block drive aisles or additional parking spaces other than the temporary use of a parking space next to bin for donation retrievals.

22. **SUBROGATION.** As long as their respective insurers so permit, Licensor and Licensee hereby mutually waive their respective rights of recovery against each other for any loss insured by fire, extended coverage and other property insurance policies existing for the benefit of the respective parties. Each party shall apply to their insurers to obtain said waivers. Each party shall obtain any special endorsements, if required by their insurer to evidence compliance with the aforementioned waiver.

23. **MISCELLANEOUS**

23.01 **Waiver.** The waiver by either party of any of the covenants contained herein shall not be deemed a waiver of such party's rights to enforce the same or any other covenant contained herein. The rights and remedies given to the parties hereunder shall be in addition to, and not in lieu of any right or remedy as provided by law.

23.02 **Use of Terms.** The terms, "Licensor" and "Licensee," shall include the plural, if necessary. All terms used in the singular or in the masculine gender shall apply to the plural or to the feminine or neutral gender as the context may require. If there is more than one Licensee named herein, their obligations hereunder shall be joint and several.

23.03 **Time is of the Essence.** Time is of the essence of the Agreement.

23.04 **Relationship.** This Agreement shall not nor shall any part thereof be construed as a joint enterprise, a partnership, or any other relationship except that of Licensor and Licensee.

23.05 **Successors and Assigns.** This Agreement shall apply to and bind the heirs, executors, administrators, successors and assigns of all of the parties hereto (and with respect to Licensor, the rights and benefits of Licensor shall inure to the benefit of its parent, affiliates, and subsidiaries and may be directly enforced by such parent, affiliates, and subsidiaries).

23.06 **Governing Law.** This Agreement shall be governed by and construed in accordance with the laws of the state in which the applicable Licensed Area is located.

23.07 **Counterparts.** This Agreement may be signed in multiple counterparts which, including via electronic means and signatures (such as fax, pdf, DocuSign and the like, which signatures will be considered original) when signed by all parties, shall constitute a binding agreement.

23.08 **Entire Agreement.** This Agreement reflects, supersedes and merges all the prior agreements and negotiations of the parties hereto with respect to its subject matter, and contains their entire agreement.

23.09 **Further Assurances.** The parties agree to promptly sign all documents reasonably required to give effect to the provisions of this Agreement.

23.10 **Severability.** If any one or more of the provisions contained herein shall, for any reason, be held to be invalid, illegal or unenforceable in any respect, such invalidity, illegality or unenforceability shall not affect any other provision of this Agreement, but this Agreement shall be construed as if such invalid, illegal or unenforceable provision had not been contained herein.

23.11 **Legal Advice.** Each party has received independent legal advice from its attorneys with respect to the advisability of executing this Agreement and the meaning of the provisions hereof. The provisions of this Agreement shall be construed as to the fair meaning and not for or against any party based upon any attribution of such party as the sole source of the language in question.

23.12 **Consents.** Licensor and Licensee each represent and warrant to the other that each respective party has the full right, legal power and actual authority to enter into this Agreement, and has obtained the consent of any and all persons, firms or entities, including lenders, as is required to enter into this Agreement.

23.13 **Incorporation of Recitals.** Licensor and Licensee hereby acknowledge and agree that the facts stated in the Recitals above are true and correct and are hereby incorporated into this Agreement.

23.14 **Brokers and Consultants.** Licensor and Licensee each represent and warrant to the other that they have not dealt with or been represented by any brokers, consultants, agents, finders, or other persons or entities in connection with this transaction other than 1045, LLC, as real estate consultant for Licensor. Licensor agrees to indemnify, defend and hold Licensee harmless from the claim of any other broker, consultants, agents, finders, or other persons or entities claiming through Licensor and Licensee agrees to indemnify, defend and hold Licensor harmless from the claim of any other broker, consultants, agents, finders, or other persons or entities claiming through Licensee.

24. **CONFIDENTIALITY.** Each party agrees to hold all disclosed confidential or proprietary information or trade secrets of the other party in trust and confidence and such shall not be disclosed to any other person or entity without the express written consent of such other party.

25. **HAZARDOUS MATERIALS.** Licensee is responsible for, shall remove and shall indemnify Licensor in connection with all hazardous materials and substances created by Licensee.

26. **TRANSFER OF LICENSOR'S INTEREST.** Licensor reserves the right to terminate this Agreement, without cause, if Licensor elects to sell, assign or transfer that portion of the Shopping Center where the Licensee is located. Licensor shall provide notice to Licensee in all instances of an assignment or transfer of Licensor's interest in the Agreement.

[Remainder of page is blank; signatures follow]

IN WITNESS WHEREOF, this Agreement is executed the day and year first hereinabove written.

Licensor:

KROGER TEXAS L.P.

an Ohio limited partnership

By: KRGP LLC, an Ohio limited liability company,
its general partner

By:

Name: Rick J. Landrum

Its: Vice President

Licensee:

TEXX TEAM USA LLC, a Texas corporation

By:

Name: Miglena Minkova

Its: Development Manager

Exhibit A

Division	Store	Fee (\$)
035-Dallas Operating Division	00445	\$450
035-Dallas Operating Division	00451	\$450
035-Dallas Operating Division	00460	\$450
035-Dallas Operating Division	00495	\$450
035-Dallas Operating Division	00527	\$450
035-Dallas Operating Division	00530	\$450
035-Dallas Operating Division	00543	\$450
035-Dallas Operating Division	00548	\$450
035-Dallas Operating Division	00561	\$450
035-Dallas Operating Division	00562	\$450
035-Dallas Operating Division	00563	\$450
035-Dallas Operating Division	00565	\$450
035-Dallas Operating Division	00572	\$450
035-Dallas Operating Division	00574	\$450
035-Dallas Operating Division	00575	\$450
035-Dallas Operating Division	00576	\$450
035-Dallas Operating Division	00578	\$450
035-Dallas Operating Division	00579	\$450
035-Dallas Operating Division	00580	\$450
035-Dallas Operating Division	00584	\$450
035-Dallas Operating Division	00585	\$450
035-Dallas Operating Division	00592	\$450
035-Dallas Operating Division	00594	\$450
035-Dallas Operating Division	00596	\$450
035-Dallas Operating Division	00598	\$450
035-Dallas Operating Division	00695	\$450

- 1980 N GOLIAO ST, ROCKWALL
 - 2935 RIDGE RD, ROCKWALL
 -

19180 N GOLIAD ST, ROCKWALL

035-00574



2935 RIDGE RD , ROCKWALL

035-00575

